Mayor
Kenneth Romney

City Engineer/ Land Use Administrator
Kris Nilsen

City Recorder/ Community Development
Cathy Brightwell

WEST BOUNTIFUL PLANNING COMMISSION

550 North 800 West
West Bountiful, Utah 84087

Phone (801) 292-4486
FAX (801) 292-6355
www.WBCity.org

Chairman
Alan Malan

Commissioners
Mike Cottle
Laura Mitchell
Corey Sweat
Dennis Vest

THE PLANNING COMMISSION WILL HOLD A REGULAR MEETING AT 7:30 PM ON TUESDAY, MARCH 22, 2022, AT THE CITY OFFICES, 550 N 800 WEST

AGENDA:

1. Prayer/Thought - Commissioner Sweat.
   Pledge of Allegiance – Commissioner Cottle.
2. Confirm Agenda.
3. Consider Conditional Use Application for West Bountiful City Public Works Facility at 1410 W 1200 North.
4. Discuss Proposed Changes to WBMC 12.28, Water Efficient Landscaping.
5. Consider Meeting Minutes from March 8, 2022.
6. Staff report.
7. Adjourn.

This notice has been sent to the Davis Journal and was posted on the State Public Notice Website and the City website on March 18, 2022, by Cathy Brightwell, City Recorder.

MEMORANDUM

TO: **Planning Commission**

DATE: **March 18, 2022**

FROM: **Kris Nilsen**

RE: **Staff Report - West Bountiful City Conditional Use Permit #22-02**
Public Works Facility 1410 W 1200 N

West Bountiful City has applied for a conditional use permit for a new public works facility on 1200 North at 1410 W. The property is located in the A-1 Zone.

Background
The City owns and operates a public works system that serves the residents of West Bountiful City for culinary water, streets, storm water, parks, and solid waste management. As part of operating and maintaining a public system, the City plans for a new facility to improve operations and keep up with service needs within the City.

Conditional Use Permit
The attached letter from the city describes the intended operations and site improvements. This use is considered "public," which is conditional in the A-1 zone. In considering the proposed application and the health, safety and welfare of the community, staff has identified the following criteria that should be noted.

1. Drainage: Storm drainage should not negatively impact surrounding properties. Mitigation: The site will be graded so that all site drainage flows into two detention ponds on the site. The south detention pond will release drainage to the public storm drain in 1200 North street. The north detention pond will release drainage to a culvert that extends under Legacy trail and Legacy Parkway to the Bountiful Pond. All storm water from the site will pass through a pollution treatment structure located at each detention pond. The pollution treatment structure removes sediments, trash, oil, grease (solids and floatables).
2. Noise: Noise should be kept to the levels of those emitted by local traffic and from typical residential properties. Mitigation: Noise from the site will be limited to mostly daytime hours, with nighttime work occurring only when responding to emergencies such as water breaks or road plowing.
3. Odors: No unusual odors are expected from the facility or site.
4. Light: Security and site lighting should not negatively impact neighboring properties. Security lighting consists of 4 lights on each of the east and west walls, and 1 light on the salt storage wall. A light pole will be located by the southeast and southwest entrances. Mitigation: All proposed

lighting is to be “down lighting” and restricted to the fenced area. Site work lighting may only be on when work is being performed.

5. Traffic: Traffic should not exceed typical residential conditions. During construction, traffic will increase to accommodate construction vehicles. After construction, traffic will consist of occasional deliveries and public works employees as they conduct their daily duties.
6. Parking: Parking during construction will be restricted to on-site. After construction, parking lots will provide adequate on-site parking for employees, visitors, and vendors.
7. Landscaping: The frontage of the property will be landscaped with rock and gravel. Several drought-conscious shrubs and trees on a drip irrigation system will be included.

The Conditional Use ordinance, WBMC 17.60.040, requires the planning commission to consider the following:

1. The proposed use at the particular location is necessary or desirable to provide a service or facility that will contribute to the general well-being of the neighborhood and the community;
2. The proposed use will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity;
3. The proposed use and/or accompanying improvements will not inordinately impact schools, utilities, and streets;
4. The proposed use will provide for appropriate buffering of uses and buildings, proper parking and traffic circulation, the use of building materials and landscaping which are in harmony with the area, and compatibility with adjoining uses;
5. The proposed use will comply with the regulations and conditions specified in the land use ordinance for such use;
6. The proposed use will conform to the intent of the city’s general plan; and
7. The conditions to be imposed in the conditional use permit will mitigate the reasonably anticipated detrimental effects of the proposed use and accomplish the purposes of this subsection.

Staff recommends the following conditions:

1. Noise - Limit hours of construction operation to work between 7:00 AM start and 10:00 PM stop except for emergencies, such as water breaks or road plowing.
2. Lighting – All lighting will be “down-lighting.” Limit after hours site lighting to security lighting only, except for emergencies, such as water breaks or road plowing.
3. Dust and sediment control – The site and facility will maintain a Storm Water Pollution Prevention Plan (SWPPP) and associated Best Management Practices (BMP’s) for the site during construction and post construction that addresses prevention and cleanup of dust and sediment control.
4. Fencing - The site facility will maintain perimeter fencing.

CONDITIONAL USE PERMIT APPLICATION

West Bountiful City
PLANNING AND ZONING
550 N 800 W, West Bountiful, UT 84087
Phone: (801) 292-4486
www.wbcity.org

PROPERTY ADDRESS: **1410 W 1200 North** **Permit: 22-02**

NAME OF BUSINESS/USE: **West Bountiful City Public Works Facility**

PARCEL NUMBER: **06-026-0095** ZONE: **A-1** DATE OF APPLICATION: **3/16/2022**

Applicant Name: **Duane Huffman** Address: **550 N 800 West, WB, UT 84087**

Applicant E-mail: **DHuffman@WBCity.org** Primary Phone: **801-292-4486**

Property Owner, Phone (if different): _____

Describe in detail the conditional use for which this application is being submitted. Attach a site plan which clearly illustrates the proposal and separate sheet with additional information if necessary.

Construction of a Public Works Facility - see attached details

The Applicant(s) hereby acknowledges that they have read and are familiar with applicable requirements of Title 17.60 of the West Bountiful City Code, pertaining to the issuance of Conditional Use Permits. If the applicant is a corporation, partnership or other entity other than an individual, this application must be in the name of said entity, and the person signing on behalf of the Applicant hereby represents that they are duly authorized to execute this Application on behalf of said entity.

Fee must accompany this application - $20 for Residential Zone, $50 for Business Zone

I hereby apply for a Conditional Use Permit from West Bountiful City in accordance with the provisions of Title 17, West Bountiful Municipal Code. I certify that the above information is true and correct to the best of my knowledge. I understand the information on this application may be made available to the public upon request.

Date: 3/16/2022 Applicant Signature: _____

FOR OFFICIAL USE ONLY

Application Received Date: 3/16/2022 Permit Number: 22-02
Application Fee Received Date: Waived Fire Inspection Date: NA
Permit Approval: _____ Fire Inspection Approval Date: NA

Revised April 2021

WEST BOUNTIFUL PUBLIC WORKS FACILITY

1410 W 1200 N WEST BOUNTIFUL, UT 84087

DESIGN DEVELOPMENT SET

SYMBOLS LEGEND

- INTERIOR ELEVATION (1 Ref / AE101)
- BUILDING ELEVATION (XX / XXXX)
- BUILDING SECTION (XX / XXXX)
- WALL SECTION (XX / XXXX)
- DETAIL CALLOUT (XX / XXXX)
- CALLOUT (XX / XXXX)
- KEYNOTE (7)
- DOOR TAG (XXXX)
- WALL TYPE (XX)
- ROOM TAG (ROOM NAME / XXX)
- GLASS TYPE (A)
- ELEVATION MARKER
- WINDOW TYPE (A2)
- CENTER LINE
- GRID (0)
- NORTH ARROW (N)
- CEILING TYPE (ti / 10' - 0")
- FINISHES (ROOM NAME / XXX; BASE FINISH, FLOOR FINISH, WALL FINISH; F B W)
- MATERIAL TAG (XXX)

MATERIAL LEGEND

- CONCRETE
- MASONRY
- STEEL
- BATT INSULATION
- RIGID INSULATION
- FINISH GRADE WOOD / HARDWOOD
- PLYWOOD
- SPRAY FOAM INSULATION
- DEMOLITION, SHOWN VIA HIDDEN LINE
- WOOD STUD

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AE601	DOOR & WINDOWN TYPES AND SCHEDULE
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PLUMBING PLANS	
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PL100	UNDERGROUND PLUMBING PLAN-PLUMBING
PL101	LEVEL 1 PLUMBING PLAN - DWV
PL102	MEZZANINE PLUMBING PLAN - DWV
PL105	ROOF PLUMBING PLAN - DWV
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PL108	MEZZANINE PLUMBING PLAN - WATER
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EE002	SYMBOLS LEGEND
EE003	TELECOM SCHEDULES AND NOTES
EE501	ELECTRICAL DETAILS
EE701	TYPICAL MOUNTING HEIGHT DETAILS
EE702	TYPICAL LABELING DETAILS
ES101,1	ELECTRICAL SITE PLANS
ES102,1	PHOTOMETRIC SITE PLAN
ES501,1	ELECTRICAL SITE DETAILS
ES502,1	ELECTRICAL SITE DETAILS
EP101	POWER PLANS
EP201	POWER ELEVATIONS
EP401	ENLARGED POWER PLANS
EP601,1	ONE-LINE DIAGRAM
EP602	RISERS AND DIAGAMS
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EY101	AUXILIARY PLANS
FA101	FIRE ALARM PLANS
FA601	FIRE ALARM RISER

CRSA

ARCHITECTURE • PLANNING • INTERIORS

175 S MAIN STREET, STE 300 • SLC, UTAH 84111

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MERIDIAN ENGINEERING, INC.
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SOUTH JORDAN, UT 84095
C/O NICHOLE LUTHI
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STRUCTURAL ENGINEER
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360 WEST 800 SOUTH, SUITE 100
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156 S. 750 WEST
NORTH SALT LAKE CITY, UT 84054
C/O AARON NIELSEN
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(801) 295-2341

WEST BOUNTIFUL PUBLIC WORKS FACILITY

1410 WEST 1200 NORTH
WEST BOUNTIFUL, UTAH 84087

STAMP

ISSUE TYPE:	DATE:
DD SET	2021-11-30

PROJECT NUMBER:	21-057
DRAWN BY:	Author
CHECKED BY:	Checker

COVER SHEET

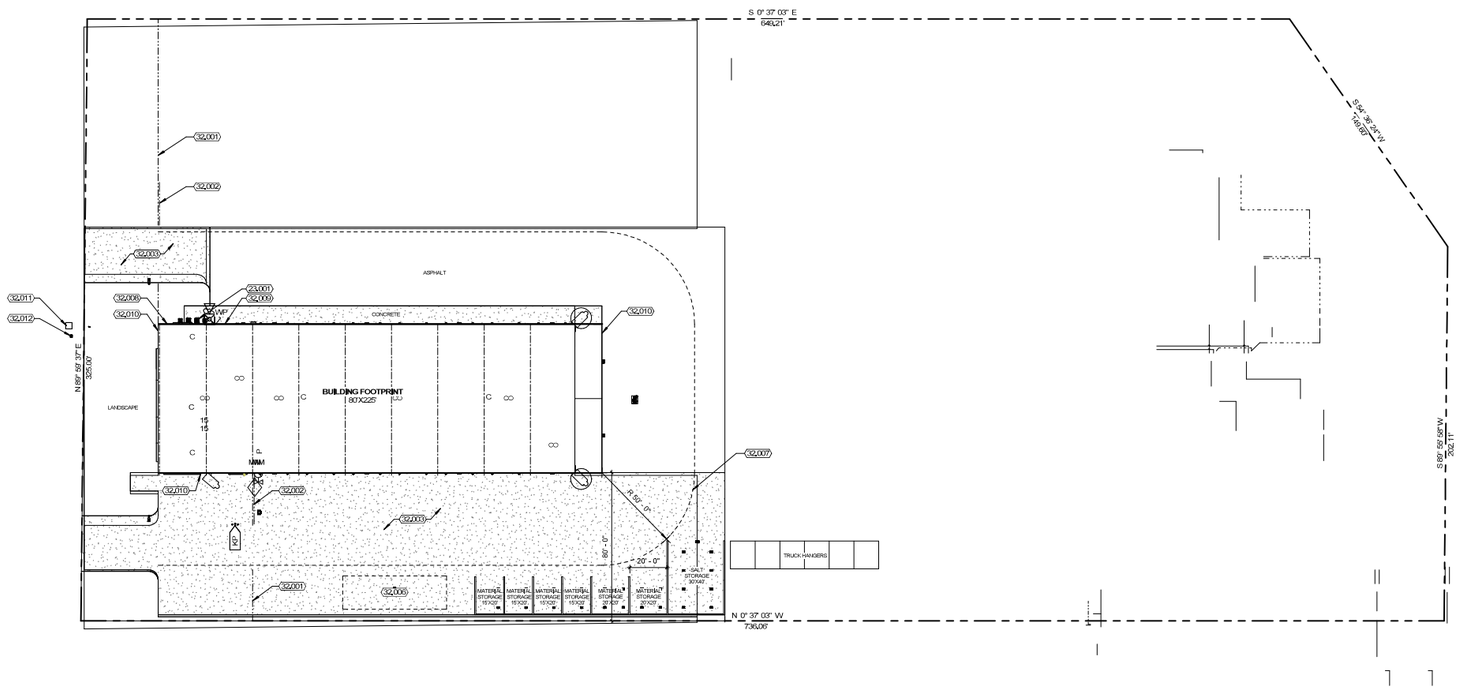
GI000

KEYNOTES

23.001	MECHANICAL EQUIPMENT.
32.001	FENCE LINE.
32.002	SLIDING GATE.
32.003	CONCRETE.
32.006	FUEL ISLAND.
32.007	TURNING RADIUS.
32.008	APPROXIMATE GAS METER LOCATION.
32.009	FIRE DEPARTMENT CONNECTION.
32.010	WATER LINE LOCATION.
32.011	WATER METER LOCATION.
32.012	FIRE HYDRANT.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY UNKNOWN CONDITIONS, ERRORS OR CONFLICT IN THE DRAWINGS BEFORE BEGINNING WORK.
- DO NOT SCALE DRAWINGS.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.



N A1 AS101 **Site**
1" = 30'-0"
0 15 30 60 90

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1410 WEST 1200 NORTH
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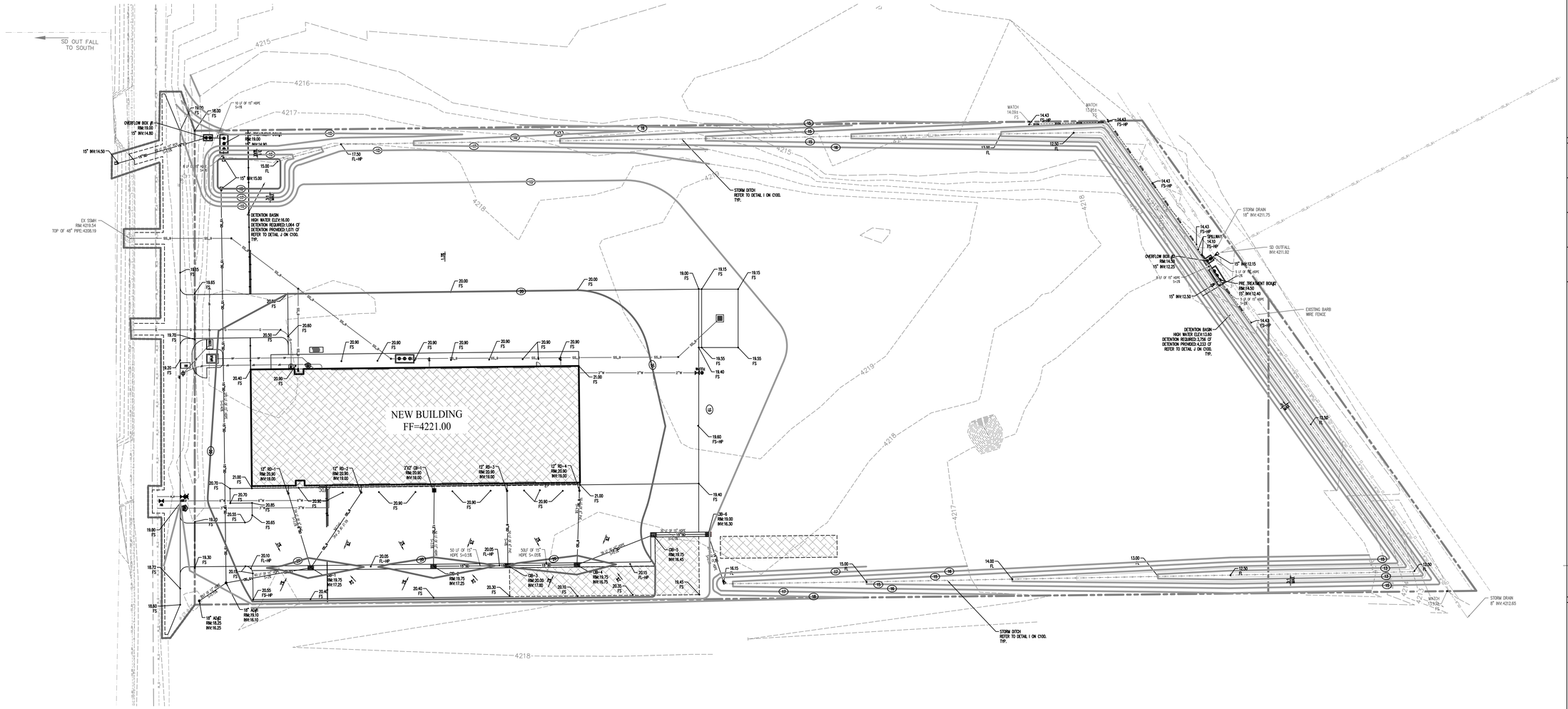

GRADING PLAN NOTES:

1. REFER TO ARCHITECTURAL SITE PLAN DETAILS FOR RAISED PLANTERS, ANY RAMPS, STRIPING AND SITE FENCING.

2. CONTOURS OF THE SITE ARE BASED ON A SURVEY BY WEST BOUNTIFUL CITY.

3. ALL WORK IN THE CITY ROADWAY SHALL BE IN ACCORDANCE WITH APWA AND CITY OF WEST BOUNTIFUL STANDARD PLANS AND SPECIFICATIONS. NEW CURB AND GUTTER, PAVEMENT REPAIRS, AND THE NEW DRIVEWAYS SHALL COMPLY WITH THESE APWA AND CITY STANDARDS. TRAFFIC CONTROL FOR THE PROJECT SHALL ALSO BE APPROVED BY THE CITY WHERE THE SITE ACCESSES TO PUBLIC STREETS. COORDINATE WITH CITY FOR PAVEMENT CONSTRUCTION IN RIGHT OF WAY TO THE REQUIRED PAVEMENT THICKNESS FOR ALL STREET REPAIRS.

4. PROVIDE APPROVED SILT PROTECTION FOR ALL NEW AND EXISTING CATCH BASINS UNTIL LANDSCAPING IS WELL ESTABLISHED AND PARKING IS COMPLETE. THE PIPING SYSTEM SHALL BE CLEANED OUT BEFORE FINAL APPROVAL. USE MIRAFI "DANDY BAG" OR ANOTHER APPROVED EQUIVALENT FOR EXISTING INLET PROTECTION. REFER TO SHEET C500 AND C510.

5. DIMENSIONS OR COORDINATES ARE TO THE CENTER OF CATCH BASINS FOR AREA INLETS AND AT THE CENTER OF THE CATCH BASIN AT TBC FOR INLETS IN CURB AND GUTTER.

6. HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION. THE PERPENDICULAR CROSS SLOPE TO PARKING STALL IN OTHER AREAS OF THE PARKING LOT SHALL NOT EXCEED 4% IN SLOPE AND SLOPE SHALL NOT EXCEED 6% IN ANY DIRECTION FOR DRIVEWAYS.

7. ALL WALKWAYS SHALL NOT EXCEED 5% SLOPE. THE PERPENDICULAR CROSS SLOPE TO NOT EXCEED 2% MAX. SLOPE FOR WALKWAYS 2% MAX. FROM BUILDING OR STAIR RISERS FOR 5' MINIMUM. ALSO SLOPE 2% MAX FOR 5' AT THE END OF THE 1:12 SLOPE OF ALL H.C. RAMPS.

8. PIPING LENGTHS ARE APPROXIMATE LENGTHS AND ARE ROUNDED TO THE NEAREST FOOT. LENGTHS ARE FROM CENTER TO CENTER OF INLETS OR CLEANOUTS. PIPE SLOPES ARE ALSO APPROXIMATE. USE INVERTS AT EACH BOX FOR CONTROL OF PIPE INSTALLATION.

9. "TBC" IS TOP BACK OF CURB ELEVATIONS. "FS" IS FINISH SURFACE ELEVATIONS. "TOC" IS TOP OF CONCRETE ELEVATIONS. "TOW" IS TOP OF WALL ELEVATIONS. "BOT" IS FINISH SURFACE AT BOTTOM OF WALL ELEVATIONS. "FL" IS FLOW LINE.

10. TRANSITION FACE OF CURB TO BE FLUSH TO ADJACENT FINISHED SURFACE WHERE INDICATED BY "TBC/FS" TO FULL HEIGHT OVER 5' (MIN).

11. PLACE CONCRETE COLLAR AROUND ALL NEW CATCH BASINS OR CLEANOUTS (NOT IN CURB AND GUTTER). COLLAR TO BE 1' MINIMUM WIDTH AND SHALL BE 8" MINIMUM THICKNESS. PLACE 2 #4 BARS AROUND OPENING. SEE DETAIL ON SHEET C100.

12. ALL LANDSCAPE AREAS SHALL HAVE 4" MINIMUM OF TOPSOIL OR AS REQUIRED BY LANDSCAPE PLANS. LANDSCAPE AREAS TO BE GRADED TO DRAIN AND MOUND WHERE INDICATED ON LANDSCAPE PLANS.

13. REFER TO SHEET C100 AND CS210 FOR REQUIRED PAVEMENT SECTIONS.

14. ALL STORM WATER TO BE DETAINED ONSITE FOR THE 10 YEAR 3 HR STORM EVENT.

15. IF MORE THAN 3 FEET OF GRADING FILL WILL BE PLACED ABOVE THE EXISTING SURFACE (TO RAISE SITE GRADES), CMT (THE OWNERS GEOTECHNICAL ENGINEER) SHOULD BE NOTIFIED SO THAT THEY MAY ASSESS POTENTIAL SETTLEMENT AND MAKE ADDITIONAL RECOMMENDATIONS IF NEEDED.

16. DO NOT DRIVE HEAVY EQUIPMENT OR TRUCKS OVER EXCAVATED SUBGRADE. SOFT AREAS CAUSED BY ROUTING HEAVY EQUIPMENT OR TRUCKS OVER SUBGRADE WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. REPAIRS TO BE COMPLETED AS OUTLINED IN THE SPEC SECTION WITH UP TO 2' OF IMPORTED STRUCTURAL GRANULAR FILL TO STABILIZE SOFT AREAS CAUSED BY ROUTING HEAVY EQUIPMENT OR TRUCKS OVER EXCAVATED SUBGRADE.

17. SITE SOILS MAY NOT SUPPORT CONSTRUCTION TRAFFIC DURING WET PERIODS OF THE YEAR. CONTRACTOR WILL BE RESPONSIBLE TO PLACE GRANULAR FILL AND/OR COBBLE MATERIALS AS NECESSARY TO MAINTAIN ACCESS TO THE SITE OR BUILDING THROUGHOUT THE CONSTRUCTION SITE AT ALL TIMES. EXCESS MATERIAL SHALL BE REMOVED AS REQUIRED TO COMPLETE THE SITE TO THE GRADES SHOWN ON GRADING PLANS. ALSO REFER TO GEOTECHNICAL INVESTIGATION SHEETS FOR SITE SOIL PREPARATION REQUIREMENTS.

18. PROVIDE TEMPORARY STORM DRAIN PUMPING, PONDING, BERMING, PIPING AND INLETS OR OTHER MEASURES TO RETAIN CONSTRUCTION STORM DRAIN RUNOFF ON SITE DURING CONSTRUCTION UNTIL THE NEW SYSTEM IS OPERATIONAL. ALL CONSTRUCTION SITE RUNOFF TO HAVE HEAVY SEDIMENT REMOVED PRIOR TO RELEASING TO EXISTING SITE DRAIN SYSTEM. PROTECT ADJACENT BUILDING FROM CONSTRUCTION RUNOFF AT ALL TIMES.

19. THERE SHOULD BE NO STANDING WATER ONSITE. ALL STORM WATER SHALL DRAIN TO AN INLET OR AREA DRAIN. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IF ANY LOW SPOTS THAT DO NOT DRAIN ARE ENCOUNTERED. A WATER TEST WILL BE PERFORMED BY THE CONTRACTOR WITH THE ENGINEER OF RECORD IN ATTENDANCE OR A SURVEY OF THE NEW IMPROVEMENTS PROVIDED TO THE ENGINEER AT COMPLETION OF THE PROJECT TO VERIFY THAT ALL STORM DRAIN WATER DRAINS AS DESIGNED.

20. ALL "MATCH" LOCATIONS INDICATE THAT THE CONTRACTOR IS TO MATCH THE EXISTING GRADE. AN APPROXIMATE ESTIMATE IS PROVIDED BY THE ENGINEER BASED ON AN INTERPOLATION OF NEAREST SPOT ELEVATIONS PROVIDED BY THE SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE ELEVATIONS. IF THE ELEVATION PROVIDED BY THE ENGINEER VARIES GREATLY FROM THE ACTUAL ELEVATION FOUND BY THE CONTRACTOR THE CONTRACTOR IS TO NOTIFY THE ENGINEER SO THAT THE ENGINEER CAN PROVIDE FURTHER DIRECTION.

21. GRADE UNIFORMLY BETWEEN SPOT ELEVATIONS AND CONTOURS UNLESS NOTED OTHERWISE. IF ANY QUESTIONS ARISE ABOUT THE PROPOSED GRADING SHOWN ON PLANS CONTACT THE ENGINEER OF RECORD BEFORE FIELD GRADING.

22. MAINTAIN DRAINAGE FROM ALL EXISTING ROOF DRAINS DURING CONSTRUCTION OF ALL PHASES. PROVIDE TEMPORARY MEASURES OF NEW PIPING, PUMPING, OR OTHER METHODS TO MAINTAIN DRAINAGE FROM ALL EXISTING ROOF DRAIN WHILE NEW PIPING SYSTEMS OUTFALLS ARE COMPLETED.

23. REMOVE ALL CLAY MATERIALS FROM UNDER BUILDINGS AS OUTLINED IN THE SPECIFICATIONS. UNDER NEW PAVEMENT REMOVE A MINIMUM OF 12" OF CLAY LAYER AND REPLACE WITH GRANULAR FILL AS OUTLINED IN THE PAVEMENT DETAILS ON C100 AND THE EARTH MOVING SPECIFICATION. ALL UTILITIES TRENCHES TO BE BACKFILLED WITH GRANULAR BACKFILL PER TRENCH DETAIL ON C100. AT PLAYGROUND AREAS TO RECEIVE BARK OR MULCH ALL SURFACE CLAY LAYERS TO BE REMOVED FROM BENEATH THESE AREAS. BACKFILL WHERE NECESSARY WITH GRANULAR BACKFILL MATERIAL IF CLAY EXCAVATION EXTENDS BELOW REQUIRED ROUGH GRADE ELEVATION BELOW PLAYGROUND AREAS.

24. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL STUDY REFERENCED IN PLAN SET. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS BEING PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT.

25. ADS INJECTION MOLDED 45° REDUCER WYE (OR APP EQUIVALENT) FLOWABLE FILL TO BE PLACED AROUND EACH WYE CONNECTION. TYP.

26. PRE-TREATMENT BOX TO BE 3 CHAMBER OIL WATER SEPARATORS WITH BAFFLED WALLS. USE DURA-CRETE 1500-GALLON UNIT OR APPROVED EQUIVALENT.

27. NO STORM WATER TO ENTER THE RETENTION BASIN UNTIL THE PIPING SYSTEM AND PRE-TREATMENT INLET HAS BEEN INSTALLED. CONTRACTOR TO CLEAN ENTIRE SYSTEM BEFORE IT IS ATTACHED TO THE RETENTION BASIN.

28. NOTIFY ENGINEER OF RECORD IF THERE ARE ANY CONFLICTS WITH UTILITY LINES OR IF ASSUMED INVERTS VARY, FOR FURTHER COORDINATION. SEWER AND WATERLINES TO HAVE 18" SEPARATION WITH WATER OVER SEWER. ALL OTHER UTILITIES TO HAVE 12" SEPARATION MIN. IF 12" SEPARATION CANNOT BE ACHIEVED UTILITIES TO HAVE FLOWABLE FILL BETWEEN THE UTILITY LINES 5' EACH WAY.

29. CONTRACTOR IS RESPONSIBLE TO INFORM THE ENGINEER OF RECORD IF THE GRADES SHOWN ON THE SURVEY DO NOT MEET THE ACTUAL GRADES IN THE FIELD.

30. ALL STRUCTURE LIDS WITHIN THE PROJECT LIMITS WILL NEED TO HAVE THEIR GRADE ADJUSTED. WATER VALVES, SEWER MANHOLES, STORM DRAIN INLETS OR CLEANOUT BOXES, AND OTHER SURFACE UTILITY ACCESSORIES SHALL BE RAISED AND SLOPED TO ACCURATE FINISH SURFACE BY A CONCRETE GRADE COLLAR IN PAVEMENT. COLLAR SHALL BE 12" WIDE AROUND THE UTILITY APPARATUSES AND 8" MINIMUM THICKNESS. PLACE 2 #4 REBAR HOOPS IN COLLAR. CONCRETE COLLARS TO BE USED ONLY IN ASPHALT/CONCRETE/AND GRASS PAVER AREAS.

31. REFER TO LANDSCAPE PLANS FOR ALL INFORMATION ABOUT EXISTING AND PROPOSED TREES.

32. REMOVE AND REPLACE ANY DAMAGED CURB, GUTTER, OR SIDEWALK ALONG FRONTAGE BEFORE FINAL INSPECTION.

33. ALL GUTTERS TO SLOPE 0.5% MINIMUM TOWARDS CURB INLET BOX. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IF THE PROPOSED GRADE DOES NOT MEET 0.5% SLOPE IN GUTTER.

THE CONTRACTOR TO SCHEDULE THE ENGINEER OF RECORD IN WRITING 3 DAYS MINIMUM BEFORE PLACEMENT OF CONCRETE CURBING, FLATWORK, OR ASPHALT PAVING. ALL AREAS MUST BE FORMED AND HAVE COMPACTED BASE COURSE IN PLACE FOR THE ENGINEER TO COMPLETE A RANDOM SPOT GRADE CHECK BEFORE ASPHALT AND CONCRETE CONSTRUCTION. THE RANDOM GRADE CHECKS ARE FOR GENERAL CONFORMANCE TO SLOPES AND GRADING SHOWN ON PLANS USING A SMART LEVEL. RANDOM CHECKS DO NOT ALLEVIATE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE GRADING IS IN CONFORMANCE WITH PLANS AND SPECIFICATIONS AND SATISFY PERFORMANCE OF HIS WORK. WITHIN 2 DAYS OF THE RANDOM SPOT CHECK, RESULTS OF THE SPOT CHECKS AND AREAS OF NON COMPLIANCE WILL BE PROVIDED TO THE CONTRACTOR AND ARCHITECT.

MERIDIAN ENGINEERING, INC.

0 30 60
SCALE 1"=30'

GRADING LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- HALF FOOT CONTOUR

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GRADING PLAN

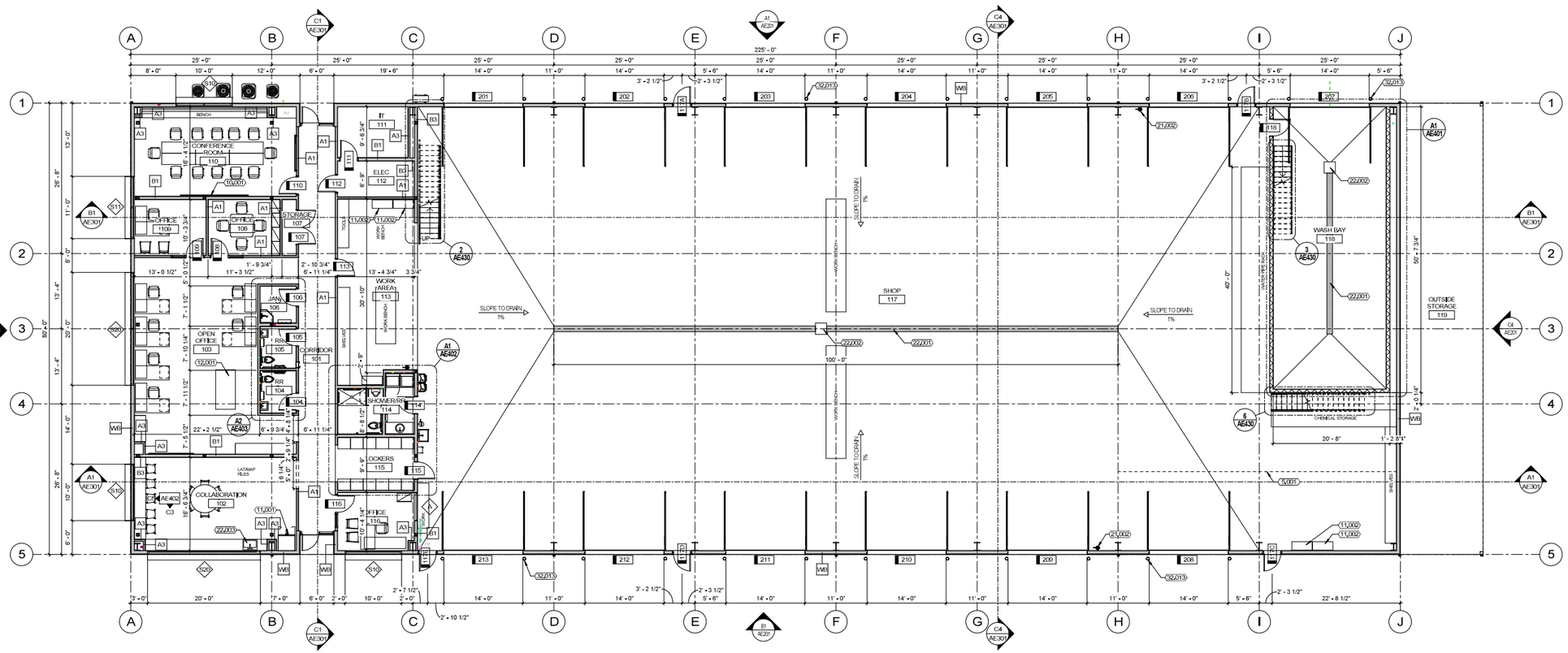
CG400

KEYNOTES

5.001	DASHED LINE REPRESENTS BEAM LOCATION FOR 1-TON MONORAIL CRANE.
10.001	GLASS MARKER BOARD.
11.001	REFRIGERATOR.
11.002	FIRE PROOF CABINET.
12.001	TABLE.
21.002	BRACKET MOUNTED FIRE EXTINGUISHER.
22.001	(6") WIDE PRE-SLOPED TRENCH DRAIN.
22.002	TRENCH DRAIN CLEAN OUT.
22.003	SINK WITH DISPOSAL.
32.013	6" BOLLARD WITH ROUNDED TOP, TYP AT OVERHEAD DOORS.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY UNKNOWN CONDITIONS, ERRORS OR CONFLICT IN THE DRAWINGS BEFORE BEGINNING WORK.
- DO NOT SCALE DRAWINGS.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.



N A1 AE101 MAIN FLOOR PLAN
1/8" = 1'-0"

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MAIN FLOOR PLAN

AE101

KEYNOTES

3.001	CONCRETE FOUNDATION - REFER TO STRUCTURAL.
7.002	GUTTER. PROFILE TO BE SELECTED BY ARCHITECT.
7.003	DOWNSPOUT.
8.001	OPENING BY OTHERS.
8.002	MAN DOOR BY METAL BUILDING MANUFACTUER.
32.013	6" BOLLARD WITH ROUNDED TOP, TYP AT OVERHEAD DOORS.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY UNKNOWN CONDITIONS, ERRORS OR CONFLICT IN THE DRAWINGS BEFORE BEGINNING WORK.
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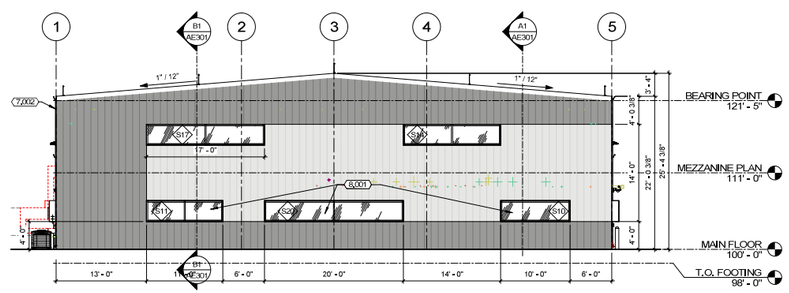
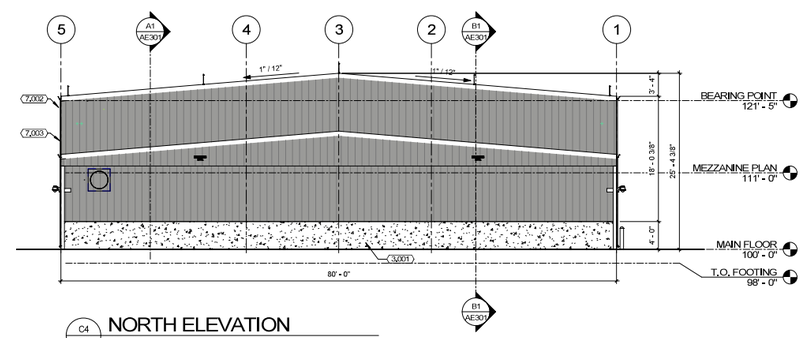
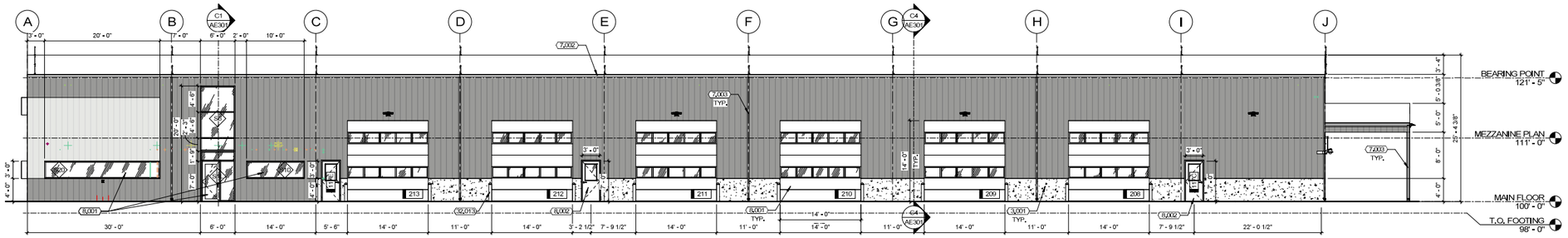


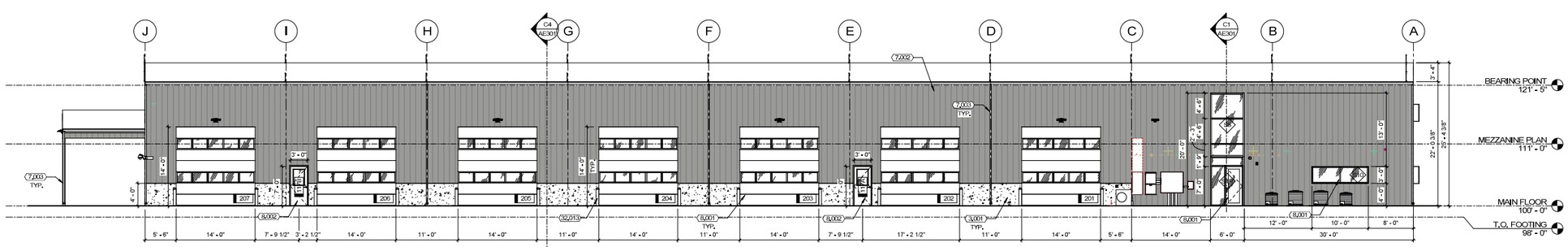
C2 AE201 SOUTH ELEVATION
1/8" = 1'-0"



C4 AE201 NORTH ELEVATION
1/8" = 1'-0"



B1 AE201 EAST ELEVATION
1/8" = 1'-0"



A1 AE201 WEST ELEVATION
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

AE201

N

C1 LS100 Planting Plan
1" = 10'-0"

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE		QTY
	AS	ACER NEGUNDO `SENSATION`	SENSATION BOX ELDER	2" CAL.		5
	CI	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	2" CAL.		5
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE		QTY
	CB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	3 GAL.		7
	CM	CHAMAEBATIARIA MILLEFOLIUM	DESERT SWEET	3 GAL.		17
	EA	ERICAMERIA NAUSEOSA VAR NAUSEOSA	BABY BLUE RABBITBRUSH	3 GAL.		26
GRASS	CODE	BOTANICAL NAME	COMMON NAME	SIZE		QTY
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL.		42
	HS	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.		30
	PP	PANICUM VIRGATUM 'PRAIRIE SKY'	PRAIRIE SKY SWITCH GRASS	1 GAL.		26
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE		QTY
	PA2	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL.		19
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	TS	ROCK COBBLE	4" ROCK COBBLE	4"		3,902 SF
	TB	ROCK MULCH	LIGHT COLOR MIX 1.5"-2" ROCK MULCH	2" MINUS		9,000 SF

A1 LS100 Planting Schedule

PLANTING GENERAL NOTES TO APPLY TO LS100:

1. SPACING FOR ALL PLANTINGS SHALL BE AS SHOWN ON THE PLANS AND ON THE PLANTING SCHEDULE.

2. ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT.

3. LANDSCAPE CONTRACTOR SHALL EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.

4. BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR SHALL HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR SHALL ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.

5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR SHALL REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.

6. GENERAL SITE CONTRACTOR IS RESPONSIBLE FOR FINISHES WITH SUB-GRADES AND BACKFILL WITH CONSTRUCTION LIMIT BOUNDARIES. THERE SHALL BE A MINIMUM OF 12" OF CLEAN GROWING MEDIUM IN ALL PLANTING AREAS.

7. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR SPECIFIED DEPTH MULCH IN ALL SHRUB/GROUND COVER BEDS. DO NOT BURY GROUND COVERS WITH MULCH.

8. LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. PLANT MATERIAL LOCATED IN GROUPINGS OR ROWS SHALL BE MATCHED IN SIZE, FORM, AND APPEARANCE. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING.

9. ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES, AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS, OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.

10. ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

11. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE AS DESIGNATED ON THE DRAWINGS.

12. LANDSCAPE ARCHITECT WILL REVIEW PLANT MATERIALS BY PHOTOGRAPHS FURNISHED BY CONTRACTOR PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIAL.

13. COORDINATED SIZE AND AVAILABILITY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS. ALL SUBSTITUTIONS SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.

KEY PLANTING NOTES AND LEGEND:

1. LANDSCAPE BOULDERS. BOULDERS TO BE PLACED IN GROUPS OF 3-5, SIZE VARIES PER SPACE AVAILABLE FROM 2'-4'. ENSURE LOWER THIRD OF BOULDER TO BE SET INTO GRADE. PLACEMENT AND SPACING TO LOOK NATURAL AND AVOID UNIFORM APPEARANCE. BOULDERS TO BE IN SAME COLOR FAMILY AS ROCK MULCH.

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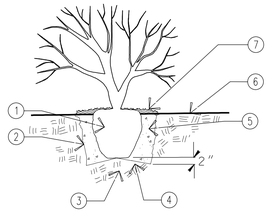
LANDSCAPE PLAN

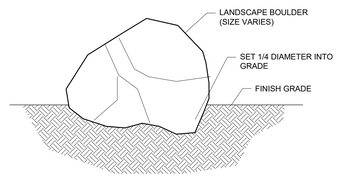
LS100



1. ROOTBALL
2. SCARIFY SIDES OF PIT
3. UNDISTURBED SUBGRADE
4. PLANTING PIT 2X DIA OF ROOTBALL
5. BACKFILL-
SEE SPECIFICATIONS SETTLE WITH WATER
6. FINISH GRADE
7. ROCK OR BARK MULCH 3"

B1 / LS101 SHRUB PLANTING

SCALE: NTS SECTION VIEW DETAIL

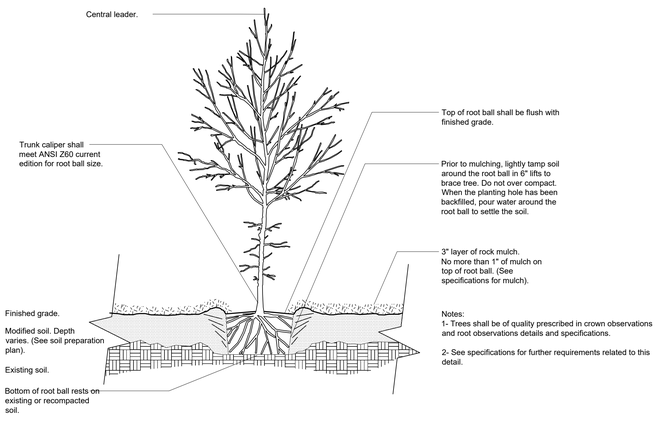


NOTE:

SUPPLIER: TBD
STONE: TBD

B3 / LS101 BOULDER PLACEMENT DETAIL

SCALE: NTS SECTION VIEW DETAIL

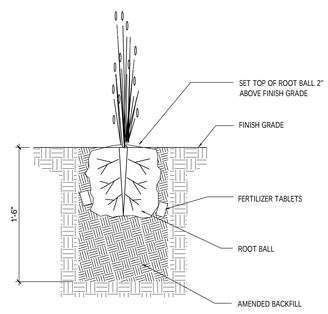


Notes:
1- Trees shall be of quality prescribed in crown observations and root observations details and specifications.

2- See specifications for further requirements related to this detail.

A1 / LS101 DECIDUOUS TREE PLANTING

SCALE: NTS SECTION VIEW DETAIL



A3 / LS101 PERENNIAL AND ORNAMENTAL GRASSES PLANTING

SCALE: NTS

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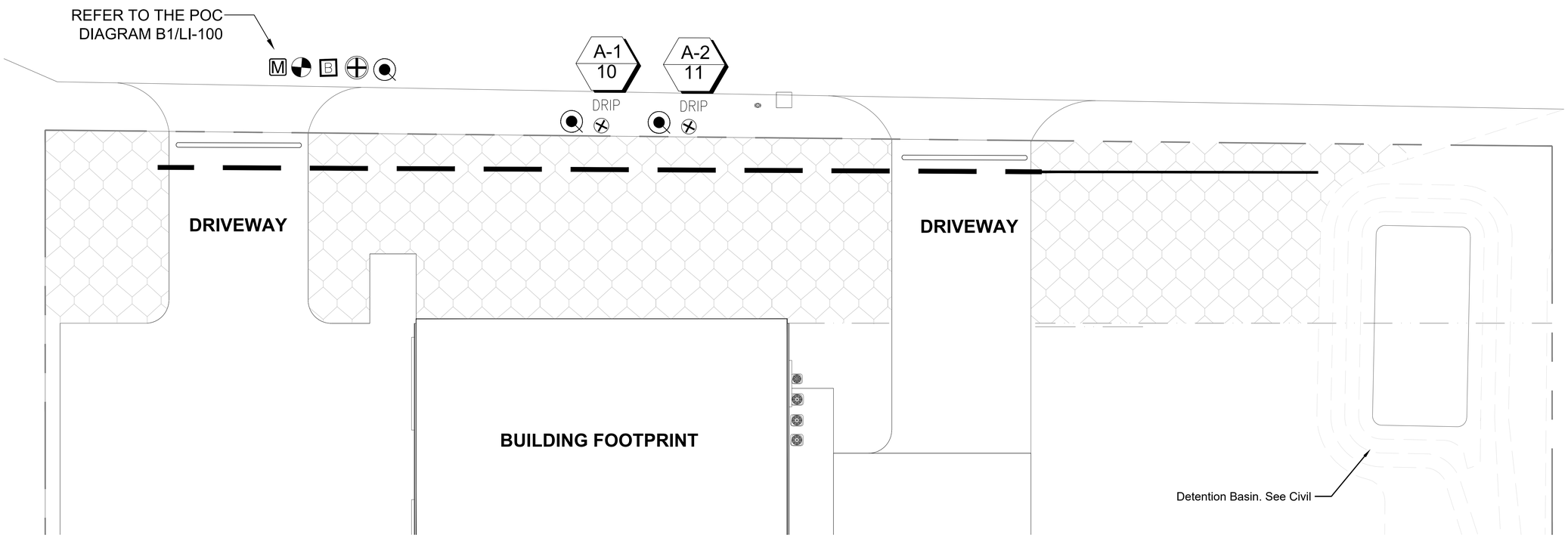
PLANTING DETAILS

LS101



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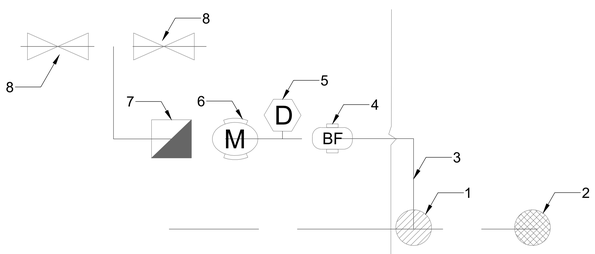
C1 / LI100 Irrigation Plan
1" = 10'-0"



POC SCHEMATIC LAYOUT:

1. CITY METER. SEE CIVIL.

2. POTABLE POC, LANDSCAPE IRRIGATION, LOCATED LANDSCAPE SIDE OF CURB. MIN 1 ½", 50 GPM @ 80 PSI STATIC.

3. IRRIGATION MAINLINE, 2", PVC, SCHEDULE 40

4. BACKFLOW PREVENTER WILKINS 375 VSR 1-1/2" REDUCED PRESSURE BACKFLOW DEVICE WITH PRESSURE REGULATION VALVE

5. STOP & WASTE/FORD DRAIN VALVE, FORD BRONZE MODEL B11-333 OR EQUIVALENT.

6. NETAFIM REED SWITCH REGISTER 1-1/2" MASTER VALVE/FLOW SENSOR WITH WATER METER AND HYDRAULIC VALVE IN A SINGLE UNIT.

7. RAIN BIRD 44-LRC 1" QUICK COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLACIC RUBBER COVER, AND 2-PIECE BODY.

8. ISOLATION/LINE VALVE, APOLLO 77C-100 SERIES BRONZE FULL PORT VALVE OF EQUIVALENT. MAIN LINE EXTENDS BEYOND AS PER PLAN.

A1 / LI100 Point of Connection Schematic Layout

DRIP AREA - SHRUB BED PLANTING

RAINBIRD DISTRIBUTION TUBING TO DRIP TUBING WITH EMITTERS (2 GPH). DESIGN IN FIELD TO MEET PLANT WATER REQUIREMENTS. USE MULTIPLE EMITTERS AS NECESSARY.

IRRIGATION EQUIPMENT

- IRRIGATION POINT OF CONNECTION LOCATION. TAP INTO PROJECT WATER LINE. SEE CIVIL DRAWINGS FOR LOCATION OF PROJECT MAINLINE AND WATER METER
- (D) MUELLER MARK II ORISEAL STOP AND WASTE VALVE MODEL # H-10288 (OR EQUIVALENT), SIZE PER LINE
- (BF) WILKINS 1" MODEL 375B REDUCED PRESSURE PRINCIPLE ASSEMBLY BACKFLOW PREVENTER W/ STRONG BOX SMOOTH TOUCH SERIES #SBBC-30SS & CR VANDAL RESISTANT BACKFLOW ENCLOSURE.
- RAINBIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY
- ISOLATION/LINE VALVE, APOLLO 77C-100 SERIES BRONZE FULL PORT VALVE (OR EQUIVALENT). SIZE PER LINE
- (M) NETAFIM REED SWITCH REGISTER 1-1/2" MASTER VALVE/FLOW SENSOR WITH WATER METER AND HYDRAULIC VALVE IN A SINGLE UNIT.
- (A) IRRIGATION CONTROLLER
  RAINBIRD ESP-LDX CONTROLLER
- RAINBIRD PEB-PRS-D SERIES REMOTE CONTROL VALVE. SIZE AS PER PLAN. SET PRESSURE REGULATING MODULE TO ACHIEVE DESIRED PRESSURE.
- RAIN BIRD XCZ-100-PRB DRIP ZONE CONTROL KIT CONTROLLER
- RAIN BIRD RWSBC1402 ROOT WATERING SYSTEM (NOT SHOWN ON DRAWING. TO BE USED AT ALL TREES)

CONTROL VALVE DESIGNATION:

A-1 / 20
- CONTROLLER & VALVE NUMBER
- FLOW (IN GPM)

PIPE SIZING:

- PVC SCH 40 MAINLINE PIPE. SIZE AS REQUIRED, 2" MINUMUM
- PVC SCH 40 PVC SLEEVING. ALL IRRIGATION CONTROL WIRES TO BE IN SEPARATE SLEEVE. SIZE AS REQUIRED, 2" MINIMUM. IN ALL PAVED AREAS THAT WILL REQUIRE A SLEEVE, CONTRACTOR TO ADD TWO (2) ADDITIONAL SLEEVES, TYP.
- POLY PIPE LATERALS AND PVC FITTINGS. SIZE AS REQUIRED

A3 / LI100 Irrigation Legend and Schedule

IRRIGATION GENERAL NOTES

1. THE IRRIGATION DESIGN IS DIAGRAMMATIC ONLY. ALL IRRIGATION COMPONENTS ARE TO BE INSTALLED IN LANDSCAPE AREAS. ITEMS SHOWN ON WALKWAYS AND BUILDINGS IS FOR GRAPHIC CLARITY ONLY. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION IN ACCORDANCE WITH THE DRAWINGS. LAYOUT MAY BE MODIFIED ONLY BY SUBMITTAL OF A SHOP DRAWING AND BY APPROVAL OF OWNER AND LANDSCAPE ARCHITECT. THE SYSTEM SHALL BE TESTED FOR COMPLETE COVERAGE AND ALL NECESSARY ADJUSTMENTS MADE TO ACHIEVE PROPER COVERAGE PRIOR TO ACCEPTANCE BY THE OWNER.
2. IRRIGATION CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO PROTECT AND PRESERVE ALL EXISTING UTILITIES LOCATED ON SITE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AND/OR REPLACED TO UTILITY OWNER'S STANDARDS AND SPECIFICATIONS AT CONTRACTOR'S EXPENSE.
3. CONTRACTOR TO HAVE ON-SITE PRE-CONSTRUCTION MEETING WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION.
4. CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING OF THE IRRIGATION SYSTEM SHOWING EXACT MEASURED AND DIMENSIONED LOCATIONS OF ALL VALVES, WIRE SPLICES IN A VALVE BOX AND DRAIN VALVES. SHOW DIMENSIONS TO PERMANENT SITE ELEMENT, SUCH AS EXISTING STRUCTURES.
5. ALL MAINLINES SHALL SLOPE TO DRAIN AND INSTALLED IN LANDSCAPE AREAS EXCEPT WHERE SLEEVED AS NEEDED. ADD ANY ADDITIONAL DRAINS, AS THE SITE REQUIRES.
6. CONTRACTOR TO PROVIDE ALL EQUIPMENT, WIRING, AND CONDUIT SHOWN IN THE DETAILS FOR COMPLETE CONTROL AND OPERATION OF THE SYSTEM.
7. NOT ALL SLEEVING NECESSARY TO COMPLETE THIS PROJECT MAY BE SHOWN ON PLAN. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL SLEEVING NECESSARY IS INSTALLED. COORDINATE LOCATION AND USAGE WITH OWNER OR GENERAL CONTRACTOR.
8. PROVIDE AND INSTALL MANUFACTURER'S RECOMMENDED SURGE AND LIGHTNING PROTECTION EQUIPMENT ON ALL NECESSARY SYSTEM COMPONENTS.

DETAILED NOTES

I1 – SEE DIAGRAM FOR POINT OF CONNECTION SCHEMATIC LAYOUT
I2 – CONTRACTOR SHALL CONFIRM VALVE COUNT AND ADJUST IN FIELD AS NECESSARY TO MEET WATERING NEEDS OF EACH PLANT.

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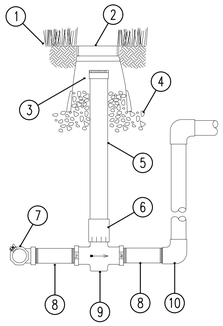
ISSUE TYPE:	DATE:
PERMIT SET	1/14/2022

PROJECT NUMBER:	21-057
DRAWN BY:	MF
CHECKED BY:	KG

IRRIGATION PLAN

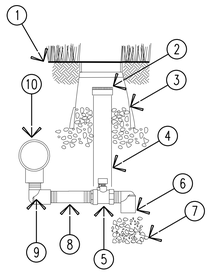
LI100



1. FINISH GRADE
2. 10" ROUND BOX
3. PLASTIC CAP
4. 3/4" WASHED GRAVEL MIN. 8" DEEP
5. 2" S/40 PVC PIPE
6. S/40 FEMALE ADAPTOR
7. PAC JOINT FITTING
8. X" X 6" BRASS NIPPLE
9. STOP AND WASTE VALVE
10. S/80 SLIP X THREAD ELBOW

C1 / LI101 STOP & WASTE VALVE

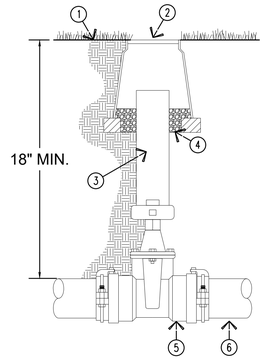
SCALE: NTS — SECTION VIEW DETAIL



1. FINISH GRADE
2. IRRICAP
3. CARSON BROOKS 10" ROUND BOX
4. 2" SCH 40 PIPE
5. 3/4" MUELLER ORSEAL DRAIN VALVE
6. MARLEX STREET ELL
7. 1 CU/FT 3/4" GRAVEL
8. 3/4" X 6" BRASS NIPPLE
9. 3/4" SCH 40 STREET ELL
10. 'X' X 3/4", SXT, S/80 TEE

C2 / LI101 MANUAL DRAIN VALVE

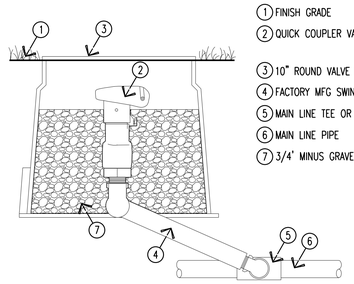
SCALE: NTS



1. FINISH GRADE
2. 10" CARSON BROOKS ROUND VALVE BOX
3. 6" CL/200 SLEEVE
4. 3/4" WASHED GRAVEL
5. LEEMCO D/I R/W VALVE
6. MAIN LINE PIPE

C3 / LI101 LARGE ISOLATION/LINE VALVE

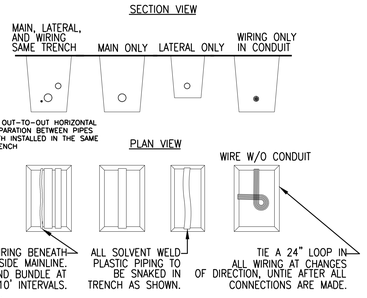
SCALE: NTS — SECTION DETAIL



1. FINISH GRADE
2. QUICK COUPLER VALVE
3. 10" ROUND VALVE BOX
4. FACTORY MFG SWING JOINT
5. MAIN LINE TEE OR ELL
6. MAIN LINE PIPE
7. 3/4' MINUS GRAVEL

C4 / LI101 QUICK COUPLER VALVE

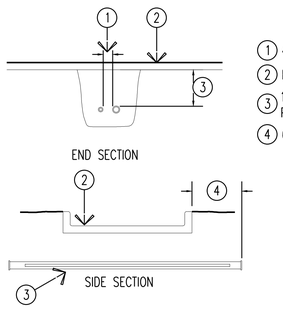
SCALE: 3" = 1"-0" — SECTION DETAIL



NOTES:
1. SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE WITHIN.
2. PIPE AND WIRE SHALL BE PLACED IN SEPARATE SLEEVES.
3. MAIN LINE SHALL HAVE 18" COVER, LATERAL LINE SHALL HAVE 12" MIN. COVER.

B1 / LI101 PIPE/WIRE IN TRENCH

SCALE: NTS — SECTION/PLAN DETAIL

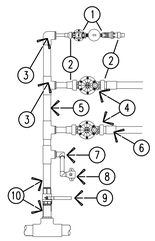


1. 4" MINIMUM CLEARANCE
2. FINISH GRADE
3. 18" MINIMUM, 24" MAXIMUM PIPE COVER
4. 6" MINIMUM, 18" MAXIMUM

SLEEVES TO BE 2X PIPE SIZE WITHIN. JOINTS TO BE WATERTIGHT. MECHANICALLY TAMP TO 95% PROCTOR.

B2 / LI101 SLEEVING

SCALE: NTS — SECTION DETAIL

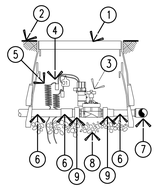


1. DRIP ZONE KIT, JUMBO BOX
2. ACTION MANIFOLD FITTINGS
3. **S/80 FITTINGS
4. RCV IN CARSON STANDARD 1419 VALVE BOX
5. **S/40 MANIFOLD MAIN LINE
6. S/40 COUPLER OR BELL END
7. LASCO UNITIZED SWING JOINT
8. QUICK COUPLER IN 10" BOX
9. **BRASS BALL VALVE
10. **S/80 TOE NIPPLE

NOTES:
**INDICATES COMPONENT SHALL BE SAME SIZE AS LARGEST LATERAL ON THIS MANIFOLD. DOWNSTREAM OF BALL VALVE: MANIFOLD FITTINGS SHALL BE S/80, PVC PIPE SHALL BE S/40

B3 / LI101 CONTROL VALVE MANIFOLD

SCALE: NTS — SECTION DETAIL

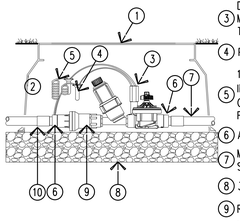


NOTE: GALVANIZED UNIONS REQUIRED ON EACH SIDE OF CONTROL VALVES $\frac{1}{2}$" AND GREATER

1. STANDARD VALVE BOX
2. FINISH GRADE
3. REMOTE CONTROL VALVE
4. PAIGE WIRE CONNECTORS (2)
5. 14 AWG PE WIRE
6. SCH 40 PIPE & FITTINGS
7. SCH 80 FITTINGS
8. 3/4" MINUS WASHED GRAVEL
9. ACTION MANIFOLD FITTINGS (2 EACH) 18011-X, 18012-X

B4 / LI101 REMOTE CONTROL VALVE

SCALE: NTS — SECTION DETAIL

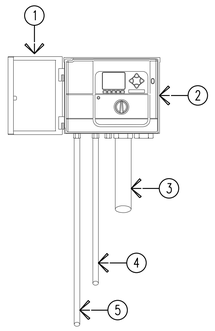


1. JUMBO VALVE BOX
2. WRAP BOX IN DEWITT PRO 5, 4 BRICKS UNDERNEATH
3. DRIP ZONE KIT MODEL PER PLAN TIP FILTER 45 DEGREES
4. PAIGE WIRE CONNECTORS (2)
5. 14 AWG PE WIRE. PLACED INSIDE OF MIN 1-1/2" CONDUIT, 4" ABOVE BOX FLOOR
6. ACTION MANIFOLD FITTINGS
7. MAIN LINE PIPE, SCH 80 FITTINGS
8. 3/4" MINUS WASHED GRAVEL
9. REGULATOR: 25 or 40 PSI
10. LATERAL LINE PIPE, SCH 40 FITTINGS

NOTE: UNIONS REQUIRED ON BOTH SIDES OF DRIP CONTROL ZONE.

A1 / LI101 DRIP CONTROL ZONE

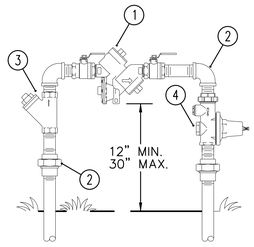
SCALE: 1.5"=1'-0" — SECTION DETAIL



1. MINIMUM CLEARANCE FOR DOOR OPENING: 15-1/2"
2. MODEL PER LEGEND
3. VALVE WIRE CONDUIT, UP TO 2-1/2" SIZE.
4. SUPPLEMENTAL GROUND WIRE (NECESSARY WHEN BUILDING GROUND NOT AVAILABLE)
5. 3/4" POWER SUPPLY CONDUIT J-BOX INSIDE CONTROLLER CONNECT PER LOCAL CODE

A2 / LI101 WALLMOUNT CONTROLLER

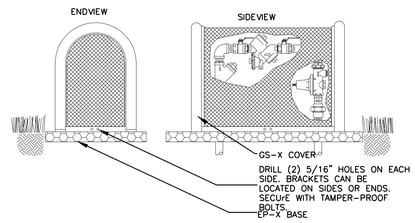
SCALE: 1" = 1'-0" — IRRIGATION DETAIL



1. RPA DEVICE
2. BRASS FITTINGS & NIPPLES
3. WYE STRAINER
4. PRESSURE REGULATOR

A3 / LI101 BACKFLOW PREVENTER

SCALE: NTS — SECTION DETAIL



USE BPDI BRAND 'GUARDSHACK', MODEL GS-X, WITH FOREST GREEN COATING. INSTALL TO MANUFACTURERS RECOMMENDATION.
USE BPDI BRAND 'ENCPAD' EP-X, PLASTIC BASE WITH 'PADLOK' HARDWARE. INSTALL TO MANUFACTURERS RECOMMENDATION.

A4 / LI101 BACKFLOW ENCLOSURE

SCALE: NTS — SECTION DETAIL

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IRRIGATION DETAILS

LI101

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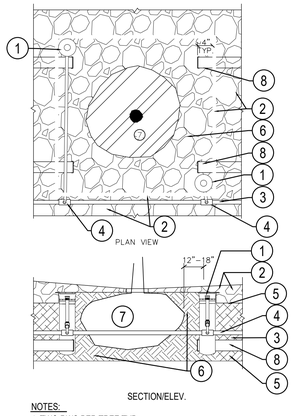


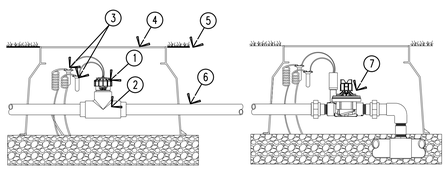
1. ROOT WATER SYSTEM (RWS) SEE IRRIG. PLAN LEGEND FOR MODEL NO. PLACE 2" TO 3" BELOW TOP OF MULCH. SCREEN MUST BE INSTALLED
2. TOP OF MULCH
3. IRRIG. LATERAL LINE PIPE (SIZE PER PLAN)
4. PVC SCH. 40 ELL OR TEE
5. ("COMPACTED STRUCTURAL) GROWING MEDIUM
6. SEE PLANTING DETAIL FOR SHRUBS AND TREES TOPSOIL PLANTING BACKFILL MIX
7. TREE ROOT BALL
8. 4" PE COEX RIGID PERFORATED DRAIN PIPE (18" LONG TYP.) SEE IRRIGATION PLAN FOR CONFIGURATION OF THE PERFORATED PIPES W/CAP AT PIPE ENDS PIPE TO BE LEVEL WITH TOLERANCE OF 1/4". PLACE PIPE W/HOLES AT TOP WRAP PIPE WITH DRAIN PIPE SOCK CLAMPED AT TEE'S (IF USED) AND TIED AT ENDS. INSTALL LEVEL WITH BOTTOM OF RWS CANISTER.

NOTES:
1. TWO RWS PER TREE TYP.
2. PLACE RWS EQUIDISTANT FROM ROOTBALL

C1 / LI102

ROOT WATERING ASSEMBLY

NTS



1. FLOW SENSOR MODULE
2. S/80 SLIP TEE
3. COMMUNICATION WIRE AS REQUIRED FROM FLOW SENSOR BACK TO CONTROLLER
4. STANDARD VALVE BOX
5. FINISH GRADE
6. MAIN LINE PIPE
7. MASTER VALVE, SEE RCV DETAIL

NOTE INLET PIPE LENGTH OF SENSOR MUST BE MIN. 10X PIPE DIA. STRAIGHT, CLEAN RUN OF PIPE, NO FITTINGS OR TURNS. OUTLET PIPE LENGTH OF SENSOR MUST BE MIN. 5X PIPE DIA. OF STRAGHT CLEAN RUN OF PIPE, NO FITTINGS OR TURNS.

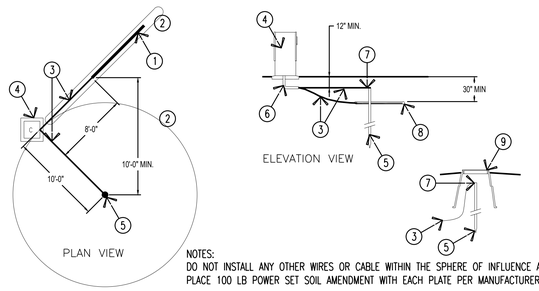
NOTE: UNIONS ON BOTH SIDES OF SENSOR ARE REQUIRED

B1 / LI102

MASTER VALVE / FLOW SENSOR

SCALE: NTS

SECTION DETAIL



1. COPPER GROUND PLATE (4" X 96" X .0625")
2. ELECTRICAL SPHERE OF INFLUENCE BOUNDARIES
3. #6 AWG BARE COPPER WIRE
4. IRRIGATION CONTROLLER, SEE OTHER DETAILS
5. 5/8" X 10' UL LISTED COPPER CLAD GROUND ROD
6. PVC SWEEP ELL, 1-1/2" OR LARGER
7. 'CADWELD' CONNECTION
8. 'POWER SET' EARTH CONTACT MATERIAL
9. 10" ROUND VALVE BOX

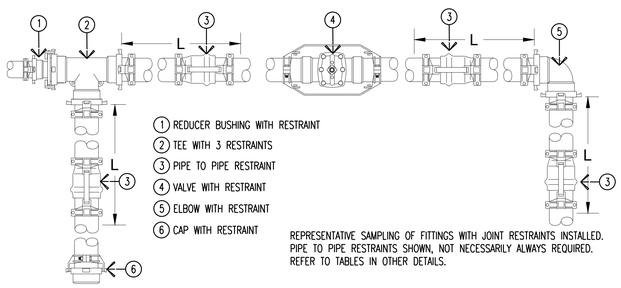
NOTES:
DO NOT INSTALL ANY OTHER WIRES OR CABLE WITHIN THE SPHERE OF INFLUENCE AREA.
PLACE 100 LB POWER SET SOIL AMENDMENT WITH EACH PLATE PER MANUFACTURER'S RECOMMENDATIONS.

B3 / LI102

GROUNDING GRID INSTALLATION

SCALE: NTS

LANDSCAPE & IRRIGATION DETAIL



1. REDUCER BUSHING WITH RESTRAINT
2. TEE WITH 3 RESTRAINTS
3. PIPE TO PIPE RESTRAINT
4. VALVE WITH RESTRAINT
5. ELBOW WITH RESTRAINT
6. CAP WITH RESTRAINT

REPRESENTATIVE SAMPLING OF FITTINGS WITH JOINT RESTRAINTS INSTALLED. PIPE TO PIPE RESTRAINTS SHOWN, NOT NECESSARILY ALWAYS REQUIRED. REFER TO TABLES IN OTHER DETAILS.

A1 / LI102

TYPICAL JOINT RESTRAINT LAYOUT (2-1/2" & LARGER)

SCALE: NTS

PLAN VIEW DETAIL

DISTANCE CHART

REFER TO THE FOLLOWING TABLE THAT LISTS THE LENGTH (IN FEET) FOR EACH SIZE/TYPE FITTING WITHIN WHICH ALL JOINTS JUST BE RESTRAINED. ALL FITTINGS AND JOINT RESTRAINTS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS & SPECIFICATIONS.

AS AN EXAMPLE, IF YOU ARE INSTALLING A 3" MAINLINE WITH A DIRECTIONAL CHANGE OF 90°, REFER TO CHART UNDER PIPE SIZE TO 3" AND UNDER BENDS 90 YOU WILL SEE THE DISTANCE OF 11'. IF THERE IS ANY JOINT (VALVE, BELL, ETC.) YOU MUST INSTALL A JOINT RESTRAINT WITHIN 11' OF THE 90° MAINLINE DIRECTIONAL CHANGE.

PIPE SIZE	BENDS				REDUCERS			DEAD END	
	11°	22°	45°	90°	1 STEP	2 STEP	3 STEP	BLIND	SERV. B.
2"	1'	1'	2'	6'	-	-	-	19'	6'
2.5"	1'	2'	4'	9'	4'	-	-	23'	10'
3"	2'	3'	6'	11'	8'	10'	-	30'	15'
4"	2'	4'	9'	20'	14'	20'	31'	45'	25'
6"	3'	6'	13'	29'	30'	40'	53'	63'	40'
8"	4'	8'	15	38'	33'	55'	63'	75'	70'
10"	5'	9'	19'	45'	36'	56'	75'	96'	90'
12"	5'	10'	21'	53'	38'	60'	83'	112'	110'

THESE CHARTS ARE BASED ON USE OF LEEMCO PRODUCTS, AND PROVIDED AS REFERENCE ONLY. CONTRACTOR SHALL CONTACT CORRESPONDING MANUFACTURER REPRESENTATIVE FOR PROPER CHARTS, TRAINING AND CERTIFICATION IF OTHER PRODUCTS ARE SUBMITTED AND APPROVED. FOR USE OF LEEMCO PRODUCTS, CONTACT TONY GARNER @ (208) 631-7787, THE LEEMCO REPRESENTATIVE, FOR ALL QUESTIONS CONCERNING LEEMCO PRODUCTS.

INSTALLATION CHART

REFER TO THE FOLLOWING TABLE WHICH LISTS THE NUMBER OF BOLTS, SIZE, AND TORQUE FOR EACH BOLT IN REFERENCE TO THE SIZE OF PIPE WHICH IS BEING RESTRAINED.

AS AN EXAMPLE, IF YOU HAVE A 3" PIPE, YOU WILL NEED 2 BOLTS THAT ARE 3/8 X 2.5" AND TIGHTEN THEM WITH A TORQUE WRENCH TO 20 FT-LBS.

PIPE SIZE	NO. BOLTS	BOLT SIZE	TORQUE FT-LBS.
2"	2	3/8" x 2.5"	20
2.5"	2	3/8" x 2.5"	20
3"	2	3/8" x 2.5"	20
4"	2	1/2" x 3"	50
6"	2	1/2" x 3.5"	50
8"	4	1/2" x 4"	50
10"	4	5/8" x 5.5"	100
12"	4	5/8" x 5.5"	100

A3 / LI102

JOINT RESTRAINT TABLES

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SALT LAKE CITY, UT 84111 — (801) 328-5151

CM / GC
GRAMOLL CONSTRUCTION — C/O AARON NIELSEN
155 S. 750 WEST — aaron.nielsen@gramoll.com
NORTH SALT LAKE CITY, UT 84054 — (801) 295-2341

WEST BOUNTIFUL PUBLIC WORKS FACILITY

1410 WEST 1200 NORTH
WEST BOUNTIFUL, UTAH 84087

STAMP

ISSUE TYPE:	DATE:
PERMIT SET	1/14/2022

PROJECT NUMBER:	21-057
DRAWN BY:	MF
CHECKED BY:	KG

IRRIGATION DETAILS

LI102

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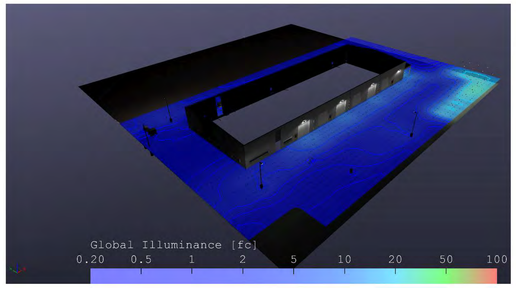

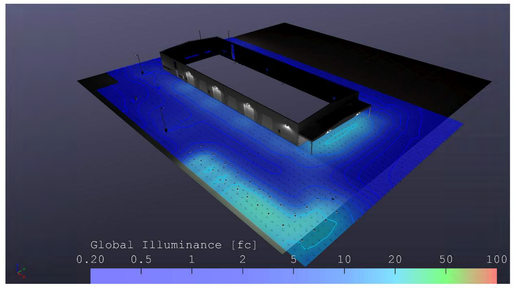

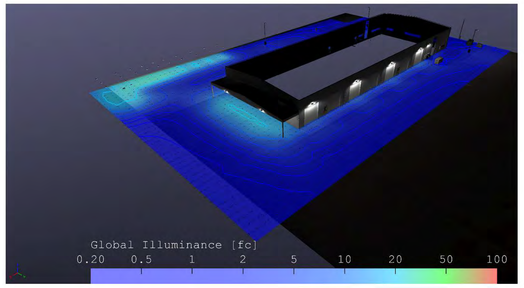

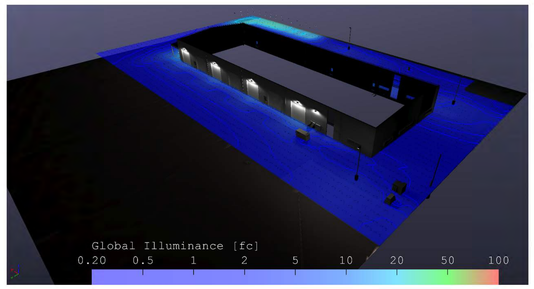

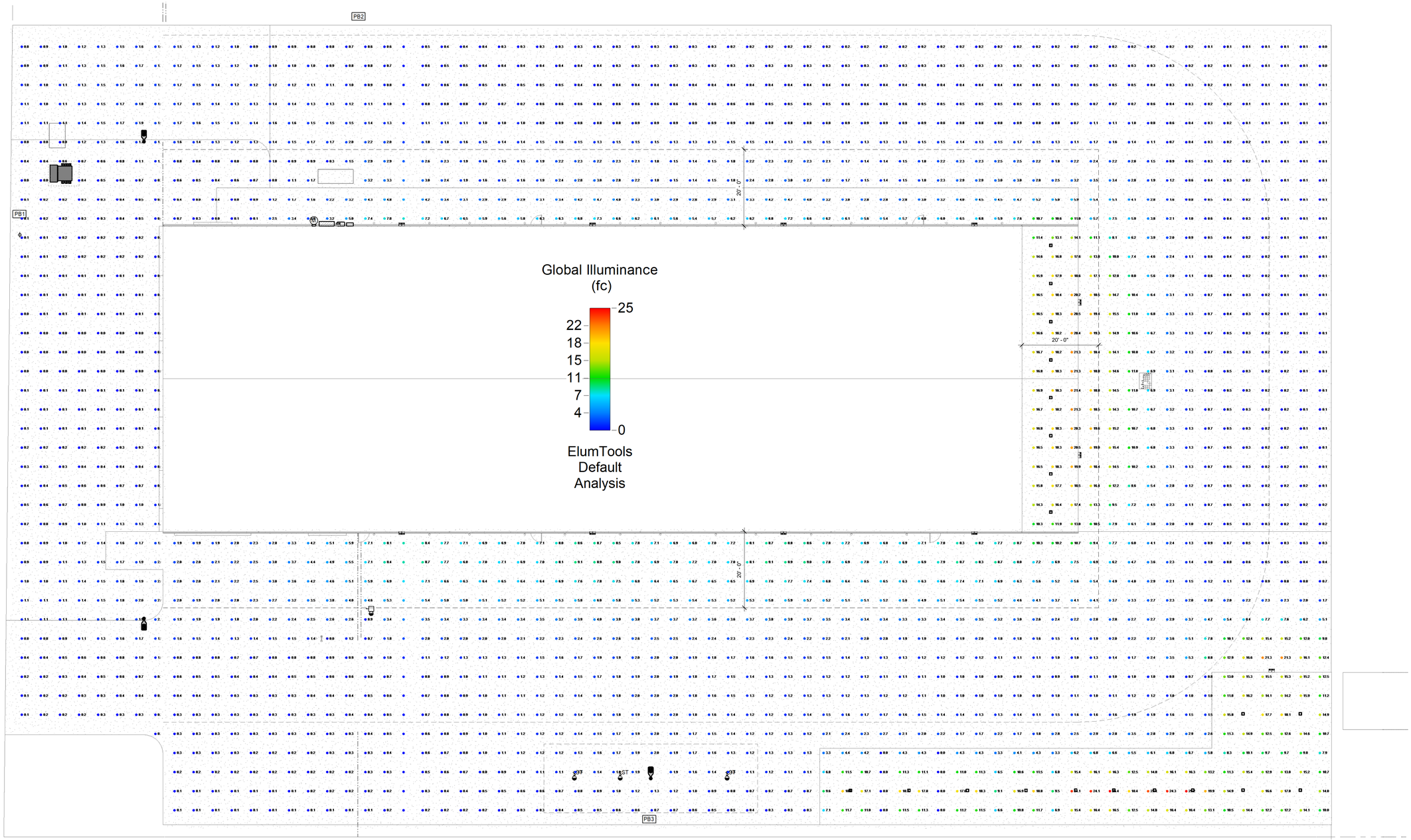

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A1 ES102.1 PHOTOMETRIC SITE PLAN
3/32" = 1'-0"

CRSA
ARCHITECTURE · PLANNING · INTERIORS
175 S MAIN STREET, STE 300 · SLC, UTAH 84111
801-355-5915 www.crsa-us.com

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MERIDIAN ENGINEERING, INC. — C/O NICHOLE LUTHI
1628 WEST 11010 SOUTH, SUITE 102 — nluthi@meiamerica.com
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WEST BOUNTIFUL PUBLIC WORKS FACILITY

1410 WEST 1200 NORTH
WEST BOUNTIFUL, UTAH 84087

STAMP

LICENSED PROFESSIONAL ENGINEER
No. 5497560-2202
Christopher Mark Cartwright
STATE OF UTAH

2022-01-14

ISSUE	DATE:
PERMIT SET	1/14/2022

PROJECT NUMBER:	21-057
DRAWN BY:	P. SOUTHERN
CHECKED BY:	M. CARTWRIGHT

PHOTOMETRIC SITE PLAN

ES102.1

MEMORANDUM

TO: **Planning Commission**

DATE: **August 20, 2021**

FROM: **Cathy Brightwell, Kris Nilsen**

RE: **Water-efficient Landscape Regulations**

The city recognizes water as a valuable resource that should be used wisely and as efficiently as possible and supports conservation efforts to protect water supply inventories for both present and future water needs.

Background

With increasing awareness of regional drought conditions and projections of significant population growth along the Wasatch Front over the next 40 years, conservation has become a key initiative of water districts across the state. The monetary cost of water conservation is considered much less than finding new water sources and building new infrastructure.

With 60% of residential water used outdoors, Weber Basin Conservancy District (Weber Basin) has asked cities to update landscape ordinances to encourage water efficient landscape regulations. They implemented watering restrictions in 2021 and are expected to limit water usage again in 2022. To help with these efforts, Weber Basin has begun offering a “flip your strip” rebate program. The program becomes eligible for residents that live in a city that has adopted a landscaping ordinance that meets certain conservation standards as outlined by Weber Basin. To date, Layton, Washington Terrace, Riverdale, and Clearfield have adopted water-efficient landscaping ordinances and qualify for Weber Basin’s rebate program.

Proposal

Attached for review and discussion is a proposal for water-efficient landscape regulations that replaces the current landscape requirements in WBMC 12.28.

WBC Water Efficient Landscape Ordinance (NEW)

12.28 Landscape Requirements
12.28.010 Purpose
12.28.020 Applicability
12.28.030 General Standards
12.28.040 Definitions
12.28.050 Landscape Design Standards
12.28.060 Irrigation Design Standards
12.28.070 Homeowner's Association Applicability
12.28.080 Prohibited Watering Practices
12.28.090 Enforcement And Penalties

12.28.010 Purpose

The purpose of this chapter is to protect and enhance the community's environmental, economic, recreational, and aesthetic resources by promoting efficient use of water in the community's landscapes, reduce water waste, and establish a structure for designing, installing, and maintaining water efficient landscapes throughout the City.

12.28.020 Applicability

This Chapter applies to all new and rehabilitated landscaping for public agency projects, private commercial and industrial development projects, developer-installed landscaping, and new residential dwellings or homeowner improvements within the front, side, and rear yards of residential properties.

For new construction of dwellings or commercial properties, these requirements shall take effect when building permits are required. An acceptable landscape plan shall be provided to the city for approval as part of the building permit application package.

12.28.030 General Standards

A. Every applicable property within the city of West Bountiful shall maintain landscape in a well-cared for manner that enhances the appearance of the property. This shall include, but not be limited to, proper pruning, mowing, weeding, and removal of litter;

B. Yards shall consist of a balance of living and nonliving landscape that do not violate any other federal, state, or municipal statute, ordinance, or law; and

C. Yards shall comply with the fencing, clear view, and setback requirements of all West Bountiful City ordinances.

12.28.040 Definitions

The following definitions shall apply to this Chapter.

A. "Hard Surface" consists of concrete, asphalt, brick or concrete pavers, rock or gravel, and cobblestones. All hard surface areas must be kept free of weeds.
B. "Hardscape" means any space made up of water features, artificial turf, walls, rocks, patios, decks, and paths. Does not include driveways and sidewalks.
C. "Irrigation Plan" is a written plan that shows the components of the irrigation system with water meter size, backflow prevention (when outdoor irrigation is supplied with culinary water), types of sprinkler heads for each irrigation circuit, and a description of the smart automatic irrigation controller.
D. "Landscape Plan" means a plan to be submitted to the city that shows the design of the landscape with natural features such as plantings, ground and water forms, circulation, walks, hardscape, and other features and specifications for landscaping a property or development. The Landscape Plan shall include a planting plan and an irrigation plan.
E. "Landscaping" means any combination of living plants, such as trees, shrubs, vines, ground covers, flowers, or grass; natural features such as rock, stone, or bark chips; and structural features, including but not limited to, fountains, reflecting pools, outdoor artwork, screen walls, fences, or benches.
F. "Microclimate" means the climate of a very small, restricted area that is different from the surrounding area. These areas include shade areas, sun areas, and areas protected by surrounding structures.
G. "Mulch" means any material such as rock, bark, wood chips or other materials left loose and applied to the soil.
H. "Open Space" All the space on the property not occupied by the home, a driveway equivalent to the carport, or attached garage, and/or swimming pool.
I. "Park Strip" means a typically narrow landscaped area located between the back-of-curb and sidewalk.
J. "Planting Plan" is a written plan that clearly and accurately identifies and locates new and existing trees, shrubs, ground covers, turf areas, driveways, sidewalks, hardscape features, and fences.
K. "Rehabilitated Landscaping" means altering, repairing, or adding to a landscape to make possible a compatible use, increase curb appeal, decrease maintenance, or similar.
L. "Smart Automatic Irrigation Controller" means an automatic timing device used to remotely control valves in the operation of an irrigation system using the internet to connect to a real time weather source or soil moisture sensor. Smart Automatic Irrigation Controllers schedule irrigation events using either evapotranspiration or soil moisture data to control when and how long sprinklers or drip systems operate and will vary based on time of year and weather/soil moisture conditions.
M. "Turf" means grass and the surface layer of earth held together by its roots.
N. "Xeriscape" is a style of landscape design requiring little or no irrigation or other maintenance using plants that can survive on low or minimal water usage.

17.28.050 Landscape Design Standards

Landscaping may include a combination of turf, plant cover, and xeriscape as described below. All landscaped areas shall be maintained free of weeds.

A. Plant Selection. Plants shall be selected for various landscape situations and conditions and be well-suited to the microclimate and soil conditions at the project site. Both native and locally-adapted plants are acceptable. Plants with similar water needs shall be grouped together as much as possible. (*A list of recommended plants is available on the city website*.)

B. Lawns. Except for designated recreational areas that allow access to the public,
    1. Lawn area shall not exceed thirty-five percent (35%) of the total landscaped area on residential properties.
    2. Lawn area shall not exceed fifteen percent (15%) of the total landscaped area on non-residential or mixed-use properties, or ten percent (10%) if secondary water is not available.
    3. No turf in park strips, areas less than 8-feet wide, or slopes greater than 25%.
    4. Park strip areas may be designed as bioswales, especially recommended in commercial, industrial and HOA common areas.

C. Mulch. After completion of all planting, all irrigated non-turf areas shall be covered with a minimum three (3) inch layer of mulch to retain water, inhibit weed growth, and moderate soil temperature. Non-porous material shall not be placed under the mulch.

D. Tree Selection. Tree species shall be selected based on growth characteristics and site conditions, including available space, overhead clearance, soil conditions, exposure, and desired color and appearance. *See city website for a list of general recommendations and trees prohibited in park strips.*

12.28.060 Irrigation Design Standards

The following irrigation design standards are required for all applicable properties, and strongly encouraged for all landscape projects.

A. Irrigation Controller. Landscaped areas shall be provided with a WaterSense labeled smart automatic irrigation controller, equipped with rain delay.
B. Irrigation valves shall irrigate landscapes with similar site, slope and plant materials with similar water needs.
    1. Drip irrigation shall be used for all non-turf areas and be equipped with pressure regulator and filter.
    2. Turf and non-turf areas shall be irrigated on separate valves.
    3. Drip emitters and sprinklers shall be placed on separate valves.
    4. No combination of differing sprinkler heads on the same irrigation valve.

12.28.070 Completion Timelines

All landscaping improvements required in accordance with the approved landscape plans shall be installed as follows:

1. For all commercial, industrial, mixed-use, multi-family, community use, and common areas managed by a Homeowner's Association, landscaping and irrigation systems included in the approved Landscape Plan shall be installed prior to issuance of any occupancy permit.

B. Landscaping shall be completed for single family dwellings on individual lots no later than the end of the next planting season (October of the following year) for front and side yards and a period of two years for the rear yard area.

C. Exceptions. If the installation of any of these improvements cannot be completed due to weather, including drought conditions, or other circumstances beyond the control of the owner or developer, …..

    1. Performance Security and Deferral Agreement?
    2. Escrow Agreement?
    3. Cash Bond?
    4. ??

12.28.070 Homeowner's Association Restrictions

Any Homeowner's Association governing documents that govern the operation of a common interest development, are void and unenforceable if they:

A. Require the use of any uniform plant material requiring overhead spray irrigation in landscape areas less than 8 feet wide or require any uniform plant material requiring overhead spray irrigation in other areas that exceed 40% of the landscaped area; or
B. Prohibit, or include conditions that have the effect of prohibiting, the use of water-conserving plants as a group; or
C. Have the effect of prohibiting or restricting compliance with this Chapter or other water conservation measures.

12.28.080 Prohibited Watering Practices

Regardless of the age of a development or individual property, water shall be properly used. Waste of water, including but not limited to the following, is prohibited.

A. The use of water for any purpose, including outdoor irrigation, that consumes or is applied in substantial excess beyond the reasonable amount required by the use,

whether such excess water is lost due to evaporation, percolation, discharges into the sewer system, or is allowed to run into the gutter or street.

B. The use of culinary water for irrigation in place of secondary water where restrictions are in place to the available existing secondary water.
C. Washing sidewalks, driveways, parking areas, tennis courts, patios, or other paved areas except to alleviate immediate health or safety hazards.
D. Washing personal vehicles.

12.28.090 Enforcement And Penalties

The Land Use Administrator and Public Works Director, or their designee, shall be authorized to enforce all provisions of this Chapter. Any consumer who violates any provisions of this Chapter shall be issued a verbal or written warning. If a subsequent violation occurs, a notice of violation will be issued describing the violation and order that it be corrected, cured or abated immediately or within times specified by the city. Failure to receive a notice shall not invalidate further actions by the City. If the order is not complied with, the city or water service provider may terminate water service to the customer. A consumer who violates this Chapter is guilty of a class B misdemeanor with a fine not to exceed $1,000.00.

WBC CURRENT

Chapter 12.28 LANDSCAPE REQUIREMENTS

12.28.010 Purpose.
12.24.020 Enforcement of landscape requirements.
12.24.030 Landscape plan.
12.24.040 Landscape plan materials--Selection.
12.24.050 Landscape plan materials--Installation.
12.24.060 Landscape plan materials--Maintenance.

12.28.010 Purpose.

The landscaping requirements specified in this chapter are intended to foster aesthetically pleasing development which will protect and preserve the appearance, character, health, safety and general welfare of the public. These regulations are intended to increase the compatibility of adjacent uses and, in doing so, minimize the harmful impacts of noise, dust, debris, heat, wind and air; lessen the problems of motor vehicle light glare or other artificial light intrusions; reduce the level of carbon dioxide and return pure oxygen to the atmosphere; provide shade and lessen energy consumption; buffer and screen undesirable uses and appearances from adjacent properties; eliminate the blighted appearance of parking lots; and act as a natural drainage system and lessen storm water drainage problems. (Ord. 267-00 § 1)

12.28.020 Enforcement of landscape requirements.

Wherever the submission and approval of a landscape plan is required by this code, such landscape plan shall be an integral part of any application for a building permit, conditional use permit or subdivision approval. No permit shall be issued without City approval of a landscape plan as required in this chapter. The requirements of this chapter may be modified by the planning commission, on a case-by-case basis, in response to input from the city police department regarding the effects of required landscaping on crime prevention. (Ord. 267-00 § 2)

12.24.030 Landscape plan.

A. The requirements of this chapter shall be considered a minimum, except in those cases where otherwise noted (i.e. specified ranges or specific numbers). The following code sections make reference to landscape plans and requirements: 17.20.090 Agricultural District, 17.28.080(B) Neighborhood Commercial, 17.32.080(B) General Commercial, 17.36.080(B) Light Industrial, 17.40.080(B) General Industrial, 17.52.060(C) Off-street Parking, 17.72.030(E) and (H), Mobile Home Parks, 15.12.040(D) Movement of Buildings and 17.76.030(B), Swimming Pools.

B. A landscape plan shall be drawn in conformance with the requirements specified in this chapter. Landscape plans are subject to approval by the planning commission.

C. All landscape plans submitted for approval shall contain the following information:

    1. The location and dimensions of all existing and proposed structures, property lines, easements, parking lots and drives, roadways and rights-of-way, sidewalks, bike paths, ground signs, refuse disposal and recycling areas, bicycle parking, fences, freestanding

electrical equipment, tot lots and other recreational facilities, and other freestanding structural features as determined necessary by the planning commission;

2. The location, quantity, size and name, both botanical and common names, of all proposed trees, shrubs and ground cover plants;

3. The location, size and common names of all existing plants including trees and other plants in the parkway, and indicating plants to be retained and removed;

4. Water irrigation system, with efficiency controls and design;

5. Summary data indicating:

    a. The area of the site in acres or square feet;

    b. The area of landscape improvements in square feet and percent;

    c. The area of domestic turf grass in square feet and percent;

    d. The area containing drought-tolerant plant species, in square feet;

6. Landscape Distribution.

    a. The minimum landscape width for any parcel fronting onto 500 West Street or 500 South Street shall be eight feet and shall extend across the entire frontage, excluding drive approaches;

    b. A corridor of trees shall be placed along all properties abutting Interstate Highway 15 (I-15). The spacing of the trees shall be determined by the type selected and as specified in this chapter. Clustering of trees shall be allowed, provided the net number of trees equals or exceeds the spacing requirement;

    c. A corridor of trees shall be placed in drainage swales. (Ord. 267-00 § 3)

12.24.040 Landscape plan materials--Selection.

Plants used in conformance with the provisions of this chapter shall be of good quality, and capable of withstanding the extremes of individual site micro-climates.

Size and density of plants, both at the time of planting and at maturity, are additional criteria which shall be considered by the planning commission when approving the landscape plan. The use of drought-tolerant plants is preferred when appropriate to the site conditions.

A. **Tree Species to be Planted**. The following list constitutes the recommended species for trees to be planted on land in the park-strip areas, drainage swales or abutting property lines on either side of all streets within the City:

    Large Trees* as follows: Medium Small

Hackberry, Thornless Honey Locust, Bur Oak, Red Oak, Norway Maple, Red maple, Littleleaf Linden, Crimena Linden, Japanese Zelkova, Ginko, Chinese Pistache

Medium Trees as follows:

Golden Raintree, Japanese Pagoda, Flowering Plum, Flowing Pear

Small Trees as follows:

Lavelle Hawthorne, English Hawthorne, Washington Hawthorne, Dolgo Crabapple, Dorothea Crabapple, Japanese Flowering Crabapple, Hopo Crabapple, Bechtel's Crabapple, Radiant Crabapple, Snow Drift Crabapple, Rebud Crabapple

* (not allowed in park strip or drainage swales; refer to 12.20.080 for park strip tree requirements)

B. **Spacing.** The spacing of street trees will be in accordance with the three species size classes listed above, and no trees may be planted closer together than the following: small trees, thirty (30) feet; medium trees, forty (40) feet; and large trees, fifty (50) feet; except in special plant systems designed or approved by a landscape architect.

C. **Shrubs, Less Than Four Feet Mature Height**. The following list constitutes the recommended species for shrubs to be planted in landscape areas within the City. In most instances, shrubbery will not be allowed in park strips, drainage swales or other locations within the street right-of-way:

Japanese red leaf barberry
Crimson pygmy barberry
Arnold dwarf forsythia
Emerald mound Honeysuckle
Snowmound spirea

D. **Ground Cover / Turf Grass**. The following list constitutes the recommended species for ground cover and turf grass to be planted on land in the park-strip area, drainage swales or abutting property lines on either side of all streets within the City:

Ground ivy
Matrimony vine
Snow-in-summer
Maiden Pink
Myrtle periwinkle
Kentucky bluegrass – common blend

NOTE: spreading ground cover is not allowed in drainage swale areas.

E. **Prohibited Materials in Park Strips and Drainage Swales**.

1. Rocks and gravel are hazardous to pedestrians and bicyclists, are difficult to walk across, may be kicked into streets or onto walking paths, and clog drainage systems;

2. Asphalt is inconsistent with the City's rural design;

3. Concrete may be installed in park strip areas with concrete sidewalks and concrete curbs and gutters, but are generally discouraged;

4. Thorn-bearing plants are hazardous to pedestrians, bicyclists and animals and are difficult to walk through or past. Roses may be acceptable if approved by the planning commission;

5. Ground cover or shrubs are prohibited from the rural street drainage swale areas. Ground cover less than eighteen (18) inches in height may be installed in the park strip area providing adequate spacing is provided for pedestrian access and as approved by the planning commission. (Ord. 267-00 § 4)

12.24.050 Landscape plan materials--Installation.

All landscaping shall be installed in accordance with the current planting procedures established by the American Association of Nurserymen. The installation of all plants required by this chapter may be delayed until the next optimal planting season, as determined by the planning commission.

12.24.060 Landscape plan materials--Maintenance.

A. Responsibility. The owner of the premises shall be responsible for the maintenance, repair and replacement of all landscaping materials and barriers, including refuse disposal areas, as may be required by the provisions of this chapter.

B. Landscaping Materials. All landscaping materials shall be maintained in good condition so as to present a healthy, neat and orderly appearance, and plants not in this condition shall be replaced when necessary and shall be kept free of refuse and debris.

C. Irrigation Systems. Irrigation systems shall be maintained in good operating condition to promote the conservation of water while providing adequate coverage for the plants.

D. All landscape improvements installed within the City's right-of-way are placed by permission of the City but the City shall not be responsible for the maintenance and upkeep of said improvements.

E. This requirement shall take effect when building permits are required for the following situations in the affected zone(s):

    1. All new construction on vacant parcels;

    2. Any substantial modification to an existing site or structure in which the estimated construction cost is greater than fifty thousand dollars ($50,000) in either a single application or any number of applications within a ten (10) year period;

    3. Subdivision approval in an A-l zone with rural street design approval.

F. The required landscaping percentage shall be strictly followed.

WHY WE OFFER REBATES

Water conservation is one of the most efficient ways to ensure we have enough water for our growing population. To make conservation easier for homeowners Weber Basin Water provides rebates for various products that help save water.

Weber Basin offers a rebate to residents in qualifying cities to remove turf in the park-strip area of their yard. The rebate is $1.25 per square foot of turf removed and replaced with water-wise landscaping.

Qualifications:

- **You must live in a qualifying city (see the list below).**
- **You must apply for the program before starting your park strip project. Previously converted park strips do not qualify for this program at this time.** (The application requires you to create an account at utahwatersavers.com)
- **You must attend a required "Flip Your Strip- Prerequisite Class" prior to beginning your project. Click here for class calendar . You will receive the class code needed to register for the class via email after you apply for the program.**
- **You will be required to sign a participation agreement to participate and receive the rebate.**

Please read the full explanation of the program and a summary sheet of all **the requirements for the Flip Your Strip rebate.** The program within Weber Basin's service area may be slightly different from other counties or other Water Districts. You must follow the process to receive this rebate. District staff will be in contact with you at various stages of the application process to clarify and assist you with parts of the application process or parts of the program that are different from other areas.

Cities with qualifying ordinances

- **Layton**
- **Riverdale**
- **Washington Terrace**

(Cities will be added as landscape ordinances are updated to meet District requirements. To get your city added to this list, contact your elected municipal representative and encourage them to work with Weber Basin on updating ordinances to qualify)

RESIDENTIAL SMART IRRIGATION CONTROLLERS AND TOILETS

Weber Basin offers rebates to all residents living in Davis, Weber, Morgan and Summit counties. There are specific requirements for each rebate offered. Smart controller rebates are 50% of the cost of a smart controller up to a maximum of $150.00. For toilets, if your home is older than 1994 you can qualify to receive rebate on up to two toilets with a flat rebate of $100.00 per toilet replaced. Newer homes do not qualify because toilets in those homes are already classified as "low flow". The District offers these rebates through the Utah Waters Savers program.

Click **HERE** to go to the application for your rebate

COMMERCIAL SMART IRRIGATION CONTROLLERS

For commercial, institutional, multifamily and other large properties that have many more irrigation stations than residential lots or multiple sites that need irrigation control form a central controller, Weber Basin offers incentives for smart central control systems. These are usually much more sophisticated and expensive because of the capabilities they offer. To qualify for rebates, please call the District to ensure that funding is still available. The rebate for commercial controllers is 50% of the cost of the controller up to a maximum of $1,500 per controller.

Click **HERE** for a list of qualifying commercial smart controllers.

Click **HERE** to go to the application for your rebate

Unsure if you qualify? Call us at 801-771-1677 to check.

COMMERICAL, INSTITUTIONAL, AND MULTIFAMILY UNIT TOILETS

If you are a facility manager and would like to replace old toilets on a larger scale for businesses, apartments, or other non-residential facilities, you may qualify for this rebate. The facility must be older than 1994 and **you must call and be pre-approved prior to the project** to ensure the project qualifies and that there are funds remailing for the program for the year. You may select any toilet as plumbing codes have changed and all new toilets are considered “low flow” or “water efficient”. Rebate in this category is $100.00 per toilet.
Click **HERE** to go to the application for your rebate.

- CONTACT US
- EMPLOYMENT
- ABOUT US
- PUBLIC NOTICES
- PRIVACY POLICY
- BUSINESS HOURS
- Monday-Friday 8:00 AM - 4:30 PM
- LEARNING GARDEN HOURS
- Summer: 8:00 AM - 8:00 PM
- Winter: 8:00 AM - 6:00 PM

LOCATION:

Weber Basin Water
Conservancy District
2837 E Hwy 193
Layton, UT 84040
Main Office

FIND US ON:

QUESTIONS?

801-771-1677

West Bountiful City **March 8, 2022**
Planning Commission Meeting

PENDING – NOT APPROVED

Posting of Agenda *- The agenda for this meeting was posted on the State of Utah Public Notice website, on the West Bountiful City website, and at city hall on March 4, 2022, per state statutory requirement.*

Minutes of the Planning Commission meeting of West Bountiful City held on Tuesday, March 8, 2022, at West Bountiful City Hall, Davis County, Utah.

Those in Attendance:

MEMBERS ATTENDING: Chairman Alan Malan, Commissioners Dennis Vest, Laura Mitchell, Mike Cottle, Corey Sweat, and Council member Kelly Enquist.

STAFF ATTENDING: Kris Nilsen (City Engineer), Cathy Brightwell (Recorder), and Debbie McKean (Secretary).

VISITORS: Todd Willey and Jay Gough.

The Planning Commission meeting was called to order at 7:30 pm by Chairman Malan.

1. Prayer by Commissioner Mitchell.
Pledge of Allegiance- Commissioner Sweat

2. Accept Agenda

***Mike Cottle moved to approve the agenda as presented. Dennis Vest seconded the motion. Voting was unanimous in favor among all members present*.**

3. Public Hearing- Proposed Changes to WBMC 15.08.050 Public Improvements Requirement as a Condition of a Building Permit.

Action Taken:
Laura Mitchell moved to open the public hearing at 7:33 pm to receive comments regarding Proposed Changes to WBMC 15.08.050 Public Improvements Requirements as a Condition of a Building Permit. Dennis Vest seconded the motion and voting was unanimous in favor.

Cathy Brightwell reviewed the proposed changes.

Public Comments: None

Action Taken:
Mike Cottle moved to close the public hearing at 7:35 pm regarding Proposed Changes to WBMC 15.08.050 Public Improvement Requirement as a Condition of a Building Permit. Dennis Vest seconded the motion and voting was unanimous in favor.

4. Public Hearing- Proposed Changes to WBMC 17.14.050, 17.16.040, 17.20.050, 17.24.050 Yard Regulations Correcting Side Yard Setbacks in Residential Zones and 17.04.030 definition of Building.

Action Taken:
Laura Mitchell moved to open the public hearing to receive comments regarding Proposed Changes to WBMC 17.14.050, 17.16.040, 17.20.050, 17.24.050 Yard Regulations, Correcting Side Yard Setbacks in Residential Zones and 17.04.030 definition of Building at 7:36 pm. Mike Cottle seconded the motion and voting was unanimous in favor.

Cathy Brightwell reviewed the proposed changes.

Public Comments: None

Action Taken:
Mike Cottle m*oved to close the public hearing at 7:38 pm regarding Proposed Changes to WBMC 17.14.050, 17.16.040, 17.20.050, 17.24.050 Yard Regulations Correcting Side Yard Setbacks in Residential Zones and 17.04.030 definition of Building.* Corey Sweat *seconded the motion and voting was unanimous in favor.*

5. Blackgate Investments, LLC's Proposal to Lease Land to Manheim Auto Auction in Exchange for Land Adjacent to Highgate Estates Fronting 1450 West.

Commissioner packets included a proposal from Todd Willey, BlackGate Investments, LLC with an aerial photo of the site and site plan attached.

Cathy Brightwell introduced the issue explaining that Manheim Auto Auction is in need of additional land to park overflow vehicles. Blackgate Investments has submitted a proposal for Commission review.

Todd Willey and Jay Gough explained the situation and their proposal to help Manheim in exchange for 3 acres of residential land adjacent to Highgate Estates. The proposal consists of the following:

1. Blackgate will lease the Auto Auction 6.75 acres of Onion Patch Securities' property – north of Manheim and south of the future road in Highgate 2 subdivision.
2. A developer's agreement will be drafted stating the land lease will be for a maximum period of ten (10) years, and after said period the land will revert back to Onion Patch Securities.
3. The 6.75 acres will be grubbed and fenced. It will have a clean appearance.
4. Blackgate Investments will receive approximately 3.32 acres in exchange for the land lease fronting 1450 West just southwest of Highgate Estates.
5. Blackgate Investments will construct four (4) new homes on 1450 West starting at "Tailgate Acres" moving north including enough additional acreage to form 4-1 acre lots. This will allow Highgate Estates to "close the gap" within Highgate making for a complete looking neighborhood.
6. Blackgate investments is seeking "spot zoning" for our 6.75 acres on a temporary basis (10 years). Blackgate investment recognizes that spot zoning is not common, however, closing in the existing neighborhood and blocking the view of the existing Auto Auction business from plain site would be of significant benefit to all existing property owners.
7. Blackgate Investments believes that with all the proposed development circling this area, placing this 6.75 acres on hold for the next 10 years will be of benefit to the community and city alike.

Commissioners asked questions to clarify some of the points presented. There was discussion about future development and making sure this proposal does not create a block of land that would be unusable or block future access that may be desired as part of surrounding developments. It was suggested that the spot zone be a temporary overlay zone with a development agreement that expires in 10 years.

Cathy Brightwell noted some additional steps may need to be taken to subdivide the Manheim parcel going to Blackgate.

Planning Commissioners agreed that the proposal is in the best interest of the city and suggested staff work with legal to come up with some options to make it work.

8. Consider Public Improvement Requirements as a Conditional of a Building Permit.

Cathy Brightwell reviewed the current draft that includes changes from the last meeting. WBMC 15.08.050.A 1-4, was changed to separate primary dwellings and commercial structures from non-commercial structures so that it was clear which ones apply. Clarification was also added to show that non-commercial structures are only included when connected to a public utility in the public street.

There was also discussion about accessory structures and whether they should ever be included in the list that requires public improvements. Commissioners agreed that they should not.

Action Taken:
Corey Sweat moved to approve the current draft of WBMC 15.08.050 and 16.20.020 and forward to City Council for their review and approval. Laura Mitchell seconded the motion and voting was unanimous in favor.

9. Consider Clarifications for Yard Regulations in Residential Zones.

Cathy Brightwell reviewed the current draft of changes that correct and clarify yard regulations. She noted that the side setback changes also impact height regulations in the A-S and A-1 zones so those have been clarified. Another change clarifies that when 3 foot setbacks are allowed, the adjacent wall, rather than entire structure, will be built to fire code standards.

In Section 17.04.030, the definition of building includes recreation and landscape enhancements. It was determined that they should be removed from the definition.

Action Taken:
Corey Sweat moved to approve the current draft of WBMC 17.04.030, 17.14.050 & 060, 17.16.050 & 060, 17.20.050, and 17.24.050 and move it forward to City Council for their review and approval. Dennis Vest seconded the motion and voting was unanimous in favor.

10. Discuss Olsen Farms 8 Subdivision Preliminary Plat.

Planning Commission packets included a memorandum dated March 4, 2022, from Kris Nilsen regarding Olsen Farms Estates Subdivision Plat 8 - Discussion with attached site plans attached.

Kris Nilsen explained that Chree Martin submitted a proposal for a 4-lot subdivision for her property at 1695 N Olsen Way. The property consists of 1.77 acres and is within the R-1-10 zone. He reviewed the following points of interest as listed below:

Points of interest or discussion include:

1. Lot 801 frontage does not meet minimum requirements of 85 feet of width at the front set back of 30 feet. Current designed width measures 83.43 feet at the front setback. Revise lot layout to provide minimum 85 feet lot width at front setback for lot 801.
2. Most of Lot 801 is in the Flood Plain Zone X and therefore finished floor elevations of proposed structures will be required to be one foot above flood plain elevation.
3. Provide approval from the easement owner for the service lateral crossings of existing easements on Lot 804 (Natural gas easement and South Davis Sewer District).
4. Existing structure on Lot 803 to be demolished and removed.
5. Existing structure on Lot 802 is to remain. But Kris feels like in the future that would be demolished.
6. Connect all lots to existing secondary pressure water system in street.
7. Replace existing damaged sidewalk on frontage of project property.
8. The project is within 175 feet of three existing streetlights, no additional streetlights are proposed. Fire hydrants meet requirements as well.
9. Site drainage is designed to flow to the street frontage or be collected in the existing and proposed storm drainpipe. No drainage will flow west or south onto adjacent properties.

Staff has reviewed the proposed preliminary plat and has forwarded comments to the developer. The purpose of tonight's review is to provide an opportunity to the Planning Commission to become familiar with the proposed subdivision.

Alan Malan asked for the engineer checklist to accompany the final plat. Kris Nilsen will provide a list of what still needs to be addressed along with the engineer's checklist of requirements when the final plat comes back for approval.

11. Consider Meeting Minutes from February 22, 2022.

Action Taken:

Laura Mitchell moved to approve the minutes of the February 22, 2022, meeting as presented. Corey Sweat seconded the motion and voting was unanimous in favor.

12. Staff Report

Kris Nilsen

- Weber Basin issued a notification that they will likely restrict outdoor watering to one day a week and a 60% reduction in contracted amounts for secondary water. Water will not be turned on until mid-May. This affects everyone but especially the golf course and park so they are discussing plans to address this.
- Monday's neighborhood meeting for the 600 North project went well. Project should begin end of April or mid-May.

- 400 North Well is scheduled to be fluoride tested tomorrow.
- Ivory Homes has stated that they now own all of the Gardner-Plumb property on the west side. They are putting together a development plan to present soon.
- Working on the building permit for grading for the new Public Works Shop. The conditional use permit should be ready for planning commission's next meeting.

Cathy Brightwell

- The Hugoe property on the west end of 400 North has 2 lots they want to subdivide into two 1-acre residential lots. This would be a small lot subdivision.
- Beginning work again on an updated landscape ordinance to comply with Weber Basin conservation regulations. Once approved, West Bountiful residents will qualify for Weber's "Flip Your Strip" rebate program.

13. Adjourn.

Action Taken:

Laura Mitchell moved to adjourn the regular session of the Planning Commission meeting at 9:00 pm. Corey Sweat seconded the motion. Voting was unanimous in favor.

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The foregoing was approved by the West Bountiful City Planning Commission on March 22, 2022, by unanimous vote of all members present.

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Cathy Brightwell – City Recorder