



**TOWN OF REDINGTON BEACH
BOARD REGULAR MEETING AGENDA
WEDNESDAY, January 16, 2019
6:30 P.M.**

Town Hall

Assembly Hall

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**
- 5. PUBLIC FORUM: Non-Agenda Items Only NOTE:** A three minute time limit applies to all comments from the public on non-agenda items only. If a person wishes to address the Board of Commissioners, please fill out a "Speakers Card" and give it to the Town Clerk prior to the start of the meeting.
- 6. REPORTS**

Public Safety	Commissioner Kornijtschuk
Building/Code	Vice Mayor Will
Public Works/Parks	Commissioner Steiermann
Finance	Commissioner Dorgan
Mayor	
Town Clerk	
Attorney Daigneault	
Boards & Committees	
- 7. CONSENT AGENDA**
 - A. Board Regular Meeting Minutes, January 2, 2019**
 - B. Bill List for Day Ending January 11, 2019**
- 8. OLD BUSINESS**
 - A. Land Use Attorney**
 - B. Final Reading of Ordinance 2018-02: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Amending the Town Code of Ordinances, Chapter 5 – Boats, Docks, and Waterways, Article III. – Bulkheads, Docks, Etc., in Boca Ciega Bay, Section 5-57. – Specifications for Docks; Providing for Severability and Establishing an Effective Date.**
 - C. Final Reading of Ordinance 2018-13: An Ordinance of the Town of Redington Beach, Florida, Amending the Town Code of Ordinances by Amending Chapter 21 – Traffic, Vehicles, and Parking, Article II – Stopping, Standing, and Parking, Division 1 – Generally Section 21-21. Stopping, Standing, or Parking Prohibited in certain places; Providing for Severability and an Effective Date.**



- D. Resolution 2019-02: A Resolution of the Board of Commissioners of the Town of Redington Beach, Florida Adopting the Technical Specifications for Swales and Driveways referenced in Ordinance 2018-05; Adopting a Fee Schedule as Referenced in Section 19-8 of Ordinance 2018-05; and Providing an Effective Date.**

9. NEW BUSINESS

- A. Alpha Foundations- Friendship Park**
- B. Board of Adjustment Appointment - Alternate**

10. OTHER BUSINESS

11. ADJOURNMENT

Note: The Town of Redington Beach Board of Commissioners meet the First and Third Wednesday of each month beginning at 6:30 p.m.

The Town of Redington Beach Board of Commissioners may take action on any matter during this meeting, including items that are not set forth within this agenda.

Minutes of the Board of Commissioners meeting may be obtained from the Town Clerk's office. The meetings may be recorded. The Minutes are not transcribed verbatim. It is the policy of the Board of Commissioners to make "action minutes" of all meetings

Persons requiring a verbatim transcript of any Town meeting (for purposes of appeal or otherwise) should make arrangements to have a certified Court Reporter, at their own cost and expense, present at the meeting.

Persons who wish to appeal any decision made by the Board of Commissioners with respect to any matter considered at this meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. (F.S. 286.0105) **Notice Regarding Special Accommodations: (F.S. 286.26)**



TOWN OF REDINGTON BEACH, FLORIDA
BOARD REGULAR MEETING MINUTES
Wednesday, January 2, 2019
6:30 p.m.

Having been duly advertised as required by law, the **Regular Meeting** of the Board of Commissioners of the Town of Redington Beach, Florida, was held on **Wednesday, January 2, 2019, 6:30 p.m.**, in Redington Beach Town Hall at 105 164th Avenue, Redington Beach Florida.

Mayor Simons called the **Regular Meeting** to order and led the pledge of allegiance.

Roll Call

	Present	Absent
Commissioner Dorgan	X	
Commissioner Kornijtschuk	X	
Commissioner Steiermann	X	
Vice Mayor Will	X	
Mayor Simons	X	
Town Attorney Daigneault	X	
Town Clerk Clarke	X	

Agenda: A motion by Commissioner Kornijtschuk and seconded by Vice Mayor Will to accept the agenda. Motion passed with all ayes.

Public Forum: No Public Forum

Public Safety

- Crime was down 20% in 2018.

Building

- Nothing to Report.

Public Works

- Nothing to Report.

Finance

- Fourth quarter investments have been reinvested and are doing well.

Mayor

- Mayor Queen had asked if the three Redington's would be interested in hosting a Movie in the Park night in each town. The company could then put together an advertisement for all three towns. North Redington will be playing the movie Jumanji in March. The company provides the movie and the popcorn for a family movie. The consensus was to move forward with this.

Town Clerk

- Nothing to Report.

Town Attorney

- Nothing to Report.

Boards and Committees

- Nothing to Report.

CONSENT AGENDA

A. Board Regular Meeting Minutes, December 19, 2018

B. Bill list ending for Day ending December 28, 2018

A motion by Commissioner Dorgan and seconded by Commissioner Kornijtschuk to approve the consent agenda as presented. No public comment. Motion passed with all ayes.

OLD BUSINESS

A. Garden Club, Butterfly Garden: Mary Cariello, president of the Garden Club noted that the butterfly garden has been disbanded as they were unable to get the members to commit to the maintenance of the garden. She will be will working with the town clerk and the public works department to replace the plants that were taken out. She also thanked the commission for their support.

B. Final Reading: Ordinance 2018-01: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Amending the Town Code of Ordinances, Chapter 5- Boats, Docks, and Waterways, Article III. – Bulkheads, Docks, et., in Boca Ciega Bay, Section 5-56. – Specifications for Seawalls, Bulkheads, and Retaining Walls; Providing for Severability and Establishing an effective date. Attorney Daigneault read the ordinance by title only. Town Planner, Bruce McLaughlin noted that there was a typo in the title, but nothing had changed since the first reading. A motion by Vice Mayor Will and seconded by Commissioner Kornijtschuk to adopt Ordinance 2018-01 on its final reading. No public comment. Motion passed with all ayes, by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan			X		
Commissioner Kornijtschuk		X	X		
Commissioner Steiermann			X		
Vice Mayor Will	X		X		
Mayor Simons			X		

C. Final Reading: Ordinance 2018-04: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Amending the Town code of Ordinances, Chapter 6 – Buildings, and Building Regulations, Article VIII. – Swimming Pools, Section 6-234 – Location; Providing for Severability and Establishing an Effective Date: Attorney Daigneault read the ordinance by title only. Commissioner Steiermann asked for clarification on subsection (d) regarding the “administratively vary” sentence. Mr. McLaughlin explained that this would be done by the engineer of record. A motion by Commissioner Dorgan and seconded by Vice Mayor Will to adopt ordinance 2018-04 on its final reading. No public comment. Motion passed with all ayes, by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan	X		X		
Commissioner Kornijtschuk			X		
Commissioner Steiermann			X		
Vice Mayor Will		X	X		
Mayor Simons			X		

- D. Final Reading: Ordinance 2018-05: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Amending the Town Code of Ordinance Repealing Chapter 19 – Streets, Sidewalks, and other Public Ways; Adopting a new Chapter 19 – Streets, Sidewalks, and other Public Ways; Creating Chapter 19.5 – Driveway Connections; Providing for Repeal and Re-numbering; Providing for Severability and Establishing an Effective Date.** Attorney Daigneault read the ordinance by title only. A motion by Commissioner Kornijtschuk and seconded by Vice Mayor Will to adopt Ordinance 2018-05 on it final reading. Mr. McLaughlin explained that he would like to have this ordinance go into effect with Ordinance 2018-13, so that the no parking on swales prohibition remains continuously in effect. He noted that he would prepare resolutions to be adopted by the commission in two weeks that will establish a fee schedule for Right of Way Utilization permits. No public comment. Motion passed with all ayes, by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan			X		
Commissioner Kornijtschuk	X		X		
Commissioner Steiermann			X		
Vice Mayor Will		X	X		
Mayor Simons			X		

- E. Final Reading, Ordinance 2018-10: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Repealing Section 12.91 of Article IV of Chapter 12 of the Town Code Regulating Construction Noise; and Amending Chapter 6, Article III, Buildings and Building Regulations of the Town Code by inserting Section 6-68, 6-69, 6-70, and 6-71, Regulating the Hours and Days during which Construction may occur in the Town; Permitting Construction Activities on Saturdays, between the Hours of 9:00 a.m. and 3:00 p.m.; permitting owner/builders to undertake certain interior construction Activities on Sundays; Prohibiting Construction Activities on Designated Federal Holidays; further regulating the use of Heavy Equipment in Construction Activities; Providing for Exceptions to the days and hours during which construction may occur when such exception will not impair the public health and safety and is in the public interest; providing for severability; and establishing an Effective Date.** Attorney Daigneault read the ordinance by title only. A motion by Vice Mayor Will and seconded by Commissioner Kornijtschuk to adopt Ordinance 2018-10 on final reading. Mr. McLaughlin noted that if a Federal holiday falls on a Saturday, the holiday would be observed on the Friday prior, and if the holiday fell on a Sunday, the holiday would be observed on the following Monday. This was an amendment from the previous version. Hank Eisinga, 15735 1st Street East, spoke against the ordinance. He would have expected stricter construction rules, not more lenient ones. He

believes that the 55 hours available to them during the work week is sufficient. The extended hours will hurt his quality of life. Mr. McLaughlin gave a timeline on how this ordinance became to the commission.

Deborah Bradbeer, 16442 Redington Drive, reminded the commission that they represent the people of the town and requests the commission give consideration to not have this ordinance passed for safety reasons. The commission members responded that they have talked to the residents and that they are in favor of being able to work on their homes on the weekend. After discussion amongst commissioners, it was requested that Section 6-71 be changed to include "following consultation with the mayor or building commissioner". A motion by Vice Mayor Will and seconded by Commissioner Kornijtschuk to amend the ordinance to include the holiday dates and the preceding quote. Motion passed with all ayes by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan			X		
Commissioner Kornijtschuk		X	X		
Commissioner Steiermann			X		
Vice Mayor Will	X		X		
Mayor Simons			X		

- F. Final Reading: Ordinance 2018-12: An Ordinance of the Town of Redington Beach, Pinellas County, Florida, Amending Section 6-125 of the Town Code by correcting a Scrivener's Error and Amending Section 10-10 by inserting a Definition of "Engineer of Record" providing for Severability and Establishing an Effective Date.** Attorney Daigneault read the ordinance by title only. A motion by Commissioner Kornijtschuk and seconded by Commissioner Steiermann to adopt Ordinance 2018-12. Mr. McLaughlin noted that there were no changes from the last reading. No public comment. Motion passed with all ayes by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan			X		
Commissioner Kornijtschuk	X		X		
Commissioner Steiermann		X	X		
Vice Mayor Will			X		
Mayor Simons			X		

NEW BUSINESS

- A. Resolution 2019-01: A Resolution of the Board of Commissioners of the Town of Redington Beach, Florida, establishing the dates for Town Regular Commission Meetings for Calendar Year 2019, and providing for an effective date.** Attorney Daigneault read the resolution by title only. A motion by Commissioner Dorgan and seconded by Commissioner Kornijtschuk to adopt Resolution 2019-01. No discussion. No public input. Motion passed with all ayes, by roll call vote.

	Motion	Second	Aye	Nay	Absent
Commissioner Dorgan	X		X		
Commissioner Kornijtschuk		X	X		
Commissioner Steiermann			X		
Vice Mayor Will			X		
Mayor Simons			X		

OTHER BUSINESS

With no further business, a motion was made by Commissioner Dorgan and seconded by Vice Mayor Will to adjourn. Regular meeting was adjourned at 7:29 p.m.

Adopted:

Missy Clarke, CMC, Town Clerk

INVOICE APPROVAL LIST BY FUND REPORT

Date: 01/11/2019

Time: 10:40 am

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Town of Redington Beach

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Fund/Dept/Acct	Vendor Name	Invoice #	Invoice Desc.	Check #	Due Date	Posting Date	Amount
Fund: 101 General Fund							
Dept: 512 Town Clerk							
101-512-512.230	Group Insurance FLORIDA MUN INSURANCE	2019-02-01	February 2019	0	01/11/2019	01/11/2019	699.89
							699.89
101-512-512.231	Life Insurance FLORIDA MUN INSURANCE	2019-02-01	February 2019	0	01/11/2019	01/11/2019	9.75
							9.75
101-512-512.232	Dental Insurance FLORIDA MUN INSURANCE	2019-02-01	February 2019	0	01/11/2019	01/11/2019	61.35
							61.35
101-512-512.410	Telephone BRIGHT HOUSE NETWORKS	056775401010219	1/8/19-2/7/19	0	01/02/2019	01/02/2019	199.96
							199.96
101-512-512.411	Internet Services BRIGHT HOUSE NETWORKS	056775401010219	1/8/19-2/7/19	0	01/02/2019	01/02/2019	119.97
							119.97
101-512-512.421	Stamps.com CHASE CARD SERVICES	2019-01-01	Stamps.com-January 2019	0	01/01/2019	01/01/2019	15.99
							15.99
101-512-512.440	Utilities- Water/EI DUKE ENERGY	73928-48713 2018-12	December 2018	0	12/27/2018	12/27/2018	185.12
							185.12
101-512-512.472	Election Expense ELECTION COMMISSION TR	2019-01-09	Simons, Steier, Korn 1% Assess	0	01/09/2019	01/09/2019	132.00
							132.00
101-512-512.480	Promotion/Public CHASE CARD SERVICES	4194313	Holiday Lunch - Seabreeze	0	12/14/2018	12/14/2018	380.05
							380.05
101-512-512.490	Advertising TIMES PUBLISHING COMPAI	726018	Ord. 2018-12, 13	0	01/10/2019	01/10/2019	76.80
	TIMES PUBLISHING COMPAI	721949	Ord. 2018-01,04,05,10,12	0	12/21/2018	12/21/2018	110.80
							187.60
101-512-512.510	Office Supplies ADRIANA NIEVES	2019-01-09	Reimbursement, mileage	0	01/09/2019	01/09/2019	44.34
	WATER BOY INC	001845	Dec. 2018 Water delivery	0	12/31/2018	12/31/2018	64.90
							109.24
101-512-512.515	Office Copier/Lea KONICA MINOLTA BUSINESS		12/1/18-12/31/18	0	01/09/2019	01/09/2019	129.13
							129.13
101-512-512.520	Office Copier/Us KONICA MINOLTA BUSINESS		12/1/18-12/31/18	0	01/09/2019	01/09/2019	61.08
							61.08
Total Dept. Town Clerk:							2,291.13
Dept: 513 Finance & Admin							
101-513-513.230	Group Insurance FLORIDA MUN INSURANCE	2019-02-01	February 2019	0	01/11/2019	01/11/2019	695.82
							695.82
101-513-513.231	Life Insurance FLORIDA MUN INSURANCE	2019-02-01	February 2019	0	01/11/2019	01/11/2019	9.75

INVOICE APPROVAL LIST BY FUND REPORT

Date: 01/11/2019

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Fund/Dept/Acct	Vendor Name	Invoice #	Invoice Desc.	Check #	Due Date	Posting Date	Amount
							9.75
101-513-513.232	Dental Insurance						
	FLORIDA MUN INSURANCE *	2019-02-01	February 2019	0	01/11/2019	01/11/2019	30.61
							30.61
101-513-513.495	Janitorial Service						
	HIP CLEANING SERVICE	64	Dec. 2018 Office Cleaning	0	01/03/2019	01/03/2019	135.00
							135.00
Total Dept. Finance & Admin:							871.18
Dept: 514 Legal Counsel							
101-514-514.121	Litigation						
	TRASK, DAIGNEAULT, LLP A	57311	Dec 2018 Litigation-STOLZ	0	01/04/2019	01/04/2019	49.50
							49.50
101-514-514.124	Town Attorney						
	TRASK, DAIGNEAULT, LLP A	57365	Dec 2018 Town Attorney	0	01/07/2019	01/07/2019	1,699.50
							1,699.50
Total Dept. Legal Counsel:							1,749.00
Dept: 522 Fire Control							
101-522-522.340	Fire Department :						
	CITY OF MADEIRA BEACH	4010556	Jan 2019-Mar 2019	0	01/02/2019	01/02/2019	14,017.00
							14,017.00
101-522-522.341	EMS (Seminole)						
	CITY OF SEMINOLE	19-110	Jan. 2019-Mar 2019	0	01/01/2019	01/01/2019	14,325.50
							14,325.50
Total Dept. Fire Control:							28,342.50
Dept: 524 Protective Services							
101-524-524.310	Code Enforcement						
	PINELLAS COUNTY SHERIFF	675194	December 2018 - Code Enf.	0	01/10/2019	01/10/2019	2,211.37
							2,211.37
Total Dept. Protective Services:							2,211.37
Dept: 539 Department of Public Works							
101-539-539.230	Group Insurance						
	FLORIDA MUN INSURANCE *	2019-02-01	February 2019	0	01/11/2019	01/11/2019	1,391.64
							1,391.64
101-539-539.231	Life Insurance - L						
	FLORIDA MUN INSURANCE *	2019-02-01	February 2019	0	01/11/2019	01/11/2019	19.50
							19.50
101-539-539.232	Dental Insurance						
	FLORIDA MUN INSURANCE *	2019-02-01	February 2019	0	01/11/2019	01/11/2019	130.91
							130.91
Total Dept. Department of Public Works:							1,542.05
Dept: 541 Roads & Streets							
101-541-541.467	Maint - Street Lig						
	DUKE ENERGY	73928-48713	2018-12 December 2018	0	12/27/2018	12/27/2018	2,305.69
							2,305.69
Total Dept. Roads & Streets:							2,305.69
Dept: 571 Libraries							
101-571-571.000	Libraries						

INVOICE APPROVAL LIST BY FUND REPORT

Date: 01/11/2019

Time: 10:40 am

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Town of Redington Beach

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Fund/Dept/Acct	Vendor Name	Invoice #	Invoice Desc.	Check #	Due Date	Posting Date	Amount
	GULF BEACHES PUBLIC LIB	2019-01-01	Jan 2019- Mar 2019	0	01/02/2019	01/02/2019	7,808.42
							7,808.42
						Total Dept. Libraries:	7,808.42
Dept: 572 Parks and Recreation							
101-572-572.340	Landscaping Exp						
	WILLIAM WOLLMAN	12/20/18-1/09/19	12/20/18-1/09/19	0	01/09/2019	01/09/2019	90.00
							90.00
101-572-572.430	Utilities						
	DUKE ENERGY	73928-48713	2018-12 December 2018	0	12/27/2018	12/27/2018	61.37
	DUKE ENERGY	60814-47178	2018-12 December 2018	0	12/31/2018	12/31/2018	13.04
							74.41
101-572-572.462	Maintenance - Gr						
	HOME DEPOT CREDIT SERV	003147/0091127	Toilet for Public Rest Room	0	01/03/2019	01/03/2019	109.06
	SUNCOAST HAULING	2967	Remove Long Pier debris	0	01/07/2019	01/07/2019	850.00
							959.06
101-572-572.522	Gasoline & Oil						
	CHASE CARD SERVICES	792393	Diesel fuel - Speedway	0	01/07/2019	01/07/2019	37.44
	SHELL	129627	Diesel fuel	0	01/02/2019	01/02/2019	28.00
							65.44
						Total Dept. Parks and Recreation:	1,188.91
						Total Fund General Fund:	48,310.25
						Grand Total:	48,310.25

1/3/2019	8453 PAYROLL	1,759.15
	8454 PAYROLL	1,332.28
	8455 PAYROLL	1,197.24
	8456 PAYROLL	1,251.86
1/4/2019	8464 Duke Energy	157,441.33
	8465 Morelli Landscaping	80,300.00

243,281.86

MAYOR SIMONS

VICE MAYOR WILL

COMMISSIONER KORNIJTSCHUK

COMMISSIONER DORGAN

ATTEST:

COMMISSIONER STEIERMANN

Missy Clarke, CMC, Town Clerk

Regular Meeting of January 16, 2019



ADVERTISED PUBLIC HEARING

Meeting Date: January 16, 2019

Agenda Item _____

FLORIDA MUNICIPAL SERVICES

18001 Gulf Blvd.

Redington Shores, FL 33708

(727) 202-6825

January 9, 2019

MEMORANDUM

TO: Honorable Mayor and Members of the Town Board of Commissioners

FROM: Darin Cushing, CBO, CFM, Building Official
R. Bruce McLaughlin, AICP, MCIP, Town Planner

SUBJECT: Proposed Dock Ordinance Amendments – Ordinance 2018-02

EXECUTIVE SUMMARY

Marine contractors working in the Town have requested changes to the locational provisions and technical specifications of the Dock Code, § 5-57 of the Town Code. The LPA heard presentations from the contractors in the Spring of 2018 and subsequently reviewed the requested changes, found the Ordinance to be consistent with the Comprehensive Plan and indicated which changes should be supported. The attached revisions to § 5-57 reflect the recommendations of the LPA and the action of the Board on first reading. **STAFF RECOMMENDS ADOPTION ON SECOND READING OF THE ATTACHED ORDINANCE SUBJECT TO COMMENTS THAT MAY BE RECEIVED FROM THE PUBLIC.**

BACKGROUND

Applicant: Various marine contractors active in the Town have requested a text amendment to the Town's Dock Code

Location: All waterfront properties on the Intracoastal side of the Town.

January 9, 2019

THE REQUEST

Marine contractors active in the Town request changes to the following provisions of the current dock code:

- Maximum permitted length of a dock;
- Maximum total decking permitted on a dock;
- Clarification of the requirement that docks “originate” in the center one third of a property;
- Relaxation of the treatment of nonconforming docks, (mooted by the contradictory provisions of the code and the application of the more lenient provisions);
- Amendments to the size and location of dock heads and walkways;
- Measurement of height based on tides, not NAVD;
- Permission to place concrete from docks being replaced along the adjacent seawall or under the new dock; and
- A “neighbor waiver” process for deviations from the Code requirements (tendered verbally during the LPA public hearings).

Further, staff noted issues with height limitations on lift poles and tie-poles that needed to be addressed. This amendment also presented the opportunity to modernize the code by changing the measurement point for vertical elevations from NGVD, 1929 (National Geodetic Vertical Datum established in 1929) to NAVD, 1988 (North American Vertical Datum established in 1988).¹ NAVD is a superior and more accurate benchmark.

In addition, based on the beginning of the discussion of this Ordinance at the Town Board meeting of December 5, 2018, Staff noted a contradiction between different provisions of section 5-57(a)(5), identified in the draft new Ordinance as section 5-57(a)(5)f, requiring approval of a special exception to work on an existing nonconforming dock, and section 5-57(a)(6) permitting work on a nonconforming dock “as of right.”

¹ The North American Vertical Datum of 1988 (NAVD 88) is the vertical control datum of orthometric height established for vertical control surveying in the United States of America based upon the General Adjustment of the North American Datum of 1988.

January 9, 2019

5-57(a)(6)f

All non-conforming dock facility permit requests shall be handled as a special exceptions.

5-57(a)(7)

Any dock facility existing at the time of the adoption of this section, although such dock facility does not conform with the provisions hereof, may be continued. No alterations may be made to said dock which will increase its degree of non-conformity but shall not prohibit work to maintain, repair, rebuild or reconstruct necessary to keep the dock facility in sound condition. [sic]

In keeping with the principle that land development regulations should be construed against the government, Staff have been applying the latter provision and permitting the rebuilding or reconstruction of existing nonconforming docks without requiring approval of a special exception. This issue, which was not reviewed by the Local Planning Agency, is addressed in the attached draft of the Ordinance² by deleting the special exception requirement and clarifying the “as of right” provision. However, this issue requires a policy decision by the Town Board.

Attachment B is a side-by-side comparison of the current code, the proposed amendments and a “clean copy” of how the code will read if the proposed ordinance is adopted. Attachment C is the formal copy of the proposed Ordinance.

HISTORY

From or before the 1980 codification of the Town Code adopted by Ordinance 80-3, the Town apparently had a maximum dock length of 45 feet, as set out in what was then § 5.57 (7) (b) of the Town Code. By Ordinance 93-03, adopted on May 18, 1983, the Town repealed the second and third sentences of § 5.57 (7) (b), including the maximum dock length of 45 feet.

The apparent result of the repeal of the former § 5.57 (7) (b) was to bring dock construction solely into the purview of the Pinellas County regulations. The remaining provision (modified by Ordinance 95-01 pertaining to floating docks), apparently read:

² Which also corrects some coding and numbering errors.

January 9, 2019

In all other respects, construction of docks within the Town shall conform to the minimum specifications enforced at the time, or better, [sic] the County Water and Navigation Control Authority.

Language stricken by Ordinance 08-02.

Included in the County regulations was a maximum dock length of 50% of the lot width to a maximum of 25% of the waterway width to a 300 foot maximum length, (now codified in § 166.333 (a) (4) of the Pinellas County Code).

Subsequently, by Ordinance 08-02, adopted in March, 2008, the Town rescinded its delegation of authority over dock construction to Pinellas County and resumed jurisdiction over dock construction using the regulations established by Ordinance 08-02 and being amended by Ordinance 2018-02. Included in Ordinance 08-02 was a 30 foot maximum length for all docks. Thus, over three periods of time, the Town's dock regulations established the following maximum dock lengths:

1980 or earlier to May, 1993	45 feet, per Town Code
May, 1993 to March, 2008	Max. 50% of lot width and 25% of waterway width to maximum 300 feet, per County Code
March, 2008 to the present	30 feet, per Town Code

Attachment D is a series of aerial photographs submitted by the marine contractors showing docks in the Town and their length. All but one of the docks ³ shown on Attachment D appear to be legal based on their construction dates. A clear majority of the docks in this part of the Town exceed 30 feet but were built before the Town's policy change in 2008.

It should also be noted that the Town's Board of Adjustment has generally approved (Attachment E), variance applications in appropriate circumstances. Those circumstances could include depth of water, nature of the shore, dimensions of the waterway, and the lack of conflicting existing or potential docks. They do not include a desire for a larger boat.

Also, it should be noted that, prior to May, 1993 and the adoption of Ordinance 93-03, the Town Board of Commissioners had the discretion to vary the permitted length of a dock. Ordinance 93-03 removed that discretion from the Board.

³ Presently being investigated by Staff.

January 9, 2019

In the spring and summer of 2018, the Planning Board tentatively approved most of the changes requested by the marine contractors (see pages 6 - 7), with some debate about the size and shape requirements for dock walkways and dock heads. At a duly noticed meeting on March 20, 2018, where the Planning Board lacked a quorum, the marine contractors expressed their comments on the draft ordinance dated 3/15/18. At the Planning Board's subsequent meeting with a quorum, 3/29/18, the Board considered the contractors' comments and other issues.

On April 10, 2018, the Planning Board held an advertised public hearing at which the marine contractors presented their requests and staff presented its recommendations. The Planning Board's final recommendations are reflected in the attached draft ordinance except that the resolution of the conflicting provisions regarding the rebuilding or reconstruction of nonconforming docks is considered for the first time in this draft of the Ordinance.

The Town Engineer has reviewed the contractors' request and was generally in accord with most suggestions other than the dock length. The engineer did not identify any technical concerns with the proposals. The Town Attorney's office comments on that draft are incorporated into the attached draft but this final form of the Ordinance should be re-reviewed by the Town Attorney prior to second reading of the Ordinance,

AUTHORITY

Pursuant to §§ 4 and 5 of the Town Charter, the Town is governed by the Board of Commissioners which may exercise all powers available to a municipality under the Constitution and laws of the State of Florida. Those powers include preparing, adopting and amending land development regulations, including the regulation of docks and their locations.

COMPREHENSIVE PLAN CONSISTENCY

Although there are not a lot of relevant Comprehensive Plan policies, the requested changes are generally consistent with the following Comprehensive Plan policies, all from the Conservation and Coastal Management Element:

- Goal 1:** To ensure the highest environmental quality possible, the Town of Redington Beach shall conserve, protect and appropriately manage its natural resources (aquatic, wetland, and terrestrial).

January 9, 2019

The amendments to the dock ordinance, as discussed herein, will help the Town to appropriately manage the dock/waterway interface.

Objective 1.3

The Town shall conserve or improve wetlands, aquatic resources, and wildlife population and habitat to maintain their environmental and recreational value.

Permitting the placement of old concrete along the adjacent seawall or under the dock footprint will provide additional habitat for fish.

Policy 1.3.3

Projects (e.g., marinas, causeways, and dredging) which could inhibit tidal circulation shall include measures to maintain or improve tidal circulation and flushing.

The proposed amendments will not result in any additional inhibition of tidal circulation.

RESPONSE TO CONTRACTORS' REQUESTS

The attached draft adopts most of the changes requested by the contractors and reflects many of the comments made by the Marine Contractors with respect to the 3/15/18 draft ordinance presented to the Planning Board and some of the changes requested in the Planning Board's public hearing. The following summarizes the response to the contractors' request (the "Recommendations" Column reflects the recommendations of Staff and the Planning Board):

REQUEST	RECOMMENDATION
Maximum permitted length of a dock (see narrative)	No change
Maximum total decking permitted on a dock	Amend: see Ordinance page 2, ll. 22 - 23.
Clarification of the requirement that docks "originate" in the center one third of a property	Amend: see Ordinance page 2, ll. 14 - 17.

January 9, 2019

Relaxation of the treatment of
nonconforming docks

Amend: Delete special exception requirement and, as is presently being done, enforce provision permitting as of right rebuilding and reconstruction in the same footprint: see Ordinance page 2, ll. 24 - 27, page 3, ll. 10 - 15; alterations would require a variance

Amendments to the size and location of
dock heads and walkways

Amend: See Ordinance page 3, ll. 28 - 35.

Permission to place concrete from docks
being replaced along the adjacent seawall or
under the new dock

Amend: See Ordinance page 4, ll 16 - 38

A "neighbor waiver" process for deviations
from the Code requirements (tendered
verbally during the LPA public hearings, see
additional discussion below).

With respect to rebuilding or reconstruction within the existing footprint, this request is mooted by the deletion of the special exception requirement and the enforcement of the laxer requirements of the current code. Relocation or enlargement of a nonconforming dock or non-compliance with the standards for a new dock should require Board of Adjustment approval.

Section 5-57 (a) (3): Heights should be
measured against mean high tide and not
NAVD.

No Change: NAVD is easier to determine and is more precise and is not susceptible to change as the seas rise.

It is further noted as follows:

As to the dock length, section 5-57 (a) (5) d: the contractors request that the maximum length of a dock should be the greater of 30 feet or one half the width of the water frontage of the subject lot. However, there are a number of lots with water frontages as large as 123.3 feet; 92.2 feet, 87.5 feet, 75.5 feet, etc. The property with 123.3 feet of water frontage sits on an inlet approximately 140 feet wide. Allowing a 61 foot long dock into a 140 foot wide channel is obviously problematic. Staff recommends leaving the maximum as of right length of a dock at

January 9, 2019

30 feet, recognizing that a property owner with an exceptionally wide lot, or with a lot with physical features that require a longer dock, may always seek a variance from the maximum dock length.

Attachment F is a summary of the regulations from the other Pinellas County local governments with dock regulations to show how this issued is governed in those jurisdictions. Copies of these code provisions are available from Staff or the codes can be accessed online at municode.com except for the Largo and South Pasadena codes which can be accessed through the cities' respective websites.

Attachment G is a history of the Town's dock regulations. That history shows that, under the Code as it existed in 1980, the Town Commission could approve lengthening a dock to the lesser of one half the width of the lot or 45 feet. That provision was repealed by Ordinance 93-03.

As to the "neighbor waiver" issue, (section 5-57 (a) (5) (f)): the contractors request that the special exception for the alteration of a nonconforming dock should be automatic if the abutting property owners agree. As noted above, there are contradictory provisions in the current code regarding the treatment of existing, nonconforming docks. Staff is enforcing the provision that allows the rebuilding or reconstruction of a nonconforming dock in the same or smaller footprint as of a right. The attached draft ordinance reflects this practice.

Any relocation or enlargement of a nonconforming dock – other than to a conforming or less nonconforming location and/or size – presently requires a variance and Staff recommends no change to this requirement. Likewise, a new dock that does not strictly conform with the requirements of the Code presently requires a variance and Staff also recommends no change to this requirement.

ADDITIONAL ANALYSIS SINCE FIRST READING

Staff brings to the Board's attention four additional comments based on the testimony from the public at first reading.

Dock Length as of Right

It is correct that Redington Beach has one of the shorter permitted dock lengths as of right, (30

January 9, 2019

feet), but Belleair Beach has the same length as of right and Oldsmar is shorter at 20 feet. ⁴ It should also be noted that the “as of right” dock lengths based on waterway width could be shorter still.(See Attachment F).

Process Issues

While Pinellas County permits the “neighbor waiver” and that permission extends to the five additional jurisdictions that are governed solely by the County regulations, only four other jurisdictions permit neighbor waivers for both dock length and lateral location and one jurisdiction permits administrative variances. An additional three municipalities permit neighbor waivers with respect to the lateral location of a dock, but not as to dock length. Thus, while Redington Beach is in the minority ⁵ in not permitting a neighbor waiver or administrative variance, it is one of nine municipalities that require a full scale variance application for an extension of the dock length and/or a lateral variance.

The Alvarez Dock

After the Alvarez variance request was denied, the applicants revised their application to build a 30 foot dock. That 30 dock was approved by the Town and by the Pinellas County Water and Navigation Control Authority subject to conditions designed to protect the underlying sea grass. These conditions included elevating the dock to five feet above MSL and the spacing of the dock boards. See Attachment H.

The Scope of the Issue

Based on a review of the Pinellas County Property Appraiser’s aerial photography, there appear to be 17 waterfront lots without docks (See Attachment I). Several of these lots are vacant and thus a dock is not allowed. Six of these lots are on inside radii where locating a dock is problematic and probably not feasible.

⁴ Seminole is shorter still at 16 feet but that applies only to Lake Seminole and not to Boca Ciega Bay or the Intracoastal Waterway.

⁵ Not all municipalities in the County have dock ordinances.

January 9, 2019

An effort was made to provide the Board with bathymetric mapping to further illustrate potential difficulties with the neighbor waiver process, but the reliability of the mapping in the near-shore areas is questionable and thus it is not included. However, local knowledge of the Town's near-shore waters, particularly by members of the Board of Adjustment hearing variance applications, is a valuable resource in the consideration of variance applications.

As noted above, existing docks may be rebuilt or reconstructed in their existing footprint, regardless of compliance with the Code. Therefore, the new Code will apply to between 11 and 17 new docks and to whatever properties have existing docks which the property owners wish to enlarge. The scope of the issue is thus relatively limited.

RECOMMENDATION

Although as recommended for approval by the LPA and by staff, Ordinance 2018-02 does not make the changes most desired by the marine contractor applicants – the as of right dock length and the neighbor waiver – the Ordinance makes most of the changes requested by the applicants and significantly improves the Town's dock code.

Accordingly, Staff and the Planning Board/local Planning Agency recommend **ADOPTION ON SECOND AND FINAL READING OF THE ATTACHED ORDINANCE SUBJECT TO COMMENTS THAT MAY BE RECEIVED AT THE PUBLIC HEARING.**

ATTACHMENT A
MARINE CONTRACTOR'S REQUESTS

REDINGTON BEACH DOCK CODE EXHIBIT

- The maximum allowable dock facility shall be within a 30-foot length from the seawall.
 - Can we make this the same as County rules: Dock length to be no more than $\frac{1}{2}$ the width of the lot (without variance signatures)?
- The total amount of decking including dock and catwalks shall be not greater than 400 square feet
 - Florida Department of Environmental Protection allows for up to 500 sq. ft. for a dock located on State owned lands. We can have more for docks located on privately-owned submerged land.
- All dock facilities shall originate within the center one-third of the property along the waterfront. No portion of the dock facility and/or boat or personal watercraft shall be any closer than $7\frac{1}{2}$ feet to the side property line as extended into the water unless the facilities a shared property line dock.
 - Can we get rid of "originate" and make the dock to be "contained" within the center $\frac{1}{3}$ rd or a setback of $7\frac{1}{2}$ feet? It makes it confusing to say that the dock must originate in the center $\frac{1}{3}$ rd. Is it the dock walkway that is supposed to originate, the dock head, or the lift that is supposed to originate in the center $\frac{1}{3}$ rd?
- All non-conforming dock facility permit request shall be handled as a special exception. All special exception shall require waterfront property owners within 150-foot radius to be notified of the request for the special exception.
 - Can non-conforming dock structures (for length, setbacks, etc.) obtain signatures from the affected neighbors rather than going through a hearing as is the case in Pinellas County?
- No dock head, which is defined for the purpose of this section as a structure parallel to the seawall or shoreline, shall be longer than 20 percent of the lot frontage, on water or the beach, or longer than 25 feet,
 - This rule is kind of tricky. It refers to the length, but it is the length parallel to the seawall, so technically, it is the width of the head. This means that a lot has to be at least 60' wide for us to have a dock head with a width of 12' (but we cannot have a side lower landing unless the lot is wider than that).
- Dock heads shall not be wider than 15 feet in a direction perpendicular to the seawall or beach line.
 - This rule is also a little tricky. It refers to the width of the head, but it is the width that is perpendicular to the seawall, so it is really the length of the dock head. This rule only allows for a dock head and lower landing to be 15' long. That means that the biggest dock head length we can have is a 12' long head with a 3' long lower dock on the front. This rule, and the one above, does not make any sense.
- No dock walkway, which is defined for the purpose of this section as the structure extending from land to the head, shall be more than eight feet wide, including all landings and stairs.
 - We have no issues with this part of the code.

- No dock walkway, which is defined for the purpose of this section as the structure extending from land to the head, shall be more than eight feet wide, including all landings and stairs.
 - We have no issues with this part of the code. This was changed to restrict the walkway of a dock to 8' in width.

We would like to add the following: Old concrete piling from previous structures shall be allowed to be placed on the submerged bottom, if contained within the footprint of the new structure. Placing old concrete piling under the dock structure will create a reef for habitat. This was changed, however, if it is a residential dock, the contractor must certify that there are no contaminants in the concrete that will adversely affect the water quality. If it is a non-residential dock, the engineer of record must certify it. The concrete must be under the new dock or in physical contact with the seawall. It also must be located completely below MLW unless it is at the seawall and then it must be covered by material that meets the rip rap part of the code.

ATTACHMENT B
SIDE-BY-SIDE COMPARISON

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 (a) *Generally.* Docks shall be
2 constructed in accordance with the
3 following:
4 (1) All piling shall be of precast
5 concrete, testing 3,000 pounds or better
6 in 28 days, or creosoted piles, pressure
7 treated or equivalent. Piling shall be at
8 least eight inches square in cross
9 section and be of a length that will
10 permit 25 percent of the length thereof
11 to be embedded in the compacted
12 bottom.

13 (2) Concrete piling shall
14 incorporate at least four, one-half-inch
15 diameter steel rods running the entire
16 length thereof and covered by at least
17 two inches of concrete.

AMENDMENT

(a) *Generally.* Docks shall be
constructed in accordance with the
following:
(1) All piling shall be of precast
concrete, testing 3,000 pounds or better
in 28 days, or creosoted piles, pressure
treated or equivalent. Piling shall be at
least eight inches square in cross
section and be of a length that will
permit 25 percent of the length thereof
to be embedded in the compacted
bottom.

(2) Concrete piling shall
incorporate at least four, one-half-inch
diameter steel rods running the entire
length thereof and covered by at least
two inches of concrete.

“CLEAN COPY”

(a) *Generally.* Docks shall be
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following:
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concrete, testing 3,000 pounds or better
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least eight inches square in cross
section and be of a length that will
permit 25 percent of the length thereof
to be embedded in the compacted
bottom.

(2) Concrete piling shall
incorporate at least four, one-half-inch
diameter steel rods running the entire
length thereof and covered by at least
two inches of concrete.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

- 1 (3) Piling shall not project above
2 the surface of the water or land higher
3 than the adjoining seawall, bulkhead or
4 retaining wall cap, or the crown of the
5 nearest road, street or thoroughfare,
6 with the exception of tie-poles.

AMENDMENT

- (3) ~~Piling shall not project above
the surface of the water or land higher
than the adjoining seawall, bulkhead or
retaining wall cap, or the crown of the
nearest road, street or thoroughfare,
with the exception of tie-poles. The top
of piling shall not be higher than 4.12
feet, NAVD and the top of the lift-poles
and tie poles shall not be higher than
12.12 feet, NAVD.~~

“CLEAN COPY”

- (3) The top of piling shall not be
higher than 4.12 feet, NAVD and the
top of the lift-poles and tie poles shall
not be higher than 12.12 feet, NAVD.

- 7 (4) All wood incorporated in docks
8 shall be treated by a pressure method
9 meeting the requirements of federal
10 specification TT-W-571d, and all nails
11 and bolts shall be galvanized or better.

- (4) All wood incorporated in docks
shall be treated by a pressure method
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shall be treated by a pressure method
meeting the requirements of federal
specification TT-W-571d, and all nails
and bolts shall be galvanized or better.

- 12 (5) The dock facility shall consist
13 of the slips, boatlifts, dock, catwalks,
14 platforms, lower landings, tie poles and
15 personal watercraft lifts.

- (5) The dock facility shall consist
of the slips, boatlifts, dock, catwalks,
platforms, lower landings, tie poles,
and personal watercraft lifts.

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of the slips, boatlifts, dock, catwalks,
platforms, lower landings, tie poles,
and personal watercraft lifts.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 All dock facilities shall originate
2 within the center one-third of the
3 property along the waterfront. One
4 dock per single-family property is
5 permitted. A maximum of two slips
6 with or without boat lifts are permitted.
7 The maximum allowable dock facility
8 shall be within a 30-foot length from
9 the seawall. The total amount of
10 decking including dock and catwalks
11 shall be not greater than 400 square
12 feet. All non-conforming dock facility
13 permit request shall be handled as a
14 special exception. All special exception
15 shall require waterfront property
16 owners within 150-foot radius to be
17 notified of the request for the special
18 exception. No portion of the dock
19 facility and/or boat or personal
20 watercraft shall be any closer than 7½
21 feet to the side property line as
22 extended into the water unless the
23 facilities a shared property line dock.
24 Two property owners may choose to

AMENDMENT

a. All dock facilities shall
originate be contained within the center
one-third of the property along the
waterfront, but in no case shall any part
of the dock facility be located any
closer to a side lot line than the
required setback for the zoning district
in which the property is located.
b. One dock per single-family
property is permitted.
c. A maximum of two slips with
or without boat lifts are permitted.
d. The maximum allowable dock
facility shall be within a 30-foot length
from the seawall.
e. The total amount of decking
including dock and catwalks shall be
not greater than 400 500 square feet.
f. All non-conforming dock
facility permit request shall be handled
as a special exceptions. All special
exception applications shall require
waterfront property owners within
150-foot radius to be notified of the

“CLEAN COPY”

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d. The maximum allowable dock
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from the seawall.
e. The total amount of decking
including dock and catwalks shall be
not greater than 500 square feet.
g. No portion of the dock facility
and/or boat or personal watercraft shall
be any closer than the greater of 7½
feet to the side property line or the
required side setback as extended into
the water unless the facilities are a

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

- 1 abut their dock facilities among their
2 common property line.

AMENDMENT

~~request for the special exception:~~
g. No portion of the dock facility
and/or boat or personal watercraft shall
be any closer than the greater of 7½
feet to the side property line or the
required side setback as extended into
the water unless the facilities are a
shared property line dock. Two
property owners may choose to abut
their dock facilities among their
common property line.

“CLEAN COPY”

shared property line dock. Two
property owners may choose to abut
their dock facilities among their
common property line.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 Two property owners sharing a
2 common side property line as extended
3 into the water can choose to have a
4 common dock in lieu of two individual
5 private docks. Shared property line
6 docks on a common property line shall
7 be allowed and shall require an
8 agreement between the property owners
9 that includes a provision that the
10 property owners shall be responsible
11 for the removal of the dock should that
12 agreement be terminated. The
13 agreement shall be recorded with
14 Pinellas County, with a copy of the
15 recorded agreement provided to the
16 town. The shared property line dock
17 facility shall conform to all
18 requirements of this section. Only one
19 shared property line dock is allowed
20 per lot.

AMENDMENT

i. Two property owners sharing a
common side property line as extended
into the water can may choose to have a
common dock in lieu of two individual
private docks.
ii. Shared property line docks on a
common property line shall be allowed
and shall require an agreement between
the property owners that includes a
provision that the property owners shall
be responsible for the removal of the
dock should that agreement be
terminated. The agreement shall be
recorded with Pinellas County, with a
copy of the recorded agreement
provided to the town.
iii. The shared property line dock
facility shall conform to all
requirements of this section.
iv. Only one shared property line
dock is allowed per lot.

“CLEAN COPY”

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dock should that agreement be
terminated. The agreement shall be
recorded with Pinellas County, with a
copy of the recorded agreement
provided to the Town.
iii. The shared property line dock
facility shall conform to all
requirements of this section.
iv. Only one shared property line
dock is allowed per lot.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 Dock facility owners shall be allowed
2 to repair their docks which have been
3 damaged by a natural disaster (act of
4 God, heavy winds and/or seas), in the
5 same configuration of the original
6 permitted dock. This subsection shall
7 not apply in instances where the
8 destroyed or damaged dock was not
9 originally permitted by the town. If a
10 permit has not been applied for within
11 90 days from the date of destruction,
12 the dock shall conform with all the
13 provisions of this chapter.

AMENDMENT

(6) Dock facility owners shall be
allowed to repair their docks which
have been damaged by a natural
disaster (act of God, heavy winds
and/or seas), in the same configuration
of the original permitted dock. This
subsection shall not apply in instances
where the destroyed or damaged dock
was not originally permitted by the
Town. If a permit has not been applied
for within 90 days from the date of
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“CLEAN COPY”

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of the original permitted dock. This
subsection shall not apply in instances
where the destroyed or damaged dock
was not originally permitted by the
Town. If a permit has not been applied
for within 90 days from the date of
destruction, the dock shall conform
with all the provisions of this chapter.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 Any dock facility existing at the time of
2 the adoption of this section, although
3 such dock facility does not conform
4 with the provisions hereof, may be
5 continued. No alterations may be made
6 to said dock which will increase its
7 degree of non-conformity but shall not
8 prohibit work to maintain, repair,
9 rebuild or reconstruct necessary to keep
10 the dock facility in sound condition.

11 (6) There will be a permit fee for all
12 docks subject to inspection as
13 established in section 6-308(f).

14 (7) Except as changed by the
15 provisions of sections 6-307 and 6-314,
16 docks erected serving any lots in the
17 town shall be subject to the following
18 restrictions governing size, shape and
19 location:

AMENDMENT

(7) Any dock facility existing at the
time of the adoption of this section,
although such dock facility does not
conform with the provisions hereof,
may be continued. No alterations may
be made to said dock which will
increase its degree of non-conformity
but shall not prohibit work to maintain,
repair, rebuild or reconstruct necessary
to keep the dock facility in sound
condition.

(8) There will be a permit fee for all
docks subject to inspection as
established in section 6-308(f).

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provisions of sections 6-307 and 6-314,
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“CLEAN COPY”

(7) Any dock facility existing at the
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but shall not prohibit work to maintain,
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provisions of sections 6-307 and 6-314,
docks erected serving any lots in the
Town shall be subject to the following
restrictions governing size, shape and
location:

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

- 1 a. No dock shall be erected which
- 2 will, in the opinion of the building
- 3 official, deprive owners of adjacent or
- 4 nearby lots of equal docks and equal
- 5 access to the docks.
- 6 b. No dock construction, including
- 7 all landings and stairs, shall project
- 8 more than 30 feet from the face of the
- 9 seawall, or 30 feet from the shoreline,
- 10 which is defined for the purpose of this
- 11 section as the mean low water line.

AMENDMENT

- a. No dock shall be erected which
- will, in the opinion of the building
- official, deprive owners of adjacent or
- nearby lots of equal docks and equal
- access to the docks.
- b. Except as provided in Section
- 5-57 (a)(5)(d), n~~No~~ dock construction,
- including all landings and stairs, shall
- project more than 30 feet from the face
- of the seawall, or 30 feet from the
- shoreline, which is defined for the
- purpose of this section as the mean low
- water line.

“CLEAN COPY”

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- will, in the opinion of the building
- official, deprive owners of adjacent or
- nearby lots of equal docks and equal
- access to the docks.
- b. Except as provided in Section
- 5-57 (a)(5)(d), no dock construction,
- including all landings and stairs, shall
- project more than 30 feet from the face
- of the seawall, or 30 feet from the
- shoreline, which is defined for the
- purpose of this section as the mean low
- water line.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

- 1 c. No dock head, which is defined
2 for the purpose of this section as a
3 structure parallel to the seawall or
4 shoreline, shall be longer than 20
5 percent of the lot frontage, on water or
6 the beach, or longer than 25 feet, and
7 dock heads shall not be wider than 15
8 feet in a direction perpendicular to the
9 seawall or beach line. The maximum
10 dimensions stated in this subsection
11 shall be the total dimensions, including
12 all landings and stairs.

AMENDMENT

- c. No dock head, which is defined
for the purpose of this section as a
structure parallel to the seawall or
shoreline, shall be longer than 20
percent of the lot frontage, on water or
the beach, or longer than 25 feet, and
dock heads shall not be wider than 15
feet in a direction perpendicular to the
seawall or beach line. The maximum
dimensions stated in this subsection
shall be the total dimensions, including
all landings and stairs. No dock
walkway, which is defined for the
purpose of this section as the structure
extending from land to the head, shall
be more than six feet wide.

“CLEAN COPY”

- c. No dock walkway, which is
defined for the purpose of this section
as the structure extending from land to
the head, shall be more than six feet
wide.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

1 (b) *Maximum height of enclosed*
2 *docks.* No enclosed or covered portion
3 of any pier, dock, walkway or other
4 similar structure extending beyond the
5 high-water mark of the waters of Boca
6 Ciega Bay on any cove, inlet or arm
7 thereof from the adjacent lot elevation
8 shall rise in height more than three feet
9 above the level of the lot elevation.
10 This provision shall not, however,
11 apply to open-work railings and flag or
12 signal poles placed thereupon.

AMENDMENT

(b) *Maximum height of enclosed*
docks. No enclosed or covered portion
of any pier, dock, walkway, or other
similar structure extending beyond the
high-water mark of the waters of Boca
Ciega Bay on any cove, inlet, or arm
thereof from the adjacent lot elevation
shall rise in height more than three feet
above the level of the lot elevation.
This provision shall not, however,
apply to open-work railings,
fish-cleaning tables, and flag or signal
poles placed thereupon.

“CLEAN COPY”

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above the level of the lot elevation.
This provision shall not, however,
apply to open-work railings,
fish-cleaning tables, and flag or signal
poles placed thereupon.

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

(c) *Floating docks.* No floating dock shall be installed that will exceed the length and width and summation of total dockage square foot area limitations for floating and pile installed docks as provided in this article. Nothing in this section shall prohibit the installation of floating docks so long as they are constructed of completely new components attached to new and separate piling and comply with all other appropriate sections of this article and the seal and signature of a state registered engineer shall be affixed to all plans submitted for such docks. Floatation shall be no less than that specified by Pinellas County. No floating dock shall be placed or situated in any of the town's waterways so as to impede or restrict in any way the free and safe passage of any other vessels using or entitled to use the waterways of this state.

AMENDMENT

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“CLEAN COPY”

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REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

AMENDMENT

“CLEAN COPY”

1

(d) Disposition of removed dock concrete. Concrete pilings and other concrete remnants of docks being replaced by new docks may be placed on the seabed subject to the following restrictions:

(1) For a non-residential dock the Engineer of Record, as is defined in Section 10-10 of this Code, or for a residential dock, the contractor to whom the dock permit is issued, certifies in writing to the Town, on a form to be provided by the Town, that:

a. there are no contaminants in the concrete that would adversely affect water quality based on the standards established by Pinellas County; and

b. there are no seagrasses or other environmentally sensitive features on or within 15 feet of the location where the concrete is to be placed.

(2) There is no exposed metal on or within the concrete;

(3) The concrete:

(d) Disposition of removed dock concrete. Concrete pilings and other concrete remnants of docks being replaced by new docks may be placed on the seabed subject to the following restrictions:

(1) For a non-residential dock the Engineer of Record, as is defined in Section 10-10 of this Code, or for a residential dock, the contractor to whom the dock permit is issued, certifies in writing to the Town, on a form to be provided by the Town, that:

a. there are no contaminants in the concrete that would adversely affect water quality based on the standards established by Pinellas County; and

b. there are no seagrasses or other environmentally sensitive features on or within 15 feet of the location where the concrete is to be placed.

(2) There is no exposed metal on or within the concrete;

(3) The concrete:

REDINGTON BEACH
PROPOSED ORDINANCE 2018-02 – DOCK CODE

CURRENT CODE

AMENDMENT

“CLEAN COPY”

- a. is placed under the footprint of the new dock; or
- b. is placed at the base of the seawall in a single row in physical contact with the seawall or with previously placed removed concrete; and
- c. is located completely below the Mean Low Water elevation.
- (4) The removed concrete may project above the Mean Low Water elevation at the seawall if it is covered by material that meets the requirements of § 5-63, "riprap" of this Code.

- a. is placed under the footprint of the new dock; or
- b. is placed at the base of the seawall in a single row in physical contact with the seawall or with previously placed removed concrete; and
- c. is located completely below the Mean Low Water elevation.
- (4) The removed concrete may project above the Mean Low Water elevation at the seawall if it is covered by material that meets the requirements of § 5-63, "riprap" of this Code.

AMENDMENT TO SECTION 10.10

North American Vertical Datum of 1988 (NAVD 88). The vertical control datum of orthometric height established for vertical control surveying in the United States of America and in Canada based upon the General Adjustment of the North American Datum of 1988.

AMENDMENT TO SECTION 10.10
North American Vertical Datum of 1988 (NAVD 88). The vertical control datum of orthometric height established for vertical control surveying in the United States of America and in Canada based upon the General Adjustment of the North American Datum of 1988.

ATTACHMENT C
PROPOSED ORDINANCE

Town of Redington Beach
ORDINANCE NO. 2018-02

AN ORDINANCE OF THE TOWN OF REDINGTON BEACH, PINELLAS COUNTY, FLORIDA, AMENDING THE TOWN CODE OF ORDINANCES CHAPTER 5 – BOATS, DOCKS AND WATERWAYS, ARTICLE III. – BULKHEADS, DOCKS, ETC., IN BOCA CEIGA BAY, SECTION 5-57. – SPECIFICATIONS FOR DOCKS; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the Board of Commissioners of the Town of Redington Beach desires to more effectively regulate any repairs to any existing and the erection of newly constructed docks; and

WHEREAS, the Board of Commissioners of the Town of Redington Beach finds that such regulation is in the best interests of the public health, safety and welfare; and

WHEREAS, the Board of Commissioners of the Town of Redington Beach has determined that the amendment of Section 5-57. – Specifications for docks is necessary to effectively regulate same; and

WHEREAS, the Town's Planning Board, which serves as its Local Planning Agency, has found this Ordinance to be consistent with the Town's Comprehensive Plan and has recommended approval of the amendment to further consistency with the Town's Comprehensive Plan;

NOW, THEREFORE BE IT ORDAINED by the Board of Commissioners of the Town of Redington Beach, Florida, that:

Section 1. The foregoing whereas clauses are incorporated herein by reference and made a part of hereof.

Section 2. This ordinance amends Chapter 5 – Boats, Docks and Waterways, Article III. – Bulkheads, Docks, Etc., in Boca Ciega Bay, Section 5-57. Specifications for docks as follows:

Sec. 5-57. - Specifications for docks.

(a) *Generally.* Docks shall be constructed in accordance with the following:

- (1) All piling shall be of precast concrete, testing 3,000 pounds or better in 28 days, or creosoted piles, pressure treated or equivalent. Piling shall be at least eight inches square in cross section and be of a length that will permit 25 percent of the

length thereof to be embedded in the compacted bottom.

(2) Concrete piling shall incorporate at least four, one-half-inch diameter steel rods running the entire length thereof and covered by at least two inches of concrete.

(3) ~~Piling shall not project above the surface of the water or land higher than the adjoining seawall, bulkhead or retaining wall cap, or the crown of the nearest road, street or thoroughfare, with the exception of tie-poles. The top of piling shall not be higher than 4.12 feet, NAVD and the top of the lift-poles and tie poles shall not be higher than 12.12 feet, NAVD.~~

(4) All wood incorporated in docks shall be treated by a pressure method meeting the requirements of federal specification TT-W-571d, and all nails and bolts shall be galvanized or better.

(5) The dock facility shall consist of the slips, boatlifts, dock, catwalks, platforms, lower landings, tie poles, and personal watercraft lifts.

a. All dock facilities shall ~~originate~~ be contained within the center one-third of the property along the waterfront, but in no case shall any part of the dock facility be located any closer to a side lot line than the required setback for the zoning district in which the property is located.

b. One dock per single-family property is permitted.

c. A maximum of two slips with or without boat lifts are permitted.

d. The maximum allowable dock facility shall be within a 30-foot length from the seawall.

e. The total amount of decking including dock and catwalks shall be not greater than ~~400~~ 500 square feet.

f. ~~All non-conforming dock facility permit request shall be handled as a special exceptions. All special exception applications shall require waterfront property owners within 150-foot radius to be notified of the request for the special exception.~~

g. No portion of the dock facility and/or boat or personal watercraft shall be any closer than the greater of 7½ feet to the side property line or the required side setback as extended into the water unless the facilities are a shared property line dock. Two property owners may choose to abut their dock facilities among their common property line.

i. Two property owners sharing a common side property line as extended into the water can may choose to have a common dock in lieu of two individual private docks.

ii. Shared property line docks on a common property line shall be allowed and shall require an agreement between the property owners that includes a provision that the property owners shall be responsible for the removal of the dock should that agreement be terminated. The agreement shall be recorded with Pinellas County, with a copy of the recorded agreement provided to the ~~t~~Town.

iii. The shared property line dock facility shall conform to all

requirements of this section.

iv. Only one shared property line dock is allowed per lot.

(6) Dock facility owners shall be allowed to repair their docks which have been damaged by a natural disaster (act of God, heavy winds and/or seas), in the same configuration of the original permitted dock. This subsection shall not apply in instances where the destroyed or damaged dock was not originally permitted by the ~~t~~Town. If a permit has not been applied for within 90 days from the date of destruction, the dock shall conform with all the provisions of this chapter.

(7) Any dock facility existing at the time of the adoption of this section, although such dock facility does not conform with the provisions hereof, may be continued. No alterations may be made to said dock which will increase its degree of non-conformity but ~~shall not prohibit~~ work to maintain, repair, rebuild or reconstruct necessary to keep the dock facility in sound condition within the same or smaller footprint is permitted.

(8) There will be a permit fee for all docks subject to inspection as established in section 6-308(f).

(9) Except as changed by the provisions of sections 6-307 and 6-314, docks erected serving any lots in the Town shall be subject to the following restrictions governing size, shape and location:

a. No dock shall be erected which will, in the opinion of the building official, deprive owners of adjacent or nearby lots of equal docks and equal access to the docks.

b. Except as provided in Section 5-57 (a)(5)(d), n~~No dock construction, including all landings and stairs, shall project more than 30 feet from the face of the seawall, or 30 feet from the shoreline, which is defined for the purpose of this section as the mean low water line.~~

c. ~~No dock head, which is defined for the purpose of this section as a structure parallel to the seawall or shoreline, shall be longer than 20 percent of the lot frontage, on water or the beach, or longer than 25 feet, and dock heads shall not be wider than 15 feet in a direction perpendicular to the seawall or beach line. The maximum dimensions stated in this subsection shall be the total dimensions, including all landings and stairs.~~
No dock walkway, which is defined for the purpose of this section as the structure extending from land to the head, shall be more than six feet wide.

(b) *Maximum height of enclosed docks.* No enclosed or covered portion of any pier, dock, walkway, or other similar structure extending beyond the high-water mark of the waters of Boca Ciega Bay on any cove, inlet, or arm thereof from the adjacent lot elevation shall rise in height more than three feet above the level of the lot elevation. This provision shall not, however, apply to open-work railings,

fish-cleaning tables, and flag or signal poles placed thereupon.

(c) *Floating docks.* No floating dock shall be installed that will exceed the length and width and summation of total dockage square foot area limitations for floating and pile installed docks as provided in this article. Nothing in this section shall prohibit the installation of floating docks so long as they are constructed of completely new components attached to new and separate piling and comply with all other appropriate sections of this article and the seal and signature of ~~a state registered engineer~~ the engineer of record as defined in Section 10-10 of this Code shall be affixed to all plans submitted for such docks. Floatation shall be no less than that specified by Pinellas County. No floating dock shall be placed or situated in any of the ~~t~~Town's waterways so as to impede or restrict in any way the free and safe passage of any other vessels using or entitled to use the waterways of this state.

(d) *Disposition of removed dock concrete.* Concrete pilings and other concrete remnants of docks being replaced by new docks may be placed on the seabed subject to the following restrictions:

(1) For a non-residential dock the Engineer of Record, as is defined in Section 10-10 of this Code, or for a residential dock, the contractor to whom the dock permit is issued, certifies in writing to the Town, on a form to be provided by the Town, that:

- a. there are no contaminants in the concrete that would adversely affect water quality based on the standards established by Pinellas County; and
- b. there are no seagrasses or other environmentally sensitive features on or within 15 feet of the location where the concrete is to be placed.

(2) There is no exposed metal on or within the concrete;

(3) The concrete:

- a. is placed under the footprint of the new dock; or
- b. is placed at the base of the seawall in a single row in physical contact with the seawall or with previously placed removed concrete; and
- c. is located completely below the Mean Low Water elevation.

(4) The removed concrete may project above the Mean Low Water elevation at the seawall if it is covered by material that meets the requirements of § 5-63, "riprap" of this Code.

Section 3. Chapter 10, Floodplain Management, Article II, Definitions, Section 10.10, Definitions, is amended by inserting, in alphabetical order:

North American Vertical Datum of 1988 (NAVD 88). The vertical control datum of orthometric height established for vertical control surveying in the United States of America and in Canada based upon the General Adjustment of the North American Datum of 1988.

Section 4. If any section, subsection, sentence, clause, provision or word of this Ordinance is held unconstitutional or otherwise legally invalid, same shall be severable and the remainder of this Ordinance shall not be affected by such invalidity, such that any remainder of the Ordinance shall withstand any severed provision, as the Board of Commissioners would have adopted the Ordinance and its regulatory scheme even absent the invalid part.

Section 5. This Ordinance shall become effective immediately upon final passage and adoption.

PASSED AND ADOPTED by the Board of Commissioners of the Town of Redington Beach, Pinellas County, Florida, on this ____ Day of _____ 201__.

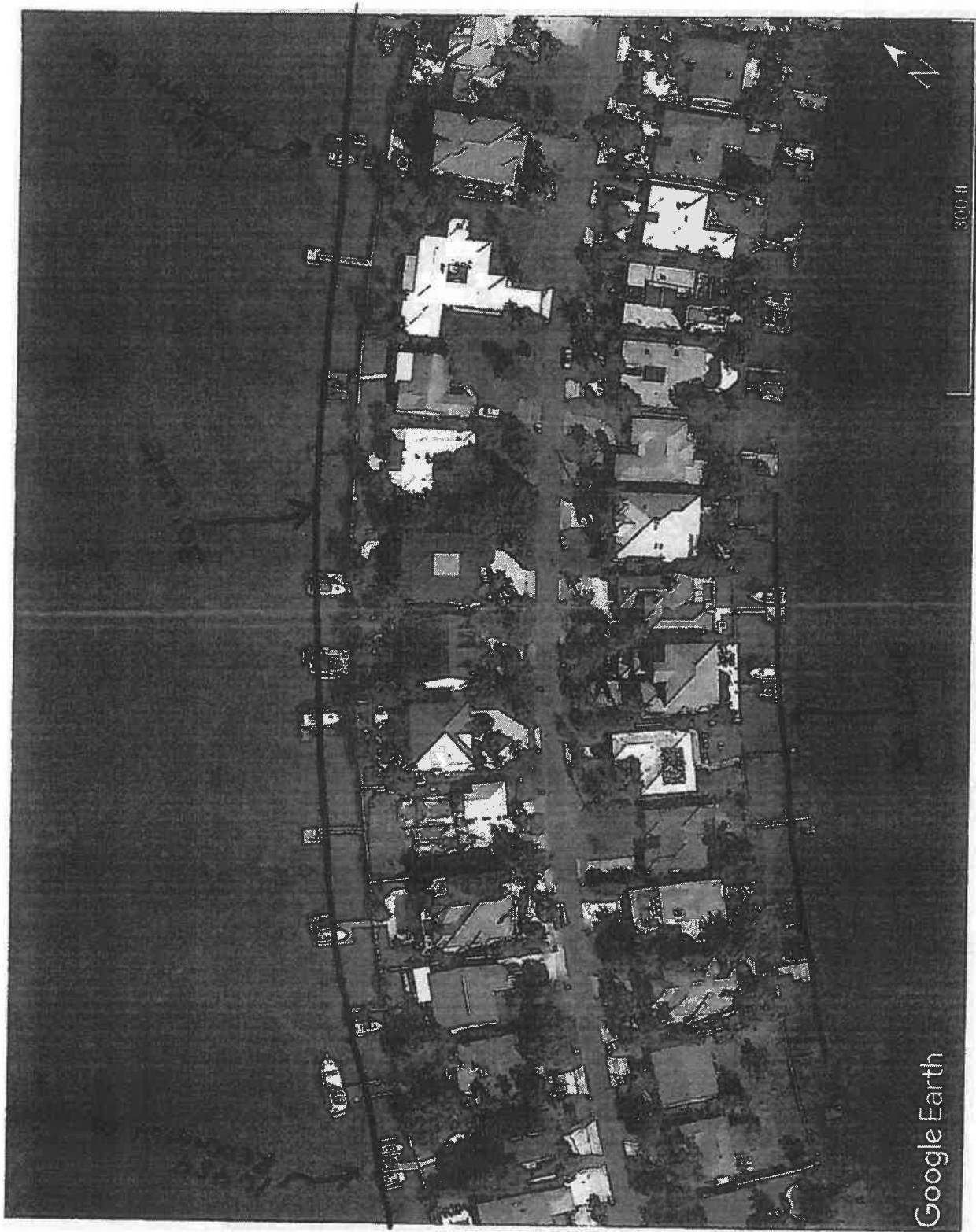
ATTEST:

Missy Clarke, CMC Town Clerk

Nick Simons, Mayor

	Motion	Seconded	Aye	Nay	Absent
Commissioner Kornijtschuk					
Commissioner Dorgan					
Commissioner Steiermann					
Vice Mayor Will					
Mayor Simons					

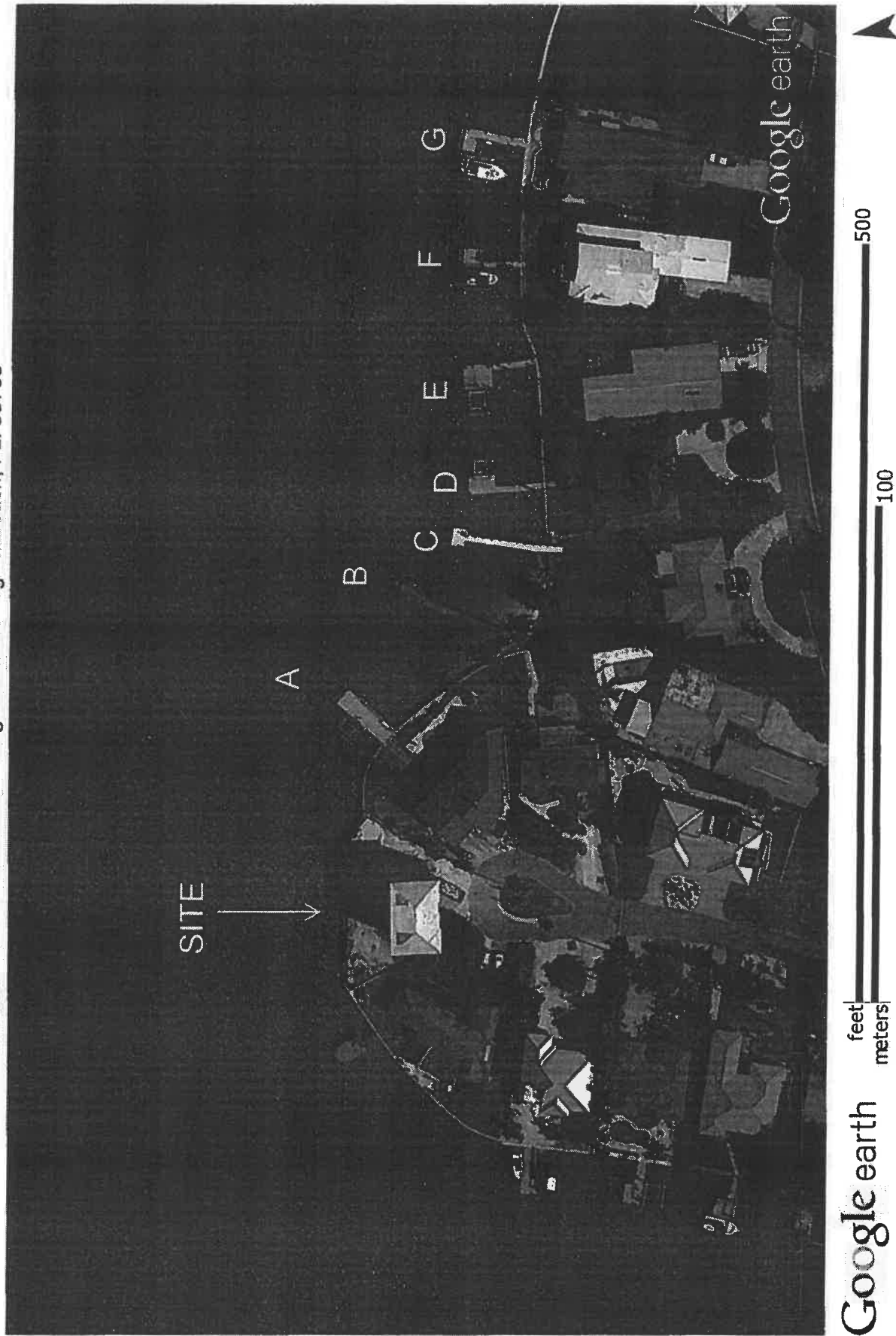
ATTACHMENT D
REDINGTON DRIVE DOCK AERIALS





Google Earth

Alvarez Residence-15930 Redington Dr. Redington Beach, FL. 33708



APPROXIMATE LENGTHS OF THE ABOVE NOTED DOCKS:

A= 74'-6" (44'-6" DOCK + 30' FOR TIE POLES) B= 92' C=73'

D=50' E=48' F=55'(40' DOCK + 15' FOR TIE POLES) G=45'

ATTACHMENT E
BOARD OF ADJUSTMENT SUMMARY

Date	Address	Variance requested	Result
2008			
2/21/2008	16124 4th St E	tie poles 50 ft from seawall	APPROVED
3/20/2008	16452 Redington Dr	tie poles 46 ft from seawall	APPROVED
6/19/2008	15525 Redington Dr	Dock extend additional 4.5 ft beyond 30 ft allowable	APPROVED
2009			
8/20/2009	15509 Redington Dr	Replace non-conforming dock longer than 30 ft.	APPROVED
8/20/2009	16106 6th St E	Placement of dock not in center 1/3 of seawall	APPROVED
11/19/2009	16448 Redington Dr.	Dock longer than 30ft - Total length = 46 ft.	APPROVED
2010			
2/19/2010	16045 Redington Dr.	Dock longer than 30 ft., AND side set back encroachment	Tabled until the March hearing
3/18/2010	16045 Redington Dr.	Dock longer than 30 ft., AND side set back encroachment	DENIED
3/18/2010	16011 5th St. E	Dock longer than 30ft - Total length = 42 ft.	APPROVED
7/15/2010	16131 4th St. E	tie poles at 50 ft from seawall	APPROVED

2011

11/17/2011	16478 Redington Dr.	replace non-conforming dock longer than 30 ft. - total 50 ft.	APPROVED
12/15/2011	16116 6th St. E.	install pilings 42 ft. from seawall	APPROVED

2012

4/19/2012	16444 Redington Dr	Dock longer than 30 ft. - Total length = 38.5 ft	APPROVED
7/19/2012	16029 Redington Dr.	Tie poles at 45 ft from seawall	APPROVED
11/15/2012	15849 Redington Dr	Dock longer than 30 ft. - Total length = 44 ft	APPROVED
11/15/2012	16005 4th St. E	dock longer than 30 ft - Total length = 43 ft	APPROVED

2013

1/17/2013	16005 5th St. E	Dock longer than 30 ft - Total length = 40 ft	DENIED
4/18/2013	15851 Redington Dr	Boat lift 38 ft from seawall	APPROVED
6/20/2013	16005 5th St. E	Tie pole at 35 ft. from seawall	APPROVED
9/19/2013	15505 Redington Dr	Alter non-conforming dock - encroach into side setback to add lift	APPROVED

9/19/2013	16329 Redington Dr.	Install lift 36 ft from seawall	APPROVED
9/19/2013	15531 Redington Dr	Alter non-conforming dock - increase dock area to 450 sq. ft.	APPROVED
12/19/2013	15511 Redington Dr	Dock longer than 30 ft - Total length = 64.5 ft	APPROVED
12/19/2013	16101 4th St. E	Encroach dock into side set back	APPROVED

2014

6/19/2014	15524 Redington Dr	dock longer than 30 ft - Total length = 43 ft	APPROVED
11/20/2014	15645 Redington Dr	Install lift 45 ft from seawall	APPROVED

2015

5/21/2015	16109 4th St. E	dock longer than 30 ft - Total length = 36 ft	Tabled until the next hearing
6/18/2015	16109 4th St. E	dock longer than 30 ft - Total length = 36 ft	APPROVED
10/15/2015	16460 Redington Dr	dock longer than 30 ft - Total length = 49 ft	APPROVED
10/15/2015	15926 Redington Dr.	dock longer than 30 ft - Total length = 33 ft	APPROVED
11/19/2015	16139 4th St. E	dock longer than 30 ft - Total length = 48 ft	DENIED

2016

1/21/2016	16357 Redington Dr.	Boat lift outside center 1/3 of seawall dock longer than 30 ft - Total length = 40 ft	APPROVED
2/18/2016	16139 4th St E		DENIED
3/17/2016	16006 4th St. E	Boat lift 47 ft from seawall dock longer than 30 ft - Total length = 61 ft	APPROVED
10/20/2016	15930 Redington Dr		DENIED
10/20/2016	16365 Redington Dr	dock longer than 30 ft - Total length = 48 ft	DENIED
12/15/2016	16480 Redington Dr	Alter non-conforming dock - add boat lift	APPROVED

2017

4/20/2017	517 161st Ave	Tie poles at 42 ft. from seawall dock longer than 30 ft - Total length = 40 ft	APPROVED
10/19/2017	16117 5th St. E		APPROVED

2018

1/18/2018	16124 6th St. E	Alter non-conforming dock - add boat lift	APPROVED
3/19/2018	16045 Redington Dr.	Dock longer than 30 ft., AND side set back encroachment	APPROVED

ATTACHMENT F
SUMMARY OF PINELLAS COUNTY REGULATIONS

PINELLAS COUNTY
LOCAL GOVERNMENT DOCK REQUIREMENTS
SUMMARY

Dock Comps
04/25/18
Rev'd 11/9/19

	REG'LNTS	LENGTH	WIDTH	GOVERNING REGULATIONS			WALK	CODE
				SIZE	LAT LOC	VARIANCE		
Pinellas County	✓	25% WW Width	50% Width		Center 1/3	N.W. Lat Only		166-333
Belleair	✓	50			Center 1/3	N.W.	✓	74-288 (d)
Belleair Beach	✓	30	30	900	12		✓	30-52
Belleair Bluffs	✓			P C WATER & NAVIGATION				?
Belleair Shores	X	X	X	X	X	X	X	X
Clearwater	✓	25% Width	35% Width		Center 1/3/ 20'	A.V.	✓	3-601
Dunedin	✓	25% WW			Center 1/3/ 50'	N.W.		103-23.6.3
Gulfport	✓			P C WATER & NAVIGATION				6-39
Indian Rocks Beach	✓	50"	35"	400/500	12"			94-86
Indian Shores	✓			P C WATER & NAVIGATION				106-41
Kenneth City	X			SPECIAL EXCEPTION				82-123/153
Largo	✓	50% Lot Width	25% Width		15'			16.7.3
Madeira Beach	✓	1/2 Width			Center 1/3/ 50'	N.W.		14-205
North Redington Beach	✓	36'			Center 1/3 - ZC			98-361
Oldsmar	✓	20'						14.1.6
Pinellas Park	X	X	X	X	X	X	X	X
Redington Beach	✓	30'						5-57
Redington Shores	✓	1/2 Width			Center 1/3/ 50'	N.W.		90-12
Safety Harbor	✓			P C WATER & NAVIGATION				56.00
Seminole	✓	16'		192	Side Yard			18-100
South Pasadena	✓							193-4
St. Pete Beach	✓	25% WW Width			Center 1/2	N.W. Lat Only		6-23
St. Petersburg	✓	25% WW Width			10'/20'	N.W. Lat Only		16.50.130
Tarpon Springs	✓			P C WATER & NAVIGATION				59.0
Treasure Island	✓	50'	25% Width		Center 1/3			69-71

A.V = Administrative Variance
N.W. = Neighbor Waiver
WW = Waterway

ATTACHMENT G
HISTORY OF TOWN CODE PROVISIONS

TOWN OF REDINGTON BEACH

Dock Ord History
04/27/18

DOCK REQUIREMENTS SOURCES

	1980 CODE	?	93-03	ORDINANCE 95-01	08-02	09-08
Conform to W&N	Required	Deleted				
Equal Access	Required		No Change	No Change	No Change	No Change
Length	30' (1)		(2)	No Change	No Change	No Change
Max Dock Head	(3)		No Change	No Change	No Change	No Change
Dock Walkway	8'		No Change	No Change	No Change	No Change
Lateral Location	None		No Change	No Change	Center 1/3	No Change
Max Size	None		No Change	No Change	400 s.f.	No Change
Non-conforming Repairs	None		No Change	No Change	Special Ex	No Change
Non-conforming Changes			No Change	No Change	Prohibited	No Change
Side Yard Setbacks	None		No Change	No Change	7.5'	No Change
Max Number of Slips	None		No Change	No Change	2	No Change

(1) 30 feet or, with Town Board Approval, 1/2 width of lot up to 45'

(2) Ability to lengthen dock deleted

(3) 20% lot frontage not to exceed 25' and 15' perpendicular

ATTACHMENT H
ALVAREZ PERMIT

**APPROVED WITH
CONDITIONS**

**PINELLAS COUNTY WATER & NAVIGATION
315 COURT STREET, CLEARWATER, FLORIDA 33756**

**APPROVED WITH
CONDITIONS**

ISSUED TO: SPEELER FOUNDATIONS FOR CHRISTOPHER & PAULINA ALVAREZ

CONSTRUCTION SITE: 15930 REDINGTON DRIVE, LOT #5

REDINGTON BEACH, FL 33708

AS REVISED

DESCRIPTION: 04-31-15-73998-000-0050

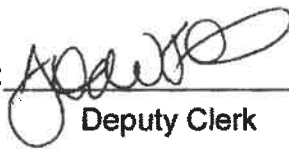
Permit is valid for 1 year

TO REPORT START DATE AND COMPLETION DATE, CALL: (727) 464-3770

PERMIT NO. P45861-16/REV

1. PERMITS MAY ALSO BE REQUIRED FROM THE FOLLOWING AGENCIES: FL D.E.P & U.S. ARMY C.O.E.
2. THE WATERS OF PINELLAS COUNTY ARE LOCATED WITHIN THE PINELLAS COUNTY & BOCA CIEGA BAY AQUATIC PRESERVE. SPECIAL REGULATIONS EXIST THAT GOVERN THE CONSTRUCTION WITHIN AN AQUATIC PRESERVE. PLEASE CONTACT THE FL D.E.P.
3. *THIS PERMIT IS VALID FOR A DOCK STRUCTURE ONLY.* ELECTRICAL WATER/SEWER INSTALLATIONS WILL REQUIRE SEPARATE PERMITS FROM THE APPROPRIATE (Municipal or County) BUILDING DEPARTMENT.
4. THIS PERMIT IS SUBJECT TO A 30 DAY APPEAL PERIOD FROM DATE OF ISSUE- CHAPTER 31182, SPECIAL ACTS OF FLORIDA, 1955 AS REVISED.

CLERK:
KEN BURKE

By: 
Deputy Clerk

DATE OF ISSUANCE:

12/1/16

FINAL INSPECTION:

**THIS PERMIT IS REQUIRED TO BE
POSTED IN A CONSPICUOUS LOCATION
AT THE CONSTRUCTION SITE.**

**APPROVED WITH
CONDITIONS**

**BOARD OF COUNTY
COMMISSIONERS**

Dave Eggers
Pat Gerard
Charlie Justice
Janet C. Long
John Morroni
Karen Williams Seel
Kenneth T. Welch



ADVISORY CONDITIONS PAGE

Pinellas County Water and Navigation Permit: P45861-16 REV

Notes regarding Federal criteria for construction over seagrass:

Please note that those portions of your dock located over seagrass must comply with the "Submerged Aquatic Vegetation (SAV)" guidelines attached to general permit SAJ-96. Seagrass in the project area starts approximately 5 feet from the seawall and ends approximately 51 feet from the seawall. Those portions of the dock located over seagrass must be elevated to 5.0 ft. above Mean High Water and have 1/2 inch spacing between deck boards in order to be in compliance with your Federal permit (SAJ-96).

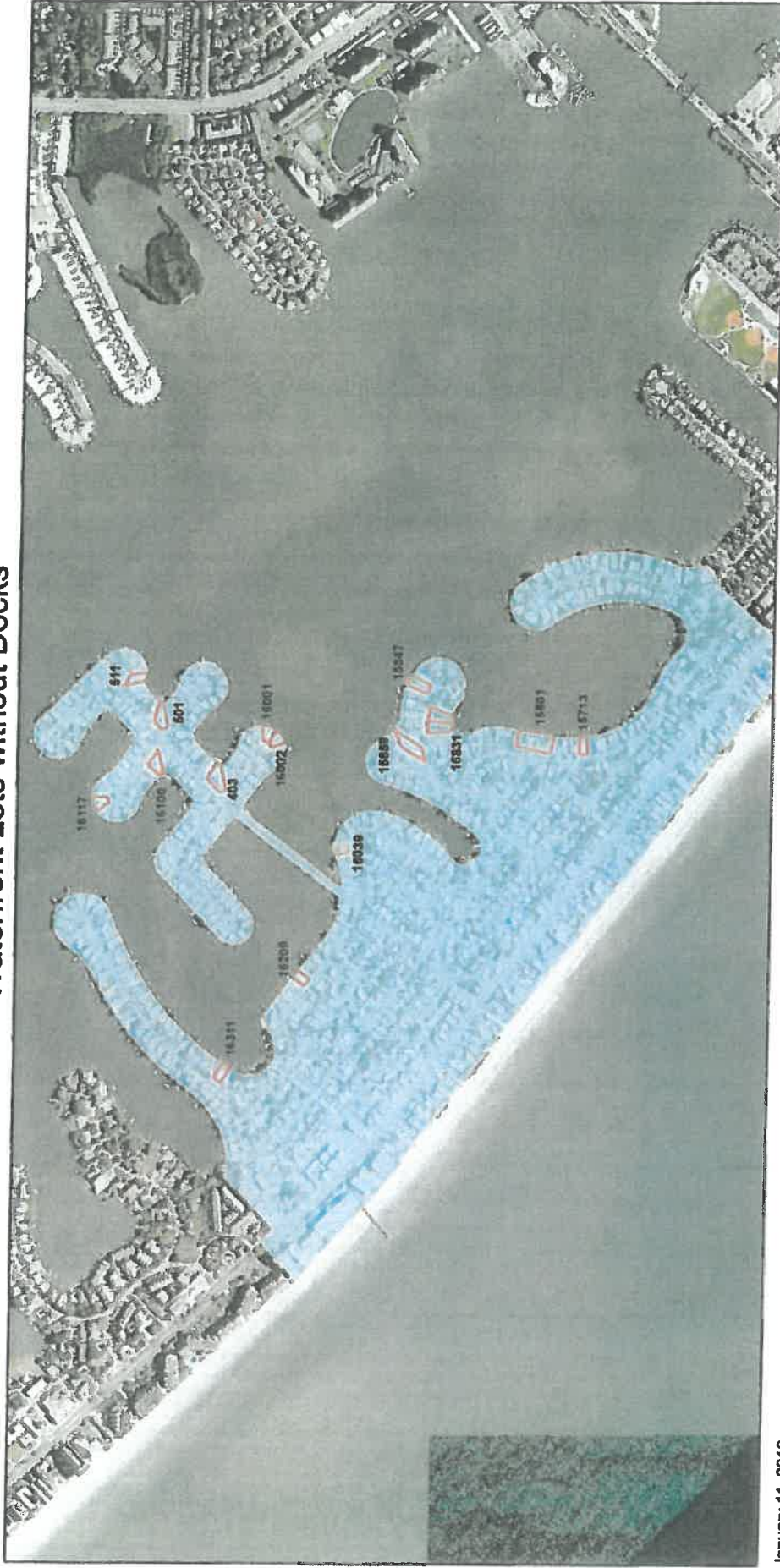
PLEASE ADDRESS REPLY TO:

Natural Resources / Water & Navigation 22211 US Hwy 19 N. - Bldg 10, Clearwater, FL 33765
Phone: 727/453-3385 Fax: 727/453-3371 Website: www.pinellascounty.org/watershed



ATTACHMENT I
WATERFRONT LOTS WITHOUT DOCKS

Waterfront Lots without Docks



January 11, 2019

Redington Beach

1:9,028

0 0.07 0.15 0.3 mi

0 0.15 0.3 0.6 km

State of Florida, USDA FSA, DigitalGlobe, GeoEye, CNES/Airbus DS

Web AppBuilder for ArcGIS

Town of Redington Beach

ORDINANCE NO. 2018 – 13

AN ORDINANCE OF THE TOWN OF REDINGTON BEACH, FLORIDA, AMENDING THE TOWN CODE OF ORDINANCES BY AMENDING CHAPTER 21 – TRAFFIC, VEHICLES AND PARKING, ARTICLE II. – STOPPING, STANDING AND PARKING, DIVISION 1 – GENERALLY, SECTION 21-21. STOPPING, STANDING, OR PARKING PROHIBITED IN CERTAIN PLACES; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Board of Commissioners of the Town of Redington Beach desires to regulate the areas upon which vehicles can be parked within the jurisdictional limits of the Town, specifically prohibiting parking in drainage swales; and

WHEREAS, the Board of Commissioners of the Town of Redington Beach finds that such regulation is in the best interests of the public health, safety and welfare; and

WHEREAS, the Board of Commissioners of the Town of Redington Beach has determined that the amendment of Chapter 21, Article II, Division 1, Sec. 21-32 is necessary to effectively regulate same; and

NOW, THEREFORE BE IT ORDAINED by the Board of Commissioners of the Town of Redington Beach, Florida, that:

Section 1. The foregoing whereas clauses are incorporated herein by reference and made a part of hereof.

Section 2. Chapter 21 – Traffic, Vehicles and Parking, Article II – Stopping, Standing and Parking, Division 1 – Generally, Section 21-32. – Stopping, standing or parking prohibited in certain places is amended as follows:

Sec. 21-32. - Stopping, standing or parking prohibited in certain places.

Except when necessary to avoid conflict with other traffic or in compliance with law or the directions of a law enforcement officer or official traffic control device, no person shall:

(1) Stop, stand or park a vehicle:

- a. On the roadway side of any vehicle stopped or parked at the edge or curb of a street.
- b. On a sidewalk.
- c. Within an intersection.
- d. On a crosswalk.

- e. Between a safety zone and the adjacent curb, or within 30 feet of points on the curb immediately opposite the ends of a safety zone, unless the town indicates a different length by signs or markings.
 - f. Alongside or opposite any street excavation or obstruction when stopping, standing or parking would obstruct traffic.
 - g. Upon any bridge or other elevated structure upon a highway, road or street.
 - h. At any place where official signs prohibit stopping.
 - i. In any area containing the raised or painted traffic separator or median.
 - j. On or across any grass portion of any swale or swale area on town right-of-way.
- (2) Stand or park a vehicle, whether occupied or not, except momentarily to pick up or discharge passengers:
- a. In front of a public or private driveway.
 - b. Within 15 feet of a fire hydrant.
 - c. Within 20 feet of a crosswalk at an intersection.
 - d. Within 30 feet upon the approach to any flashing signal, stop sign or traffic control signal located at the side of a roadway.
 - e. Within 20 feet of the driveway entrance to any fire station and on the side of a street opposite the entrance to any fire station within 75 feet of the entrance, when properly signposted.
 - f. At any place where official signs prohibit parking or standing.
- (3) Park a vehicle, whether occupied or not, except momentarily for the purpose of and while actually engaged in loading or unloading merchandise or passengers, at any place where official signs prohibit parking.
- (4) No person shall stop, stand, drive or park a vehicle on or across any grass portion of any swale or swale area. On all roads that have swales, parking shall be allowed only on the driveway apron, on the roadway or on private property. Parking on the roadway shall be allowed on the even-numbered address side only.

Section 3. If any section, subsection, sentence, clause, provision or word of this Ordinance is held unconstitutional or otherwise legally invalid, same shall be severable and the remainder of this Ordinance shall not be affected by such invalidity, such that any remainder of the Ordinance shall withstand any severed provision, as the Board of Commissioners would have adopted the Ordinance and its regulatory scheme even absent the invalid part.

Section 4. This Ordinance shall become effective immediately upon final passage and adoption.

PASSED AND ADOPTED by the Board of Commissioners of the Town of Redington Beach, Pinellas County, Florida, on this 16th Day of January, 2019.

ATTEST:

Missy Clarke, CMC Town Clerk

Nick Simons, Mayor

	Motion	Seconded	Aye	Nay	Absent
Commissioner Kornijtschuk					
Commissioner Dorgan					
Commissioner Steiermann					
Vice Mayor Will					
Mayor Simons					



Meeting Date: January 16, 2019
Agenda Item _____

FLORIDA MUNICIPAL SERVICES
18001 Gulf Blvd.
Redington Shores, FL 33708
(727) 202-6825

January 9, 2019

MEMORANDUM

TO: Honorable Mayor and Members of the Town Board of Commissioners

FROM: Darin Cushing, CBO, CFM, Building Official
R. Bruce McLaughlin, AICP, MCIP, Town Planner

SUBJECT: Resolution 2019-02 – Technical Specifications and Fee Schedule – Right-of-Way Utilization and Driveway Connection Ordinance 2018-05

EXECUTIVE SUMMARY

Ordinance 2018-05 repealed and replaced Chapter 19 of the Town Code regulating right-of-way utilization and established a new Chapter 19.5 regulating driveway connections. The Ordinance requires implementation through the adoption of technical specifications and a fee schedule. This implementation should be accomplished by Resolution to allow more flexibility if future changes become necessary. **STAFF RECOMMENDS ADOPTION OF THE ATTACHED RESOLUTION 2019-02 AND THE EXHIBITS THERETO.**

BACKGROUND

Applicant: Town of Redington Beach

Location: Entire Town

January 9, 2019

THE REQUEST

On January 2, 2019, the Town Board adopted on second and final reading Ordinance 2018-05 repealing and replacing Chapter 19 of the Town Code, Streets, Sidewalks and Other Public Ways, and establishing a new Chapter 19.5 regulating driveway connections to all Town roads. Ordinance 2018-05 calls for its partial implementation by a resolution adopting Technical Specifications for the two regulated activities and adopting a fee schedule for permits for the two actions.

It is a customary practice of many local governments to adopt both technical details and fee schedules by resolution for the reasons set out below.

The Technical Specifications are just that – “technical” – and consistent of substantial engineering and construction detail. Because of the level of detail in the Technical Specifications, it is more appropriate to adopt them by resolution than by ordinance. As the Specifications are applied it is likely that desirable amendments will be identified and it is easier to amend the Technical Specifications if they are adopted by resolution rather than ordinance.

As to the fee schedule, Staff is proposing fees based on the fees charged by other local governments in Pinellas County (Attachment A). However, as the regulatory schemes are administered in the Town of Redington Beach it may emerge that the fees do not cover the cost of administering the regulations, or are significantly in excess of that cost. By adopting the fee schedule by regulation, it can readily amended if experience determines that the fees are too high or too low.

HISTORY

The Town Board adopted Ordinance 2018-05 on first reading on December 5, 2018, and on second and final reading on January 2, 2019. Newly created Town Code sections 19-8, 19-9, and 19.5-3 require the adoption of the Technical Specifications and Fee Schedule by resolution. Resolution 2019-02 fulfills that requirement.

NOTICE

No notice beyond the notice of the Town Board meeting and its agenda is required for the adoption of a resolution.

January 9, 2019

AUTHORITY

Pursuant to §§ 4 and 5 of the Town Charter, the Town is governed by the Board of Commissioners which may exercise all powers available to a municipality under the Constitution and laws of the State of Florida. Those powers include preparing, adopting and amending land development regulations, including the regulation of driveways and driveway connections to public rights-of-way. Sections 163.3161 (4) and (6), F.S., incorporate transportation and utilities planning and public and private development into the comprehensive planning process, thereby conferring jurisdiction on the Town Board of Commissioners to regulate activity in the Town's rights-of-way.

ANALYSIS

Technical Specifications

The Technical Specifications, Exhibits A-1, A-2, A-3 and A-4 to Resolution 2019-02 were prepared by the Town's engineer, CPWG. Exhibits A-2, A-3 and A-4 are generally generic with some adaptations to the Town of Redington Beach. These Exhibits have been reviewed by Staff for any obvious applicability issues and appear to be appropriate.

Exhibit A-1 was written by CPWG specifically for the Town and has been more thoroughly evaluated by Staff and by the Planning Board. Significant changes were made from the early CPWG draft and Exhibit A-1 is appropriate for the Town.

Fee Schedule

Attachment A is an analysis of the right-of-way utilization and driveway connection fees of the local governments in the County. The Town's other Building/Planning fees generally mirror those of Pinellas County but as demonstrated on Attachment A, in these two areas, there is a very wide range of fees from \$0.00 to \$250.00 for a right-of-way utilization permit to \$0.00 to \$117.00 for driveway connection fees.

Many of the fees are calculated based on the value of the work. However, that calculation is potentially problematic since a utility doing its own work, or an owner/builder performing his or her own work may not know the value of the work (which in many cases is hard to verify).

January 9, 2019

Accordingly, Staff recommends flat rates for right-of-way utilization permits and for driveway permits. Two distinctions are proposed on Exhibit B.

The previous code and the new code as adopted by Ordinance 2018-05 both distinguish between minor and major right-of-way utilization projects. The threshold for a major project is the disturbance of more than 200 square feet of right-of-way. Approval of a major right-of-way utilization permit must come from the Town Board in a public hearing. Exhibit B shows an additional fee of * for major projects to provide some allowance for the administrative cost of taking a permit application through the Town Board process.

A distinction is also made in permit fees between new or relocated driveways and driveway repairs or replacements. The former are likely to require only one inspection to ensure compliance with the approved plans. Repairs or replacement of an existing driveway are likely to require an inspection of the existing driveway so the fee for this application is slightly higher. Resinspection fees based on Staff's actual cost are included for both activities.

It should also be noted that, as recommended by the Planning Board and adopted by the Town Board, the new codes apply to all right-of-way utilization permits and all driveway permits. Included in the governed entities will be Pinellas County Utilities, the three for-profit utilities, (presently, Duke, Frontier and Spectrum), and the quasi-proprietary Clearwater Gas.¹

Staff proposes exempting the Town and Pinellas County Utilities from the fee requirement since those are public, non-profit entities but all other users, including Clearwater Gas which, in the Town of Redington Beach, operates as a proprietary entity, should be subject to permit fees.

The fees proposed on Exhibit B are those recommended by Staff based on careful evaluations of the work likely to be needed to administer the Codes and on the fees charged by other local governments in Pinellas County, and taking into account the impact on the permittee. However, the final decision on fee levels is a policy decision for the Town Board.

¹ See Clearwater City Code, § 32.342.

Memo: Town of Redington Beach
Town Board of Commissioners
Proposed Resolution 2019-02
R/w and Driveway Specs and Fees
Page 5

January 9, 2019

RECOMMENDATION

THAT THE TOWN BOARD APPROVE RESOLUTION 2019-02 AND THE ATTACHED EXHIBITS A-1, A-2, A-3, A-4 AND B SUBJECT TO ANY COMMENTS THAT MY BE RECEIVED FROM THE PUBLIC AND TO THE BOARD'S POLICY DECISION AS TO THE FEE LEVELS.

DC/RBMcL/m

ATTACHMENT A
OTHER PINELLAS COUNTY FEE SCHEDULES

PINELLAS COUNTY					R/W Use Fees
LOCAL GOVERNMENT R/W UTILIZATION					1/4/2019 0:00
REQUIREMENTS					
FEES					
	GOVERNING REGULATIONS				
	RoW PERMIT			DRIVEWAY PERMIT	
JURISDICTION	REQUIRED	FEE		PERMIT	FEE
Pinellas County	Yes	\$125.00		Yes	\$52.00
Belleair	No	N/a		Yes	50\$ + 2% of project costs, +\$35 for pavers.
Belleair Beach	(1)	\$125.00		Yes	\$40.00
Belleair Bluffs	Yes	\$125.00		Yes	\$52
Belleair Shores	N/a	N/a		N/a	N/a
Clearwater	Yes	\$25.00		Yes	\$87.75
Dunedin	Yes	\$250.00		Yes	\$50.00
Gulfport	Yes	\$62.12		No	N/a
Indian Rocks Beach	Yes	\$10 fee + \$40 under \$1000, every \$1000 over is		Yes	\$10 fee + \$40 under \$1000, every \$1000 over is additional \$7.50
Indian Shores	Yes	\$75.00 base fee, +\$7.50 per \$1000.00		No	N/a
Kenneth City	Yes	\$40.00 first \$1000.00, \$5.00 every \$1000.00 after		Yes	\$40.00 first \$1000.00, \$5.00 every \$1000.00 after
Largo	Yes	0\$ resident, \$100 contractor		No	N/a
Madeira Beach	Yes	0		Yes	\$50.00 + 2% project cost.
North Redington Beach	Yes			Yes	\$117.00
Oldsmar	Yes	0		Yes	\$40.00 + \$4.00 every 1k.
Pinellas Park	Yes	\$50.00 + \$5.75 every 1k		No	N/a
Redington Beach					
Redington Shores	No	\$45.00		Yes	\$35.00 + \$10.00 every 1k
Safety Harbor	Yes	0		Yes	\$75.00

Seminole	Yes	\$35.00 + \$6.00 every 1k		Yes	\$35.00 + \$6.00 every 1k
South Pasadena	Yes	\$70.00 + \$20.00 every 1k		Yes	\$70.00 + \$20.00 every 1k
St. Pete Beach	No	N/a		Yes	\$16.00/\$1000+ \$50
St. Petersburg	Yes	N/a		Yes	\$45.00
Tarpon Springs	Yes	\$25.00 + \$3.00 every 1k.		Yes	N/a
Treasure Island	Yes	\$50 base fee, \$15 every \$1000 with 2.5% surcharge with \$4 min		No	N/a
NOTES					
(1) Telecommunication Utilities Only					
(2) Telecommunications use only					

EXHIBIT 'A-1'
TOWN OF REDINGTON BEACH
RESOLUTION 2019- 02
TECHNICAL SPECIFICATIONS FOR ORDINANCE 2018-05
RIGHT-OF-WAY UTILIZATION & DRIVEWAY CONNECTION PERMIT

CONTENTS

Document References

SECTION 3.5.5.15	SWALE DRAINAGE ¹
SECTION 120	EXCAVATION AND EMBANKMENT ²
SECTION 125	EXCAVATION FOR STRUCTURES AND PIPE
SECTION 520	CONCRETE GUTTER, CURB ELEMENTS
SECTION 522	CONCRETE SIDEWALK AND DRIVEWAYS
SECTION 570	PERFORMANCE TURF

DOCUMENT REFERENCES:

Florida Statutes (the Florida Transportation Code) establishes the responsibilities of the State, Counties, and Municipalities for the planning and development of the transportation systems serving the public. The Code's purpose is to protect the safety and welfare of the public. The State of Florida Department of Transportation (FDOT) has developed and adopted uniform minimum standards and criteria for the design, construction, maintenance and operation of public roads. As part of this Ordinance, the Town of Redington Beach adopts the FDOT - *Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways* (Florida Greenbook), 2016; the FDOT *Standard Specifications for Road and Bridge Construction*, January, 2018. and the *Pinellas County Stormwater Manual*, dated February 1, 2017 as manuals that provide the basic guidelines for developing street and highway facilities with reasonable operating characteristics with a minimum number of hazards.

The purpose of this section of the Town of Redington Beach's Technical Specifications is to provide uniform minimum standards and criteria for design, specifications and construction of

¹ Derived from *Pinellas County Stormwater Manual*, Pinellas County Government, Clearwater, Florida, February 1, 2017.

² Sections 120, 125, 520, 522 and 570 are derived from the Florida Department of Transportation, *Standard Specifications for Road and Bridge Construction*, author, Tallahassee, Florida, January, 2018.

1 public and private streets, highways, bridges, sidewalks, driveways, curbs, curb ramps, bicycle
2 paths, drainage and stormwater management facilities, water, electric, telephone, cable and
3 wastewater utilities.

4
5 These specifications and standards provide basic guidelines for developing these facilities in
6 order to maintain uniform and reasonable operating characteristics and shall be applied to all new
7 construction projects and on all reconstruction projects to the extent that economic and
8 environmental considerations and existing development will allow. If practical difficulties
9 prevent strict compliance with these Technical Specifications, the Building Official may consent
10 to minor deviations from the Technical Specifications, which consent may not be unreasonably
11 withheld.

12 13 14 **ROADWAY DESIGN AND CONSTRUCTION CRITERIA:**

15
16 Roadway design and construction criteria shall conform to the criteria contained within this
17 Document, and, as referenced in criteria contained in the following publications and other
18 applicable publications:

19
20 FDOT Manual of Uniform Minimum Standards for Design, Construction and
21 Maintenance for Streets and Highways (Florida Green Book), 2016.
22 FDOT Roadway Plans Preparation Manual (Florida Design Manual), 2017.
23 FDOT Standard Specifications for Road and Bridge Construction, 2018.
24 FDOT Procedures Manual for Flexible Pavement Design, 2018.
25 FDOT Utility Accommodation Guide, 2010.
26 FDOT Roadway and Traffic Design Standards (Standard Plans) 2000.
27 FDOT Drainage Manual, 2017.
28 PINELLAS
29 COUNTY Stormwater Manual, dated February 1, 2017.
30 AASHTO A Policy on Geometric Design of Highways and Streets, 2018.
31 OSHA All OSHA Safety Regulations.
32 USDOT,
33 FHWA Manual on Uniform Traffic Control Devices for Streets and Highways,
34 (MUTCD), 2009 as revised through May, 2012.
35

36 **Manual References:**

37
38 FDOT Florida Department of Transportation.
39 AASHTO American Association of State Highway Transportation Officials.
40 ITE Institute of Transportation Engineers.

OSHA Occupational Safety and Health Administration.
USDOT United States Department of Transportation.
FHWA Federal Highway Administration.

The foregoing publications shall be considered as an integral part of this Document and are incorporated herein and made a part hereof by reference.

Where this document refers to guidelines and design standards given by reference in other manuals, those guidelines and standards shall be considered as minimum criteria and are to be considered as the requirements within the authority of these Technical Specifications. In those instances, where a design criteria, specification or method of testing or construction is not specifically addressed in these Technical Specifications, then the governing authority will be that contained in these other referenced manuals cited and referenced in this Document.

In the event that provisions of the governing documents conflict with one another, then the applicable regulation shall be determined in the following order:

- Federal law
- State law
- Pinellas County Code and regulations
- Town of Redington Beach Code
- These Technical Specifications

Except for the swale regulations, these Technical Specifications are adapted from the FDOT's *Standard Specifications for Road and Bridge Construction*, 2018. References denoted in brackets [Section ___] not described in these Technical Specifications are to FDOT's *Standard Specifications for Road and Bridge Construction*, 2018, which specifications are incorporated herein and made a part hereof of reference.

3.5.5.15. SWALE DRAINAGE.

1. *Roadside swale geometry.* Side slopes of roadside swales/ditches shall be no steeper than three to one. The minimum shoulder width for new roadways shall be eight feet or, if greater, as required by the *Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways*, 2016. Swales and sidewalks shall be located within the road right-of-way. Minimum bottom width of swales shall be two feet, and the minimum depth of swales interconnected by sidedrains shall be 18 inches below the edge of the pavement. The minimum depth of retention swales or swales associated with pipe collection systems that enable a shallower design (*e.g.*, swale over pipe systems and swales upstream of pipe) shall be sufficient

1 to assure no flooding of the edge of pavement or adjacent properties during the design storm
2 event.

3
4 2. *Constrained Rights-of-Way.* For roadways constrained by existing rights-of-way,
5 shoulder and roadside swale design shall conform to the minimum requirements of the *Manual of*
6 *Uniform Minimum Standards for Design, Construction and Maintenance for Streets and*
7 *Highways*, 2016. Where such conformity is not possible, shoulder and swale design may be
8 further reduced to the minimums cited by *A Policy on Geometric Design of Highways and*
9 *Streets*, American Association of State Highway Transportation Officials (AASHTO) following
10 approval of the Engineer of Record for the project under construction. If there is no Engineer of
11 Record for the project, then the Building Official, in consultation with the Building
12 Commissioner and the Town Clerk shall approve or disapprove the nonconformity.

13 14 15 **3.5.5.16. SWALE EROSION PROTECTION.**

16
17 1. *Erosion Protection.* Swales shall be provided with permanent erosion protection. Such
18 protection may be sod or turf, using an approved type grass, or other approved vegetation.
19 Sodding, if used, shall begin at the roadway edge-of pavement and extend to the top of the swale
20 backslope.

21
22 2. *Driveways.* Driveways across swales shall have placed beneath them reinforced concrete
23 culvert pipes of adequate size for drainage, a minimum of 15 inches wide. The culvert pipes
24 shall be long enough to provide a shoulder on each side of the driveway. The minimum shoulder
25 width shall be two feet for single family residential driveways and six-feet on all other
26 driveways. The ends of the pipe shall be finished with mitered end sections per FDOT *

27
28 3. *Slopes.* All swale slopes shall be stabilized to prevent erosion.

29 30 31 **3.5.5.17 SUPPLEMENTAL SWALE CRITERIA REQUIREMENT.**

32
33 1. *Front Yard Swales.* Front yard swales to be clear, restored, protected and maintained by
34 homeowner at all times to include the following elements:

- 35
36 a. Disturbed-damaged swale geometry due to non-permitted parking or driveway
37 usage;
38 b. Obstructed-occupied swale area due to landscape, hardscape or other at-grade
39 features;
40 c. New-restored swale geometry area due to new home construction per these

- 1 Technical Specification criteria;
2 d. Sodded, grassed, mulched or other surface treatment to avoid movement of soils.
3 e. Pre-construction and post-construction (as built) topographic surveys are required
4 for any work causing manipulation or disturbance of right-of-way frontage. All
5 survey shall be performed by a Professional Surveyor & Mapper licensed in the
6 State of Florida.
7
8

9 **SECTION 120 EXCAVATION AND EMBANKMENT**

11 **120-1 Description.**

12
13 *120-1.1 General:* Excavate and construct embankments as required for the restoration of
14 roadway, ditches, channel changes and borrow material. Use suitable excavated material or
15 authorized borrow to prepare subgrades and foundations. Construct embankments in accordance
16 with FDOT's *Standard Plans*, Index 120-001. Compact and dress excavated areas and
17 embankments.

18 Meet the requirements of [Section 110] for excavation of material for clearing and
19 grubbing and [Section 125] for excavation and backfilling of structures and pipe. Material
20 displaced by the storm sewer or drainage structure system is not included in the earthwork
21 quantities shown in the Plans.
22

24 **120-2 Disposal of Surplus and Unsuitable Material.**

25
26 *120-2.1 Ownership of Excavated Materials:* Dispose of surplus and excavated materials as
27 shown in the Plans or, if the Plans do not indicate the method of disposal, take ownership of the
28 materials and dispose of them outside the right-of-way.
29

30 *120-2.2 Disposal of Paving Materials:* Unless otherwise noted, take ownership of paving
31 materials, such as paving brick, asphalt block, concrete slab, sidewalk, curb and gutter, etc.,
32 excavated in the removal of existing pavements, and dispose of them outside the right-of-way.
33 If the materials are to remain the property of the Town, place them in neat piles as directed.
34 Existing limerock base that is removed may be incorporated in the stabilized portion of the
35 subgrade. If the construction sequence will allow, incorporate all existing limerock base into the
36 project as allowed by the Permit Plans.
37

38 *120-2.3 Disposal Areas:* Where the Permit Plans require disposal of excavated materials outside
39 the right-of-way, and the disposal area is not indicated in the Permit Plans, furnish the disposal
40 area without additional compensation.

1 Provide areas for disposal of removed paving materials out of sight of the project and, if
2 disposed of within the jurisdictional limits of the Town, subject to the approval of the Building
3 Official, in consultation with the Town Public Works Commissioner and the Town Clerk.
4
5

6 **120-3 Materials for Embankment.**

7

8 *120-3.1 Use of Materials Excavated from the Roadway and Appurtenances:* Assume
9 responsibility for determining the suitability of excavated material for use on the project in
10 accordance with the applicable Permit Plans. Consider the sequence of work and maintenance of
11 traffic phasing in the determination of the availability of this material.
12

13 *120-3.2 Materials Used at Pipes, Culverts, etc.:* Construct embankments over and around pipes,
14 culverts, and bridge foundations with selected materials.
15
16

17 **120-4 Compaction Requirements.**

18

19 *120-4.1 Moisture Content:* Compact the materials at a moisture content such that the specified
20 density can be attained. If necessary to attain the specified density, add water to the material, or
21 lower the moisture content by manipulating the material or allowing it to dry, as is appropriate.
22
23

24 **120-4.2 Compaction of Embankments:**

25

26 *120-4.2.1 General:* Uniformly compact each layer, using equipment that will achieve the
27 required density, and as compaction operations progress, shape and manipulate each layer as
28 necessary to ensure uniform density throughout the embankment.
29

30 *120-4.2.2 Compaction of Grassed Shoulder Areas:* For the upper 6 inch layer of all shoulders
31 which are to be grassed, since no specific density is required, compact only to the extent directed.
32

33 *120-4.2.3 Compaction of Grassed Embankment Areas:* Do not compact the outer layers of any
34 embankments where plant growth will be established. Leave this layer in a loose condition to a
35 minimum depth of 6 inches for the subsequent seeding or planting operations. Do not place RAP
36 (recycled asphalt pavement) or RAP blended material within the top 12 inches of areas to be
37 grassed.
38

39 *120-4.3 Compaction for Pipes, Culverts, etc.:* Compact the backfill of trenches to the densities
40 specified for embankment or subgrade, as applicable, and in accordance with the requirements of

[Section 125-9.2].

Thoroughly compact embankments over and around pipes, culverts, and bridges in a manner which will not place undue stress on the structures, and in accordance with the requirements of [Section 125-9.2].

120-4.4 Compaction of Subgrade: If the Plans do not provide for stabilizing, compact the subgrade as defined in 1-3 in both cuts and fills, to the density specified in [Section 120-10.2]. For cut areas, determine Standard Proctor Maximum Density in accordance with AASHTO Standard FM 1-T099 at a frequency of one per mile or when there is a change in soil type, whichever occurs first. For undisturbed soils, do not apply density requirements where constructing paved shoulders 5 feet or less in width.

Where trenches for widening strips are not of sufficient width to permit the use of standard compaction equipment, perform compaction using vibratory rollers, trench rollers, or other type compaction equipment approved by the Engineer of Record. Maintain the required density until base or pavement is placed on the subgrade.

120-5 Maintenance and Protection of Work. While construction is in progress, maintain adequate drainage for the roadbed at all times. Maintain a shoulder at least 3 feet wide adjacent to all pavement or base construction in order to provide support for the edges.

Maintain all earthwork construction throughout the life of the project, and take all reasonable precautions to prevent loss of material from the roadway due to the action of wind or water. Repair, at no expense to the Town except as otherwise provided herein, any slides, washouts, settlement, subsidence, or other mishap which may occur prior to final acceptance of the work. Perform maintenance and protection of earthwork construction in accordance with [Section 104]. Maintain all channels excavated as a part of the project work against natural shoaling or other encroachments to the lines, grades, and cross-sections shown in the Plans, until final acceptance of the project.

SECTION 125 EXCAVATION FOR STRUCTURES AND PIPE

125-1 Description.

Excavate for box culverts, pipes, retaining walls, headwalls for pipes and drains, catch basins, drop inlets, manholes, and similar structures. Construct and remove cofferdams, sheeting, bracing, etc.; pump or otherwise dewater foundations; remove and dispose of any existing structures or portions of structures not covered by other items in the project, including foundations, abutments, piers, wings, and all other materials, obstructions, etc., found necessary to clear the site for the proposed work; backfill, dispose of surplus material, and perform final cleaning, as may be necessary for the proper execution of the work. This Section does not

1 include excavation for bases or pavements, curbs, curb and gutter, valley gutter, ditch pavement,
2 or rubble gutter.

3
4 *125-1.1 Trench Excavation Safety System and Shoring, Special (Trench Excavation):* When
5 performing trench excavation in excess of 5 feet in depth, comply with the Occupational Safety
6 and Health Administration's (OSHA) trench safety standards, 29 CFR 1926, Subpart P, 1989, as
7 amended through January 2, 2019. Ensure that trench boxes are wide enough to accommodate
8 compaction and density testing.

9 Submission of a trenching plan bid and subsequent construction of the project will serve
10 as certification that all trench excavation in excess of 5 feet in depth will be in compliance with
11 Section 553.62, Florida Statutes.

12 Consider all available geotechnical information when designing the trench excavation
13 safety system.

14 Consider these and any more stringent trench safety standards as minimum Contract
15 requirements.

16 17 18 **125-2 Classification.**

19 Consider all materials excavated as unclassified and as excavation regardless of the material
20 encountered.

21 22 23 **125-3 Excavation.**

24 *125-3.1 Requirements for all Excavation:* Perform all excavation to foundation materials,
25 satisfactory to the Engineer of Record, regardless of the elevation shown in the Plans. Remove
26 rock, boulders or other hard lumpy or unyielding material to a depth of 12 inches below the
27 bottom of pipes and box culverts elevations. Remove muck or other soft material to the depth
28 indicated in the Plans or as directed by the Engineer of Record.

29
30 *125-3.2 Pipe Trench Excavation:* Excavate trenches for pipes to the elevation of the bottom of
31 the pipe and to a width sufficient to provide adequate working room. Remove soil not meeting
32 the classification specified as suitable backfill material in [Section 125-8.3.2.2], to a depth of 4
33 inches below the bottom of the pipe elevation. Where the soils permit, ensure that the trench
34 sides are vertical up to at least the mid-point of the pipe.

35 For pipe lines placed above the natural ground line, place and compact the embankment,
36 prior to excavation of the trench, to an elevation at least 2 feet above the top of the pipe and to a
37 width equal to four pipe diameters, and then excavate the trench to the required grade.

38 For pipe trenches utilizing trench boxes, ensure that the trench box used is of sufficient
39 width to permit thorough tamping of bedding material under and around the pipes as specified in
40 [Section 125-8.1.6].

1 Do not disturb the installed pipe and its embedment when moving trench boxes. Move
2 the trench box carefully to avoid excavated wall displacement or damage. As the trench box is
3 moved, fill any voids left by the trench box and continuously place and compact the backfill
4 material adjacent to and all along the side of the trench box walls to fill any voids created by the
5 trench box.
6
7

8 **125-4 Backfilling.** 9

10 *125-4.1 General Requirements for Structures and Pipe:*

11 *125-4.1.1 General:* Backfill in the dry whenever normal dewatering equipment and methods can
12 accomplish the needed dewatering. A lot is defined as one lift of backfill material placement, not
13 to exceed 500 feet in length or a single run of pipe connecting two successive structures,
14 whichever is less. Backfill for structures and pipe compacted in one operation will be considered
15 as one lot within the cover zone. Backfill around structures compacted separately from the pipe
16 will be considered as separate lots. Backfill on each side of the pipe for the first lift will be
17 considered a separate lot. Backfill on opposite sides of the pipe for the remaining lifts will be
18 considered separate lots, unless the same compactive effort is applied. Same compactive effort is
19 defined as the same type of equipment (make and model) making the same number of passes on
20 both sides of the pipe. For multiple phase backfill, a lot shall not extend beyond the limits of the
21 phase.

22 When placing backfill within trench box each lift of backfill is considered a lot.
23 Placement of backfill within trench box limits will be considered a complete operation before
24 trench box is moved for next backfill operation. When the trench box is moved for next backfill
25 operation this will start new lots for each lift. Follow the density testing frequency in [Section
26 125-9.3.1].
27

28 *125-4.1.2 Equipment and Methods:* Provide normal dewatering equipment including, but not
29 limited to, surface pumps, sump pumps, wellpoints and header pipe and trenching/digging
30 machinery. Provide normal dewatering methods including, but not limited to, constructing
31 shallow surface drainage trenches/ditches, using sand blankets, perforated pipe drains, sumps and
32 siphons.
33

34 *125-4.1.3 Backfill Materials:* Backfill to the original ground surface or subgrade surface of
35 openings made for structures, with a sufficient allowance for settlement. The Engineer of Record
36 may require that the material used for this backfill be obtained from a source entirely apart from
37 the structure. Use only material accepted by the Engineer of Record.

38 Do not allow heavy construction equipment to cross over culvert or storm sewer pipes
39 until placing and compacting backfill material to the finished earthwork grade or to an elevation
40 at least 4 feet above the crown of the pipe.

1 *125-4.1.4 Use of A-7 Material:* In the backfilling of trenches, A-7 material, as defined in the
2 AASHTO Soil Classification System, may be used from a point 12 inches above the top of the
3 pipe up to the elevation shown in the FDOT's Standard Plans as the elevation for undercutting of
4 A-7 material.

5
6 *125-4.1.5 Time of Placing Backfill:* Do not place backfill against any masonry or concrete
7 abutment, wingwall, or culvert until the Engineer of Record has given permission to do so, and in
8 no case until the masonry or concrete has been in place seven days or until the specified 28 day
9 compressive strength occurs.

10
11 *125-4.1.6 Placement and Compaction:* Place the material in horizontal layers not exceeding 6
12 inches compacted thickness, in depth above water level, behind abutments, wingwalls and end
13 bents or end rest piers, under the haunches of the pipes and around box culverts and all structures
14 including pipe culverts. When the backfill material is deposited in water, compact as specified in
15 [Section 125-8.2.5] and [Section 125-8.3.4].

16 17 18 **125-5 Site Restoration.**

19 Wherever the existing site is disturbed solely for the purpose of constructing or removing box
20 culverts, pipes, inlets, manholes, etc., completely replace and restore the site to the Town of
21 Redington Beach and the Engineer of Record's satisfaction.

22 23 24 **125-6 Cleaning Up.**

25 Upon completion of the work, leave the structure and all adjacent areas in a neat and presentable
26 condition, clear up all temporary structures, rubbish and surplus materials and leave the space
27 under the structure unobstructed and in such shape that drift will not collect nor scour or be
28 induced. Pile all material from existing structures that have been removed neatly on the bank,
29 unless otherwise directed by the Engineer of Record. Pull false work piling unless the Engineer
30 of Record permits it to be cut or broken off in which case it will be cut or broken off at least 2
31 feet below the ground line or stream bed.

32 33 34 **SECTION 520** 35 **CONCRETE GUTTER, CURB ELEMENTS**

36 37 **520-1 Description.**

38 Construct Portland cement concrete curb. Curb will include concrete curb and gutter, concrete
39 traffic separator, valley gutter, special concrete gutter, curb for sidewalk curb ramps and
40 driveways, and any other types of concrete curb not specified in other Sections.

1
2 **520-2 Materials.**

3
4 *520-2.1 Concrete:* Use concrete meeting the requirements of [Section 347].
5

6 *520-2.2 Reinforcement:* For all steel reinforcement required by the Plans, meet the requirements
7 of [Section 415].
8

9 *520-2.3 Joint Materials:* Meet the requirements of [Section 932].
10

11
12 **520-3 Forms.**

13
14 *520-3.1 Form Materials:* Construct forms for this work of either wood or metal. Provide forms
15 that are straight, free from warp or bends, and of sufficient strength, when staked, to resist the
16 pressure of the concrete without deviation from line and grade. For all items constructed on a
17 radius, use flexible forms.
18

19 *520-3.2 Depth of Forms:* Ensure that forms have a depth equal to the plan dimensions for the
20 depth of concrete being deposited against them.
21

22 *520-3.3 Machine Placement:* The Contractor may place these items by machine methods with the
23 approval of the Engineer of Record provided that the Contractor consistently produces an
24 acceptable finished product, true to line, grade, and cross section.
25

26
27 **520-4 Excavation.**

28 Excavate to the required depth, and compact the foundation material upon which these items are
29 to be placed as specified in [Section 120-9].
30

31
32 **520-5 Placing Concrete.**

33 Place the concrete in the forms, and tamp and spade it to prevent honeycombing, and until the top
34 of the structure can be floated smooth and the edges rounded to the radius shown in the Plans.
35

36
37 **520-6 Joints.**

38 *520-6.1 Contraction Joints:* Except for machine placed items, the Contractor may form joints by
39 using dummy joints (either formed or sawed) or by using sheet metal templates. If using sheet
40 metal templates, ensure that they are of the dimensions, and are set to the lines, shown in the

Plans. Hold templates firmly while placing the concrete. Leave templates in place until the concrete has set sufficiently to hold its shape, but remove them while the forms are still in place.

Saw contraction joints, for machine placed items, unless the Engineer of Record approves an alternate method. Saw the joints as soon as the concrete has hardened to the degree that excessive raveling will not occur and before uncontrolled shrinkage cracking begins.

Space contraction joints at intervals of 10 feet except where closure requires a lesser interval, but do not allow any section to be less than 4 feet in length.

520-6.2 Expansion Joints: Construct expansion joints at all inlets, at all radius points, and at other locations indicated in the Plans. Locate them at intervals of 500 feet between other expansion joints or ends of a run. Ensure that the joint is ½ inch in width.

520-7 Finishing.

520-7.1 Repair of Minor Defects: Remove the forms within 24 hours after placing the concrete, and then fill minor defects with mortar composed of one part Portland cement and two parts fine aggregate. The Engineer of Record may not allow plastering on the face of the curb. Remove and replace any rejected curb, curb and gutter, or valley gutter without additional compensation.

520-7.2 Final Finish: Finish all exposed surfaces while the concrete is still green. In general, the Engineer of Record will only require a brush finish. For any surface areas, however, which are too rough or where other surface defects make additional finishing necessary, the Engineer of Record may require the Contractor to rub the curb to a smooth surface with a soft brick or wood block, using water liberally. Also, if necessary to provide a suitable surface, the Engineer of Record may require the Contractor to rub further, using thin grout or mortar.

520-8 Curing.

520-8.1 General: Continuously cure the concrete for a period of at least 72 hours. Commence curing after completely finishing and as soon as the concrete has hardened sufficiently to permit application of the curing material without marring the surface. Immediately replace any curing material removed or damaged during the 72 hour period.

After removing the forms, cure the surfaces exposed by placing a berm of moist earth against them or by any of the methods described below, for the remainder of the 72 hour curing period.

520-8.2 Wet Burlap Method: Place burlap, as specified in [Section 925-1], over the entire exposed surface of the concrete, with sufficient extension beyond each side to ensure complete coverage. Overlap adjacent strips a minimum of 6 inches. Hold the burlap securely in place such that it will be in continuous contact with the concrete at all times, and do not allow any earth

1 between the burlap surfaces at laps or between the burlap and the concrete. Saturate the burlap
2 with water before placing it, and keep it thoroughly wet throughout the curing period.
3

4 *520-8.3 Membrane Curing Compound Method:* Apply clear membrane curing compound or
5 white pigmented curing compound, as specified in [Section 925-2], by a hand sprayer meeting
6 the requirements of [Section 350-3.10], in a single coat continuous film at a uniform coverage of
7 at least one gallon per 200 square feet. Immediately recoat any cracks, checks, or other defects
8 appearing in the coating. Thoroughly agitate the curing compound in the drum prior to
9 application, and during application as necessary to prevent settlement of the pigment.
10

11 12 **520-9 Backfilling and Compaction.**

13 After the concrete has set sufficiently, but not later than three days after pouring, refill the spaces
14 in front and back of the curb to the required elevation with suitable material. Place and
15 thoroughly compact the material in layers not thicker than 6 inches.
16

17 18 **520-10 Surface Requirements.**

19 Test the gutter section of curb and gutter with a 10 foot straightedge laid parallel to the centerline
20 of the roadway and while the concrete is still plastic. Perform straight edging along the edge of
21 the gutter adjacent to the pavement or along other lines on the gutter cross-section, as directed by
22 the Engineer of Record. Immediately correct irregularities in excess of 1/4 inch.
23

24 25 **SECTION 522** 26 **CONCRETE SIDEWALK AND DRIVEWAYS** 27

28 **522-1 Description.**

29 Construct concrete sidewalks and driveways. Sidewalk will include sidewalk curb ramps.
30

31 32 **522-2 Materials.**

33 Meet the requirements specified in [Section 520-2.]
34

35 36 **522-3 Forms.**

37 Provide forms as specified in [Section 520-3].
38

39 40 **522-4 Foundation.**

1 Compact fill areas, including cut areas under the sidewalk that have been excavated more than 6
2 inches below the bottom of sidewalk, to a minimum of 95% of AASHTO T99 density.

3 The area to be compacted is defined as that area directly under the sidewalk and 1 foot
4 beyond each side of the sidewalk when right-of-way allows.

5 6 7 **522-5 Joints.**

8
9 *522-5.1 Expansion Joints:* Form ½ inch expansion joints between the sidewalk and the curb or
10 driveway or at fixed objects and sidewalk intersections with a preformed joint filler meeting the
11 requirements specified in [Section 932-1.1].

12 13 14 *522-5.2 Contraction Joints:*

15 *522-5.2.1 Types:* The Contractor may use open type or sawed contraction joints.

16
17 *522-5.2.2 Open-Type Joints:* Form open type contraction joints by staking a metal bulkhead in
18 place and depositing the concrete on both sides. After the concrete has set sufficiently to
19 preserve the width and shape of the joint, remove the bulkhead. After finishing the sidewalk
20 over the joint, edge the slot with a tool having a ½ inch radius.

21
22 *522-5.2.3 Sawed Joints:* If electing to saw the contraction joints, cut a slot approximately 3/16
23 inch wide and not less than 1-1/2 inches deep with a concrete saw after the concrete has set, and
24 within the following periods of time:

25 Joints at not more than 30 feet intervals

26 within 12 hours after finishing.

27 Remaining joints within 96 hours after finishing.

28 29 30 **522-6 Placing Concrete.**

31 Place the concrete as specified in 520-5.

32 33 34 **522-7 Finishing.**

35
36 *522-7.1 Screeding:* Strike-off the concrete by means of a wood or metal screed, used
37 perpendicular to the forms, to obtain the required grade and remove surplus water and laitance.

38
39 *522-7.2 Surface Requirements:* Imprint concrete as detailed in the Plans, otherwise provide a
40 broom finish. Ensure that the surface variations are not more than 1/4 inch under a 10 foot

straightedge or more than 1/8 inch on a 5 foot transverse section. Finish the edge of the sidewalk with an edging tool having a radius of 1/2 inch.

522-8 Curing.

Cure the concrete as specified in 520-8.

SECTION 570 PERFORMANCE TURF

570-1 Description.

Establish a growing, healthy turf over all areas designated in the Plans. Use sod in areas designated in the Plans to be sodded. Use seed, hydroseed, bonded fiber matrix, or sod in all other areas. Maintain turf areas until final acceptance of all contract work in accordance with [Section 5-11].

570-2 Materials.

Meet the following requirements:

Turf Materials[Section 981]

Fertilizer.....[Section 982]

Water.....[Section 983]

570-3 Construction Methods

570-3.1 General: Incorporate turf installation into the project at the earliest practical time.

Shape the areas to be planted to the plan typical sections and lines and grade shown in the Permit Plans.

Except in areas where the Permit Plans requires specific types of grass to match adjoining private property, any species of grass designated in [Section 981] may be used. Use the methods and materials necessary to establish and maintain the initial grassing until acceptance of the Contract work in accordance with [Section 5-11]. All of the permanent grassing material shall be in place prior to final acceptance.

Complete all grassing on shoulder areas prior to the placement of the friction course on adjacent pavement.

570-3.2 Seeding: At the Contractor's option, wildflower seed may be included in the turf seeding operation or performed separately from the turf seeding. Use of compost meeting the requirements of [Section 987] as mulch is acceptable unless otherwise specified.

1
2 *570-3.3 Sod:* Place the sod on the prepared surface, with edges in close contact. Do not use sod
3 which has been cut for more than 48 hours.

4 Place the sod to the edge of all landscape areas as shown in the Plans and the FDOT's
5 Standard Plans. Place rolled sod parallel with the roadway and cut any exposed netting even
6 with the sod edge.

7 Monitor placed sod for growth of pest plants and noxious weeds. If pest plants and/or
8 noxious weeds manifest themselves within 30 days of placement of the sod during the months
9 April through October, within 60 days of placement of the sod during the months of November
10 through March treat affected areas by means acceptable to the Town at no expense to the Town.
11 If pest plants and/or noxious weeds manifest themselves after the time frames described above
12 from date of placement of sod, the Engineer of Record, at his sole option, will determine if
13 treatment is required

14
15 *570-3.4 Watering:* Water all turf areas as necessary to produce a healthy and vigorous stand of
16 turf. Ensure that the water used for turf irrigation meets the requirements of [Section 983].

17
18 *570-3.5 Fertilizing:* Fertilize as necessary based on soil testing performed in accordance with
19 [Section 162]. Refer to [Section 982] for fertilizer rates.
20



EXHIBIT 'A-2' - TECHNICAL DETAILS

**Town of Redington Beach
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Redington Beach, FL 33708
Phone (727) 391-3875**

RIGHT-OF-WAY UTILIZATION PERMIT DETAILS

DECEMBER 4, 2018

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RIGHT-OF-WAY UTILIZATION PERMIT DETAILS



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DUST CONTROL NOTES

DEFINITION:

REDUCING SURFACE AND AIR MOVEMENT OF DUST DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES.

PROPOSE:

TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES AND REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY BE HARMFUL OR INJURIOUS TO HUMAN HEALTH, WELFARE, OR SAFETY, OR TO ANIMAL OR PLANT LIFE.

CONDITIONS WHERE PRACTICE APPLIES:

IN AREA SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON -SITE AND OFF- SITE DAMAGE IS LIKELY TO OCCUR IF PREVENTIVE MEASURES ARE NOT TAKEN.

PLANNING CONSTRUCTIONS:

CONSTRUCTION ACTIVITIES INEVITABLY RESULT IN THE EXPOSURE AND DISTURBANCE OF SOIL. FUGITIVE DUST IS EMITTED BOTH DURING THE ACTIVITIES (I.E., EXCAVATION, DEMOLITION, VEHICLE TRAFFIC, HUMAN ACTIVITY) AND AS A RESULT OF WIND EROSION OVER THE EXPOSED EARTH SURFACES. LARGE QUANTITIES OF DUST ARE TYPICALLY GENERATED IN "HEAVY" CONSTRUCTION ACTIVITIES, SUCH AS ROAD AND STREET CONSTRUCTION AND SUBDIVISION, COMMERCIAL AND INDUSTRIAL DEVELOPMENT, WHICH INVOLVE DISTURBANCE OF SIGNIFICANT AREAS OF SOIL SURFACE. RESEARCH AT CONSTRUCTION SITES HAS ESTABLISHED AN AVERAGE DUST EMISSION RATE OF 1.2 TONS/ACRE/MONTH FOR ACTIVE CONSTRUCTION. EARTH- MOVING ACTIVITIES COMPRISE THE MAJOR SORES OF CONSTRUCTION DUST EMISSIONS, BUT TRAFFIC AND GENERAL DISTURBANCE OF THE SOIL ALSO GENERATE SIGNIFICANT DUST EMISSION. IN PLANNING FOR DUST CONTROL, IT SHOULD BE OBVIOUS THAT THE LESS SOIL IS EXPOSED AT ANY ONE TIME, THE LESS POTENTIAL THERE WILL BE FOR DUST GENERATION. PHASING A PROJECT AND UTILIZING TEMPORARY STABILIZATION PRACTICES UPON THE COMPLETION OF GRADING CAN SIGNIFICANTLY REDUCE DUST EMISSION.

TEMPORARY MEASURES:

1. MULCHES- A NATURAL OR ARTIFICIAL LAYER OF PLANT MATERIALS OR OTHER MATERIALS THAT WILL NOT FLOAT OR WASH AWAY.
2. VEGETATIVE- TEMPORARY SEEDING OR GROUND COVERS.
3. TILLAGE- THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL -TYPE PLOWS (WITH 12-INCH SPACING), SPRING -TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
4. IRRIGATION- THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED. TO PREVENT CARRYOUT OF MUD ONTO STREETS, REFER TO TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
5. BARRIERS- SOLID BOARD FENCE, BUR LAY FENCE, CREATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.
6. PERMANENT VEGETATION- PERMANENT SEEDING AND PERMANENT STABILIZATION WITH SOD.
7. TOP SOILING- THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL.
8. STONE- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



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RIGHT-OF-WAY UTILIZATION PERMIT DETAILS		DESCRIPTION: Dust Control Notes
DEPARTMENT OF PUBLIC WORKS	PUBLICATION DATE DEC. 2018	INDEX NUMBER: SE-01
TOWN CLERK MISSY CLARKE	DRAWING SCALE NOT TO SCALE	

SEDIMENT AND EROSION CONTROL MEASURES NOTES PAGE 1 OF 2

1. SEDIMENT AND EROSION AND TURBIDITY CONTROL MEASURES ARE PART OF THE TOWN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ISSUED BY THE US ENVIRONMENTAL PROTECTION AGENCY (EPA), THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE FLORIDA WATER MANAGEMENT DISTRICT. PERMITS SHALL BE STRICTLY ENFORCED BY THE TOWN AND THESE AGENCIES.
2. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE BREAKING GROUND PROCESS AND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES INCLUDING DEMOLITION ACTIVITIES.
3. SILT FENCE MUST WRAP ENTIRE AREA OF CONSTRUCTION UNLESS DIRECTED OTHERWISE BY THE TOWN ENGINEER. FINAL LOCATIONS OF TURBIDITY CONTROL DEVICES MAY BE ADJUSTED AS DIRECTED BY THE TOWN ENGINEER OR REPRESENTATIVES OF THE PERMITTING AGENCIES WITHOUT ADDITIONAL COMPENSATION.
4. UNTIL COMPLETION OF INSTALLATION OF THE TURBIDITY AND SEDIMENT CONTROL DEVICE, THE CONTRACTOR CANNOT "BREAK GROUND " OR PERFORM ANY LAND CLEARING ACTIVITIES INCLUDING, BUT NOT LIMITED TO, TREE REMOVAL, DEMOLITION, SCALPING, DIGGING, OR STOCKPILING OF DIRT UNTIL EROSION CONTROL DEVICE ARE APPROVED AND SIGNED OFF BY THE INSPECTOR.
5. INSPECTION AND MAINTENANCE OF SEDIMENT AND EROSION, AND TURBIDITY CONTROL MEASURES SHALL BE A CONTINUING FUNCTION OF THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION FOR THE DURATION OF THE PROJECT AND UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED. REMOVAL OF ALL SEDIMENT, EROSION AND TURBIDITY CONTROL DEVICES PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE APPROVED BY THE TOWN. MAINTAINANCE OF THESE DEVICES SHALL BE AS DIRECTED BY THE TOWN ENGINEER.
6. THE LIFE CYCLE OF SILT SCREEN AND HAY BALES IS LIMITED. SILT FENCES HAVE A MAXIMUM USABLE LIFE OF 6 MONTHS AND THE USABLE LIFE OF HAY BALES IS 3 MONTHS. SILT SCREENS AND HAY BALES SHALL BE REPLACED AT THE END OF THEIR USABLE LIFE. THE TOWN ENGINEER MAY REQUIRE REPLACEMENT PRIOR TO THE USABLE LIFE BASED UPON FIELD CONDITIONS. ADDITIONAL TURBIDITY AND/OR SEDIMENT CONTROL DEVICES MAY REQUIRED AS DIRECTED BY THE ENGINEER.
7. PROTECTION OF EXISTING AND PROPOSED STORM SEWER SYSTEM: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY APPROVED TURBIDITY CONTROL MEASURES AND SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SILT FENCES, SOD, STONE, ECT. THESE DEVICES SHALL BE MAINTAINED, CLEANED, MODIFIED AND REPAIRED BY THE CONTRACTOR AS REQUIRED BY CONSTRUCTION PROGRESS OR AS DIRECTED BY THE ENGINEER (SEE FOOT INDEX NO. 102).
8. SEDIMENT TRAPPING MEASURES: SEDIMENT BASINS AND TRAPS, PERIMETER BEERS, FILTER FENCE, BERMS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT ONTO ADJACENT PROPERTIES, OR INTO EXISTING WATER BODIES, MUST BE INSTALLED, CONSTRUCTED OR, IN THE CASE OF VEGETATIVE BUFFER, PROTECTED FROM DISTURBANCE AS THE FIRST STEP IN THE LAND ALTERATION PROCESS.
9. ALL EROSION CONTROL DEVICES SHALL BE CHECKED DAILY, ESPECIALLY AFTER EACH RAINFALL EVENT AND SHALL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED. ALL VIOLATIONS MUST BE REPORTED TO THE TOWN ENGINEER WITHIN 24 HOURS. COPIES OF THE STANDARD OPERATOR PROCEDURE FOR VIOLATION NOTICES ARE AVAILABLE FOR THE ENGINEERING DIVISION.
10. FULL SOD STABILIZATION SHALL OCCUR WITHIN 72 HOURS OF OBTAINING FINAL GRADE.
11. THE CONTRACTOR SHALL PROVIDE TURBIDITY BARRIERS AS DIRECTED BY THE TOWN ENGINEER TO CONTROL EROSION AND SEDIMENTATION FROM TAKING PLACE OUTSIDE THE LIMITS OF THE PROJECT. THE TURBIDITY BARRIERS SHALL BE PLACED IN ACCORDANCE WITH REQUIREMENTS OF THE TOWN'S ENGINEERING DESIGN AND CONSTRUCTION STANDARDS, MOST RECENT EDITION.
12. FAILURE TO COMPLY WITH EROSION CONTROL MEASURES WILL RESULT IN A NOTICE OF VIOLATION BEING ISSUED. THE NOTICE WILL STIPULATE THE TIME FRAME ALLOWED FOR COMPLIANCE. IF THE PROJECT IS NOT IN COMPLIANCE WITHIN THE TIME FRAME GIVEN, A STOP WORK ORDER WILL BE ISSUED.
13. DEMOLITION AND TYPICAL CONSTRUCTION PROJECTS USUALLY GENERATE LARGE AMOUNT OF DUST WITH SIGNIFICANT CONCENTRATIONS OF HEAVY METALS AND OTHER TOXIC POLLUTANTS. DUST CONTROL TECHNIQUES SHALL BE USED TO CONTROL DUST. SEDIMENT SHALL BE RETAINED ON SITE AND NOT BE ALLOWED TO RUN DIRECTLY INTO WATER COURSES OR STORM WATER CONVEYANCE SYSTEM. USE OF CALCIUM CHLORIDE, OIL OR OTHER CHEMICAL DUST AGENTS IS PROHIBITED, UNLESS APPROVED BY TOWN ENGINEER.
14. FOR PROJECTS OVER 1 ACRE THE PROJECT SHALL ADHERE TO THE REQUIREMENTS OF THE EPA AND FDEP NOTICE OF INTENT (NOI) TO USE THE NPDES GENERAL PERMIT AND STORM WATER POLLUTION PREVENTION PLAN (SWP3)



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**RIGHT-OF-WAY UTILIZATION
PERMIT DETAILS**

DEPARTMENT OF PUBLIC WORKS

TOWN CLERK
MISSY CLARKE

DESCRIPTION:
**Sediment and Erosion
Control Measures Notes**

PUBLICATION DATE
DEC. 2018

DRAWING SCALE
NOT TO SCALE

INDEX NUMBER:

SE-02

SEDIMENT AND EROSION CONTROL MEASURES NOTES
PAGE 2 OF 2

14. FOR PROJECTS OVER 1 ACRE THE PROJECT SHALL ADHERE TO THE REQUIREMENTS OF THE EPA AND FDEP NOTICE OF INTENT (NOI) TO USE THE NPDES GENERAL PERMIT AND STORM WATER POLLUTION PREVENTION PLAN (SWP3)
15. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
16. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING ,EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS TRANSPORT OF THESE MATERIALS INTO STORM WATER CONVEYANCE SYSTEM.
17. NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED IN DRAINAGE DITCH OR WATER OF THE STATE.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY IS PLANNED TO BE STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED AND MULCHED. THESE AREAS SHALL BE SEEDED AND MULCHED NO LATER THAN 3 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
19. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED, AND MULCHED OR SODDED AS DIRECTED BY THE TOWN ENGINEER. THESE AREAS SHALL BE PERMANENTLY SEEDED OR SODDED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
20. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD AS IDENTIFIED BY THE TOWN ENGINEER THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WASH WATER AT THE SITE.
21. ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. ROADWAYS AND RIGHT-OF-WAYS SHALL BE CLEANED DAILY BY A VACUUM STREET SWEEPER OR AS DIRECTED BY THE TOWN ENGINEER.
22. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEM.
23. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES COVERING WITH PLASTIC TARP AND OTHER MEANS SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
24. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION OR TEMPORARY SEEDED AND MULCHED.
25. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ECT.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
26. ALL OFF SITE CONSTRUCTION SHALL BE STABILIZED AT EACH END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
27. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND STAY IN PLACE UNTIL FINAL STABILIZATION HAS OCCURRED AND UNTIL APPROVED BY THE ENGINEERING INSPECTOR OR TOWN ENGINEER.



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**RIGHT-OF-WAY UTILIZATION
PERMIT DETAILS**

DEPARTMENT OF PUBLIC WORKS

TOWN CLERK
MISSY CLARKE

DESCRIPTION:
**Sediment and Erosion
Control Measures Notes**

PUBLICATION DATE
DEC. 2018

DRAWING SCALE
NOT TO SCALE

INDEX NUMBER:

SE-02

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AND EXIT NOTES

DEFINITION:

A STONE STABILIZER PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE:

TO STABILIZE ENTRANCES TO THE CONSTRUCTION SITE AND REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS AND STORM WATER SYSTEMS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES:

WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY INTO A PUBLIC ROAD OR OTHER PAVED AREA.

PLANNING CONSIDERATIONS:

CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF THE VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE MOST OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF- SITE. CONSTRUCTION ENTRANCE SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA

AGGREGATE SIZE:

FDOT NO. 1 COARSE AGGREGATE (1.5-3.5 INCH STONE) (4-9 CM) SHOULD BE USED.

ENTRANCE DIMENSIONS:

THE AGGREGATE MUST BE AT LEAST 6 INCHES (15 CM) THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA, OR A MINIMUM OF 20'. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET (20 M). IF POSSIBLE OR AS DIRECTED BY THE TOWN ENGINEER THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

WASHING:

IF CONDITIONS ON THE SITE AREA IS SUCH THAT MOST OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO THE SETTING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.

LOCATION:

THE ENTRANCE SHOULD BE LOCATED FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

CONSTRUCTION SPECIFICATIONS:

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. THE GRAVEL SHALL THEN BE LACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS.

MAINTENANCE:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 -INCH (5 CM) STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS AND TRAIERED EQUIPMENT "CUTTING CORNERS" WHERE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROAD DAILY FOR SEDIMENTS AND STONES.



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DEPARTMENT OF PUBLIC WORKS

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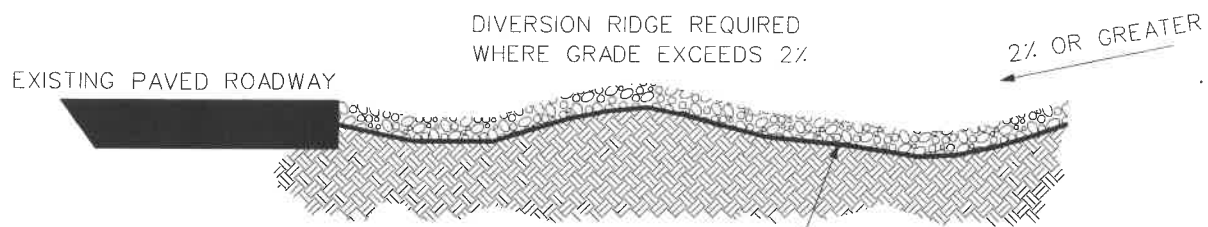
PUBLICATION DATE
DEC. 2018

DRAWING SCALE
NOT TO SCALE

DESCRIPTION:
**Temporary Gravel Construction
Entrance and Exit Notes**

INDEX NUMBER:

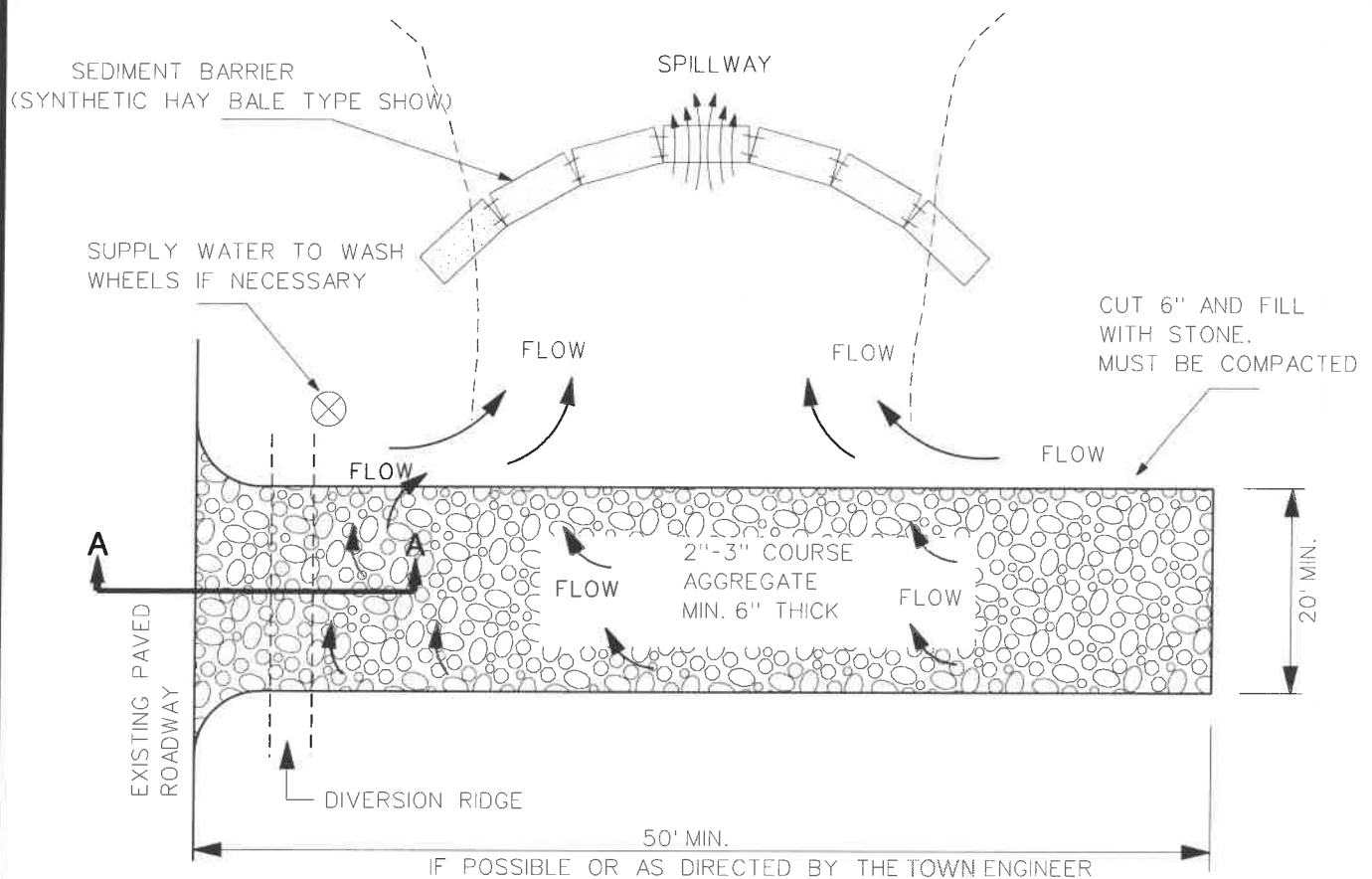
SE-03



NOTE:

USE SANDBAGS, SYNTHETIC HAY BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

SECTION A-A



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY OR STORM WATER SYSTEMS. THEY MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE INTO THE PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



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RIGHT-OF-WAY UTILIZATION PERMIT DETAILS

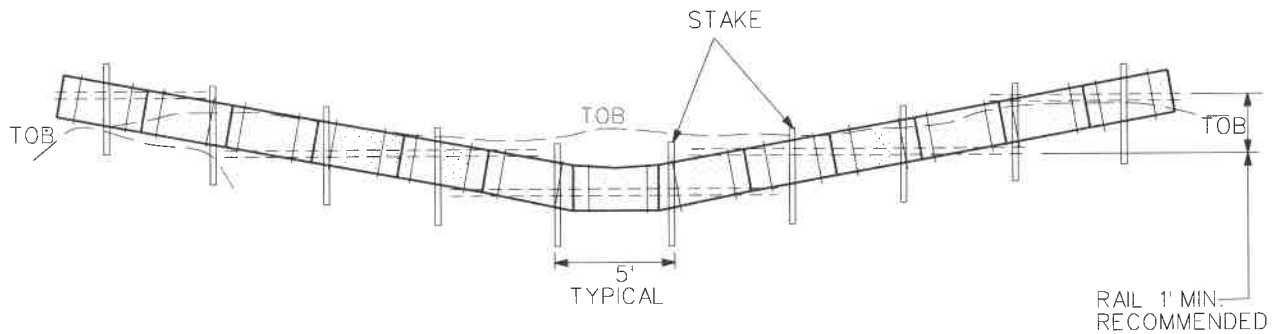
DEPARTMENT OF PUBLIC WORKS
 TOWN CLERK
 MISSY CLARKE

PUBLICATION DATE
 DEC. 2018
 DRAWING SCALE
 NOT TO SCALE

DESCRIPTION:
Temporary Gravel
Construction Entrance
with Wheel Wash

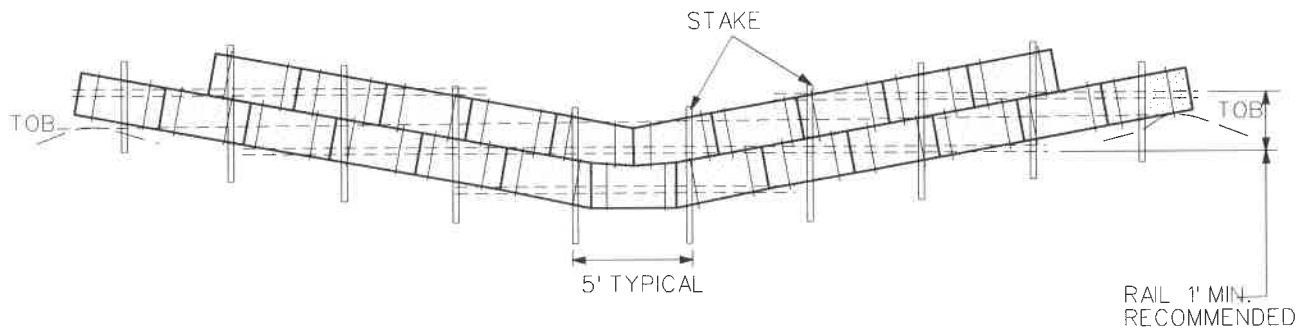
INDEX NUMBER:

SE-04



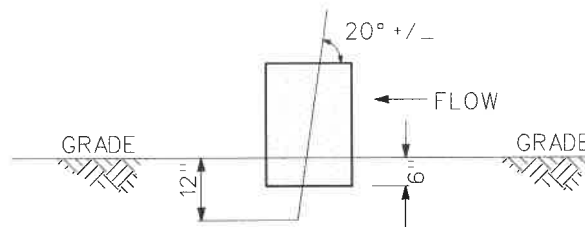
NOTE:
 SYNTHETIC HAY BALES MUST BE USED
 ANCHOR BALES WITH TWO(2) 2"x2"x4' STAKES PER BALE.

TYPE 1



NOTE:
 ANCHOR LOWER BALES WITH TWO(2) 2"x2"x4' STAKES PER BALE. #5 OR LARGER REBAR IS ACCEPTABLE.
 ANCHOR TOP BALES TO LOWER BALES WITH TWO(2) 2"x2"x4' STAKES PER BALE.

TYPE 2



PROFILE



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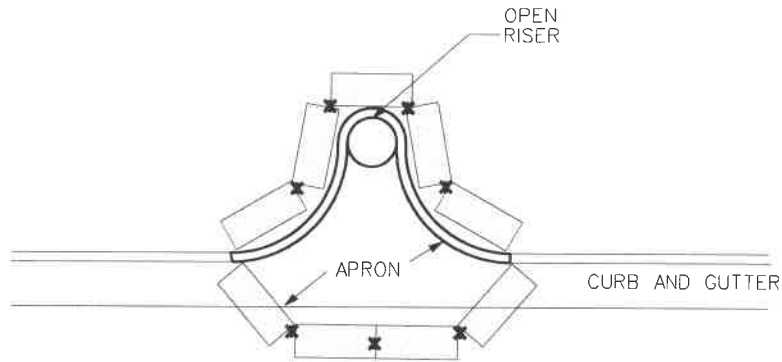
RIGHT-OF-WAY UTILIZATION PERMIT DETAILS

DEPARTMENT OF PUBLIC WORKS
 TOWN CLERK
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PUBLICATION DATE
 DEC. 2018
 DRAWING SCALE
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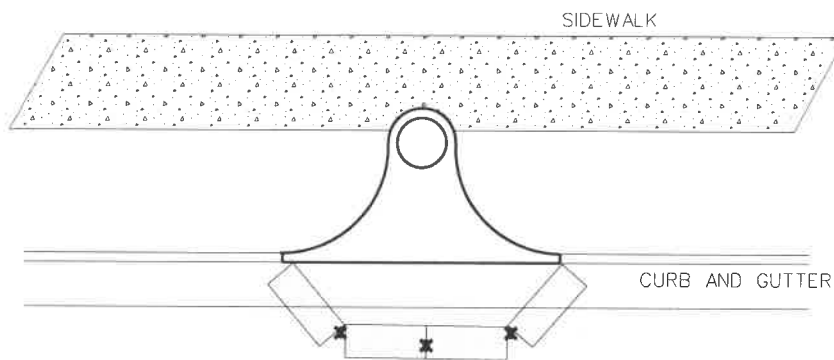
**Synthetic Haybale Barrier for
 Unpaved Ditches**

INDEX NUMBER:
SE-05

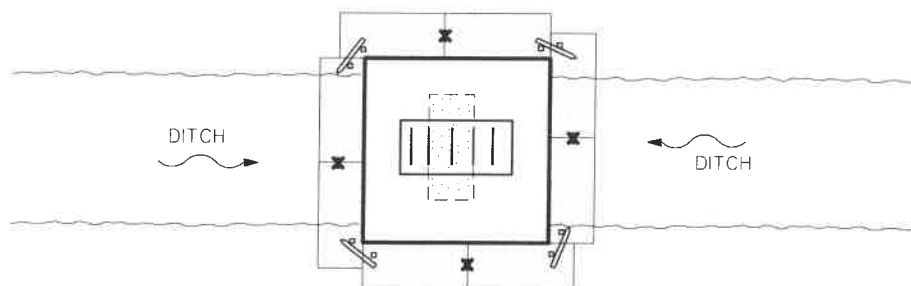


PARTIAL INLET

MUST BE STACKED WITH WOOD OR REBAR



COMPLETED INLET



DITCH BOTTOM INLET

NOTE: SYNTHETIC HAY BALES MUST BE USED



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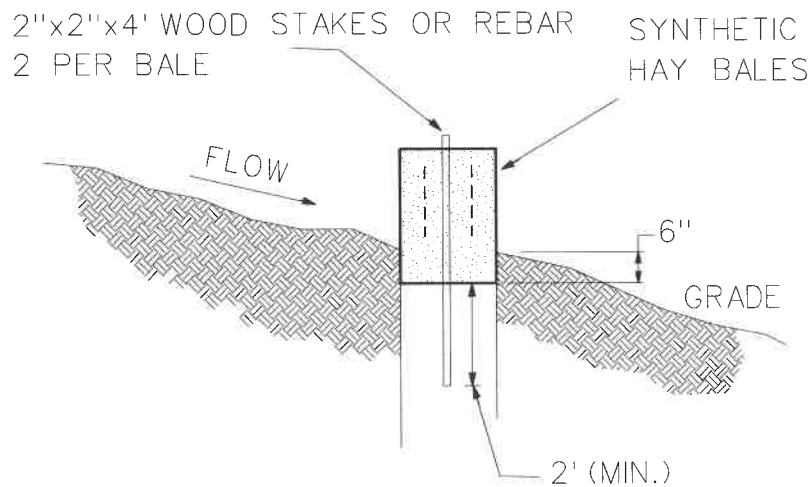
DESCRIPTION
**Synthetic Hay Protection
Around Inlets/Structures**

PUBLICATION DATE
DEC. 2018

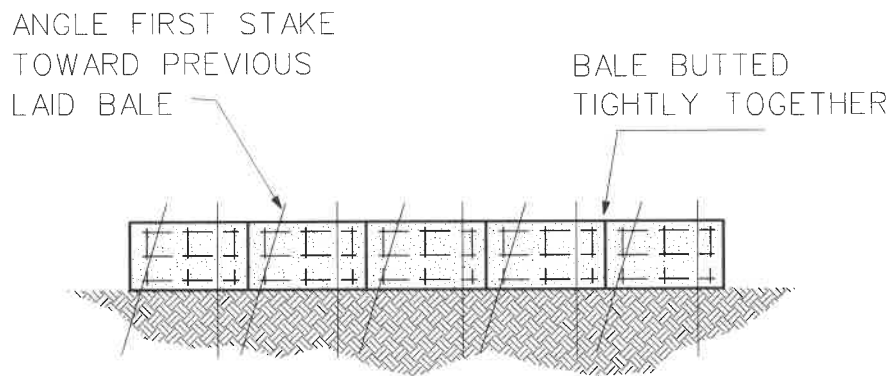
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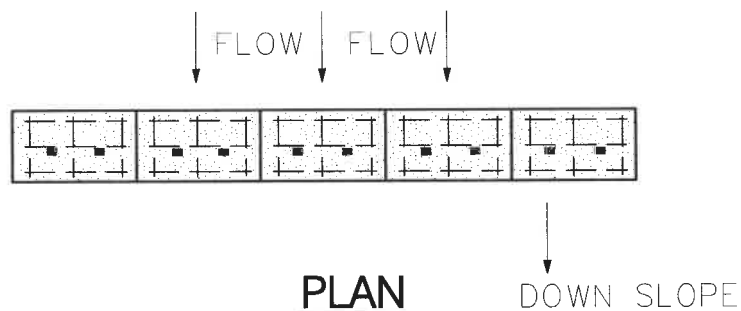
SE-06



SECTION



ELEVATION



PLAN

*IF REBAR IS TO BE USED, OSHA STANDARDS MUST BE MET.



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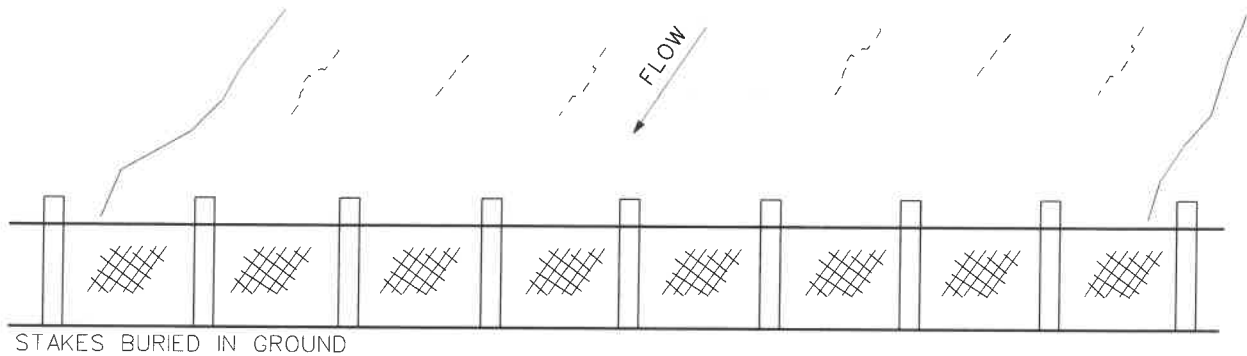
PUBLICATION DATE
DEC. 2018
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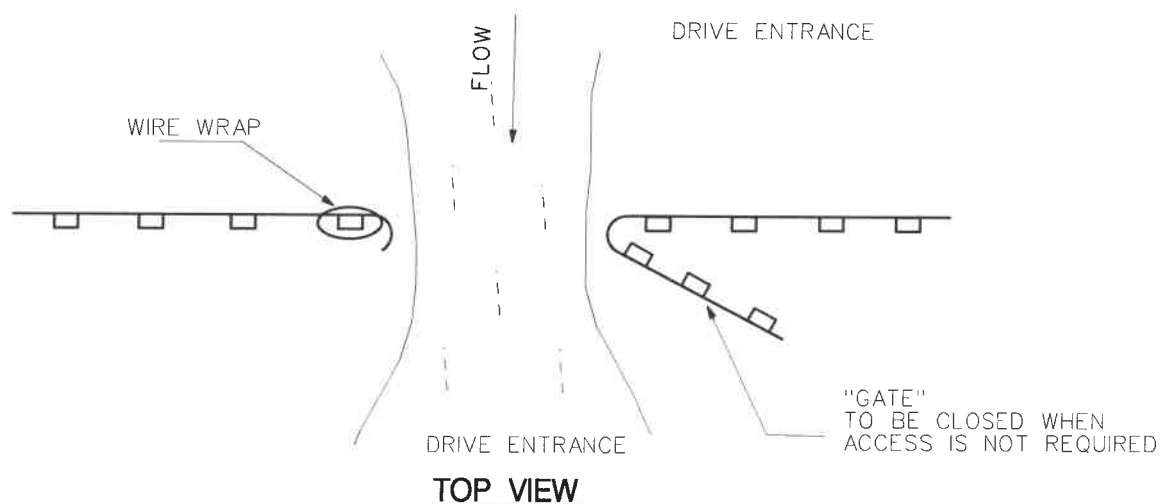
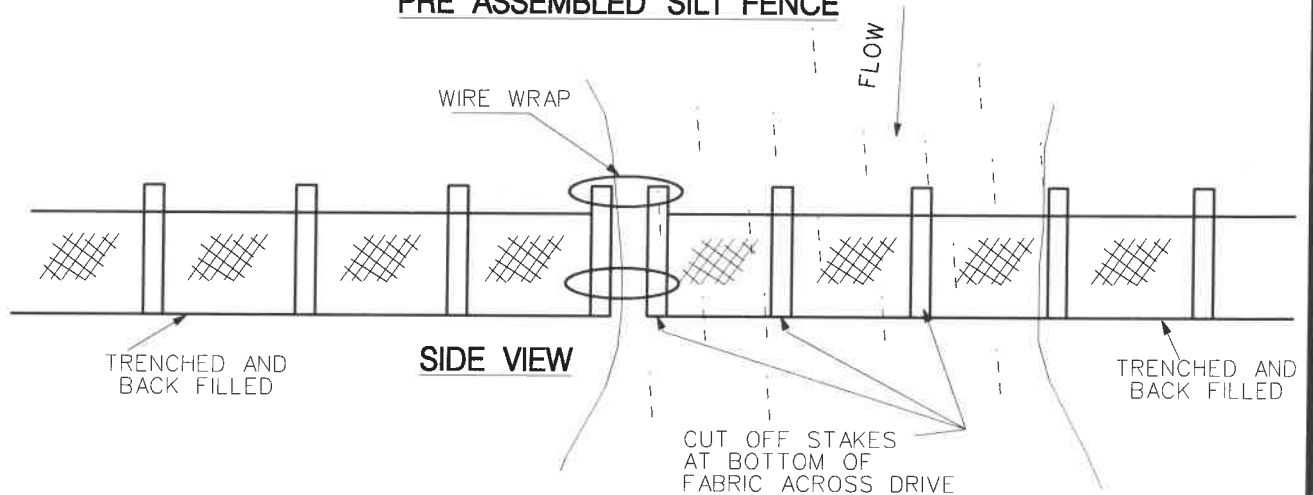
Synthetic Bale Barrier

INDEX NUMBER:

SE-07



PRE ASSEMBLED SILT FENCE



NOTE:

1. FOR ENTRY INTO SITE WITH EQUIPMENT YOU MAY LEAVE A SMALL SECTION UN TRENCHED, CUT OFF THE STAKE FLUSH WITH BOTTOM OF FABRIC. THIS MAKES A "GATE" THAT CAN BE OPENED AND CLOSED (WIRE LOOPS WILL HOLD GATE SHUT)



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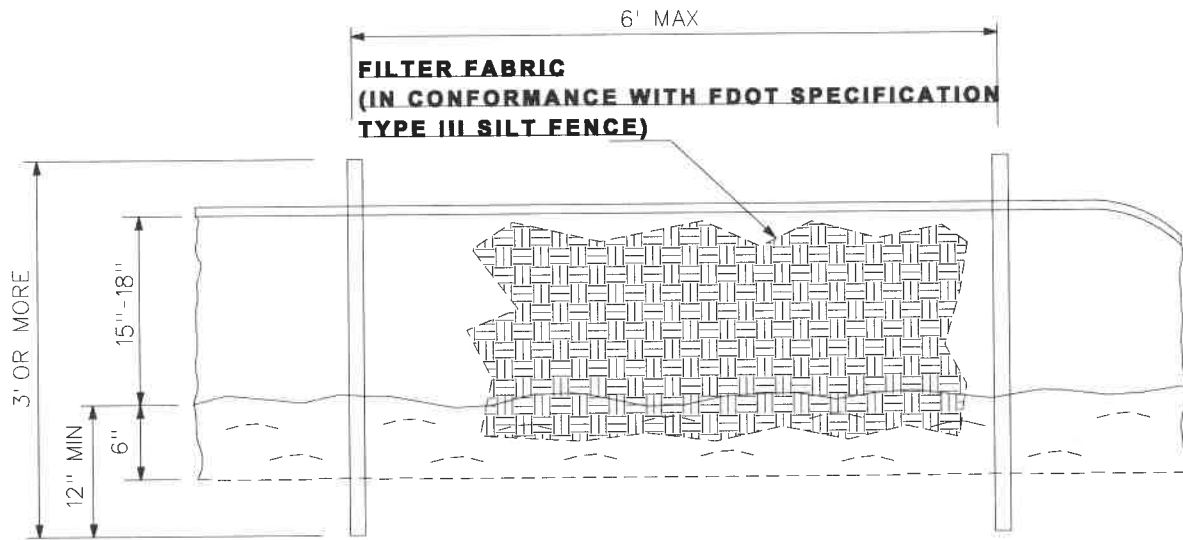
PUBLICATION DATE
DEC. 2018

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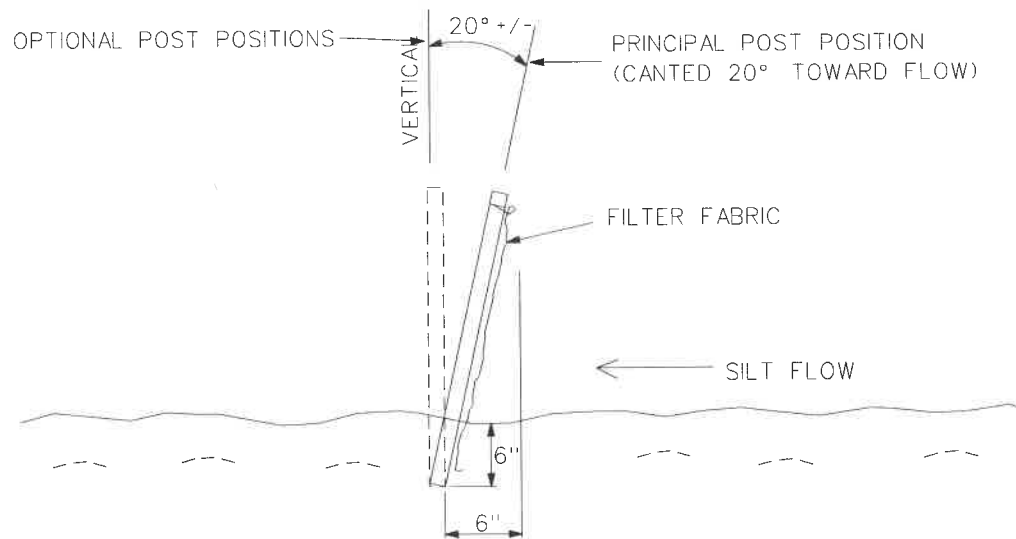
DESCRIPTION:
**Residential Temporary
Access Detail**

INDEX NUMBER:

SE-08



ELEVATION



SECTION

NOTES:

1. THE FABRIC SHOULD FACE THE AREA OF CONSTRUCTION WITH THE STAKES ON THE OUTSIDE AWAY FROM CONSTRUCTION.
2. FABRIC MUST BE TRENCHED IN AND BACK FILLED. THIS CAN BE DONE WITH A TRENCHER, FRONT BUCKET, OR HAND.
3. FILTER FABRIC MUST BE TAUT.



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TOWN CLERK
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PUBLICATION DATE
 DEC. 2018

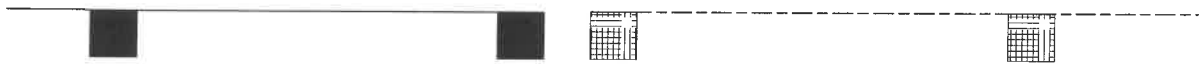
DRAWING SCALE
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DESCRIPTION:

Type III Silt Fence

INDEX NUMBER:

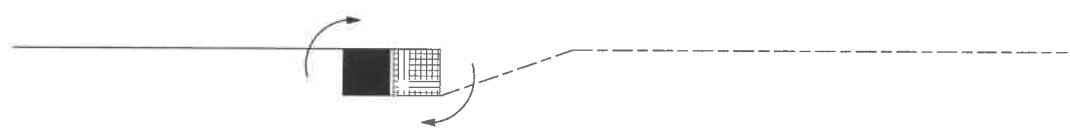
SE-09



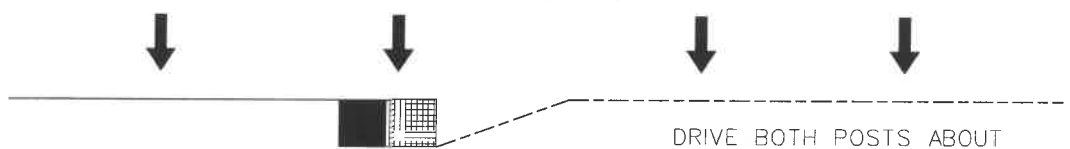
PLACE THE END POST OF THE
SECOND FENCE INSIDE THE
END POST OF THE FIRST FENCE



ROTATE BOTH POST AT LEAST
180 DEGREES IN A CLOCKWISE
DIRECTION TO CREATE A TIGHT
SEAL WITH THE FABRIC MATERIAL



DIRECTION OF RUNOFF WATER



DRIVE BOTH POSTS ABOUT
10 INCHES INTO THE
GROUND AND BURY FLAP



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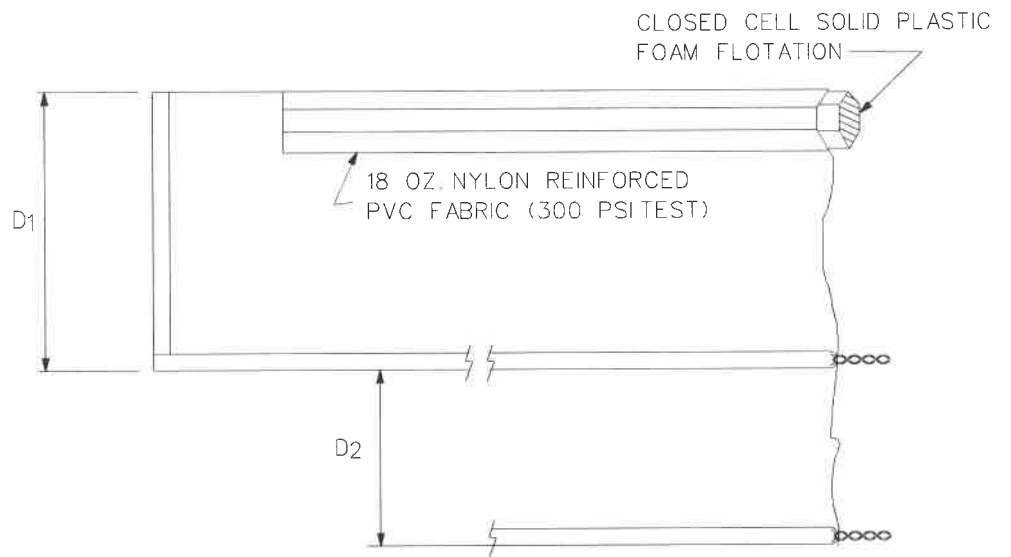
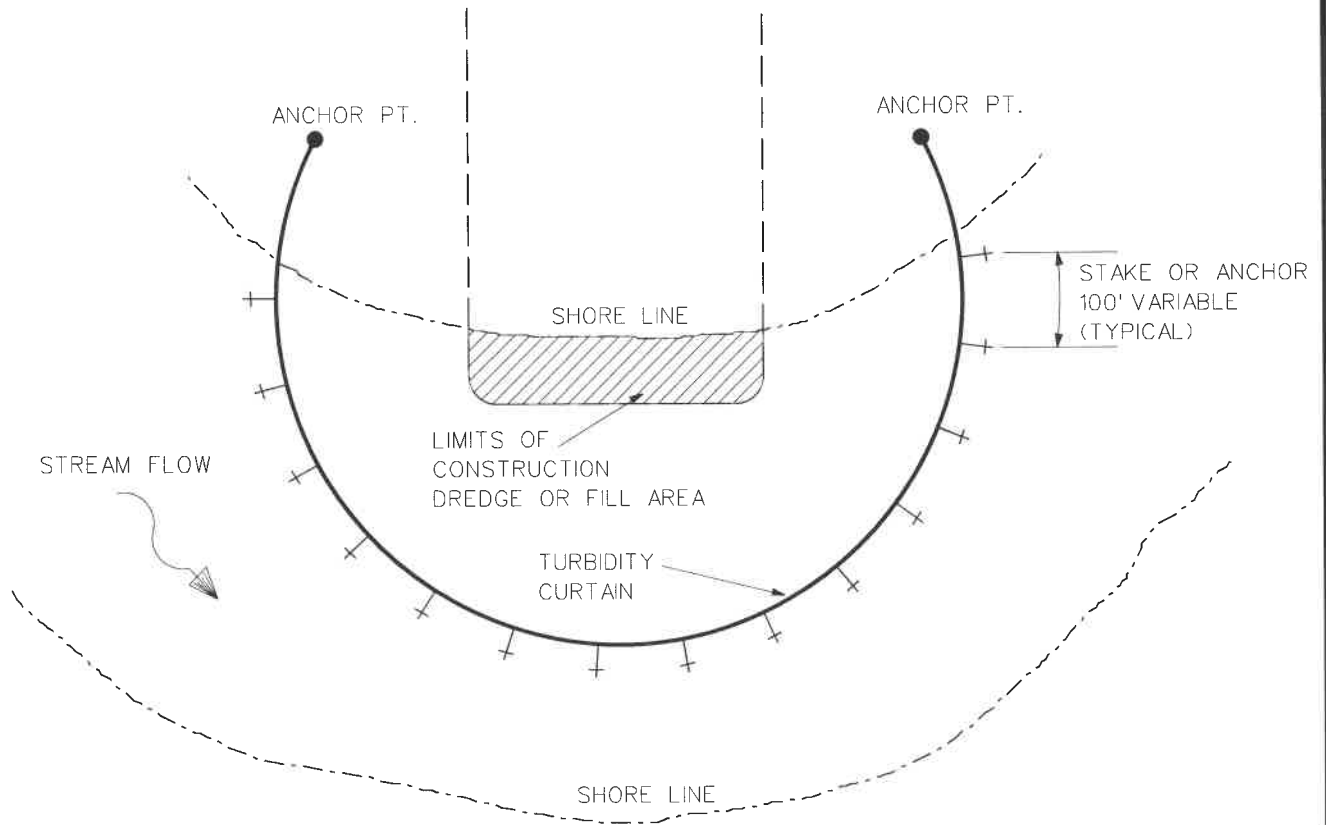
TOWN CLERK
MISSY CLARKE

DESCRIPTION:
**Attaching Two
Silt Fences**

PUBLICATION DATE
DEC. 2018

DRAWING SCALE
NOT TO SCALE

INDEX NUMBER:
SE-10



NOTES:

D1 = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS)
 D2 = 5' STD. (ADDITIONAL PANEL FOR DEPTH >5')
 CURTAIN TO REACH BOTTOM. ADDITIONAL PANELS
 TO BE USED TO REACH BOTTOM IF SINGLE ROW
 DOES NOT REACH.



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 TOWN CLERK
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PUBLICATION DATE
 DEC. 2018
 DRAWING SCALE
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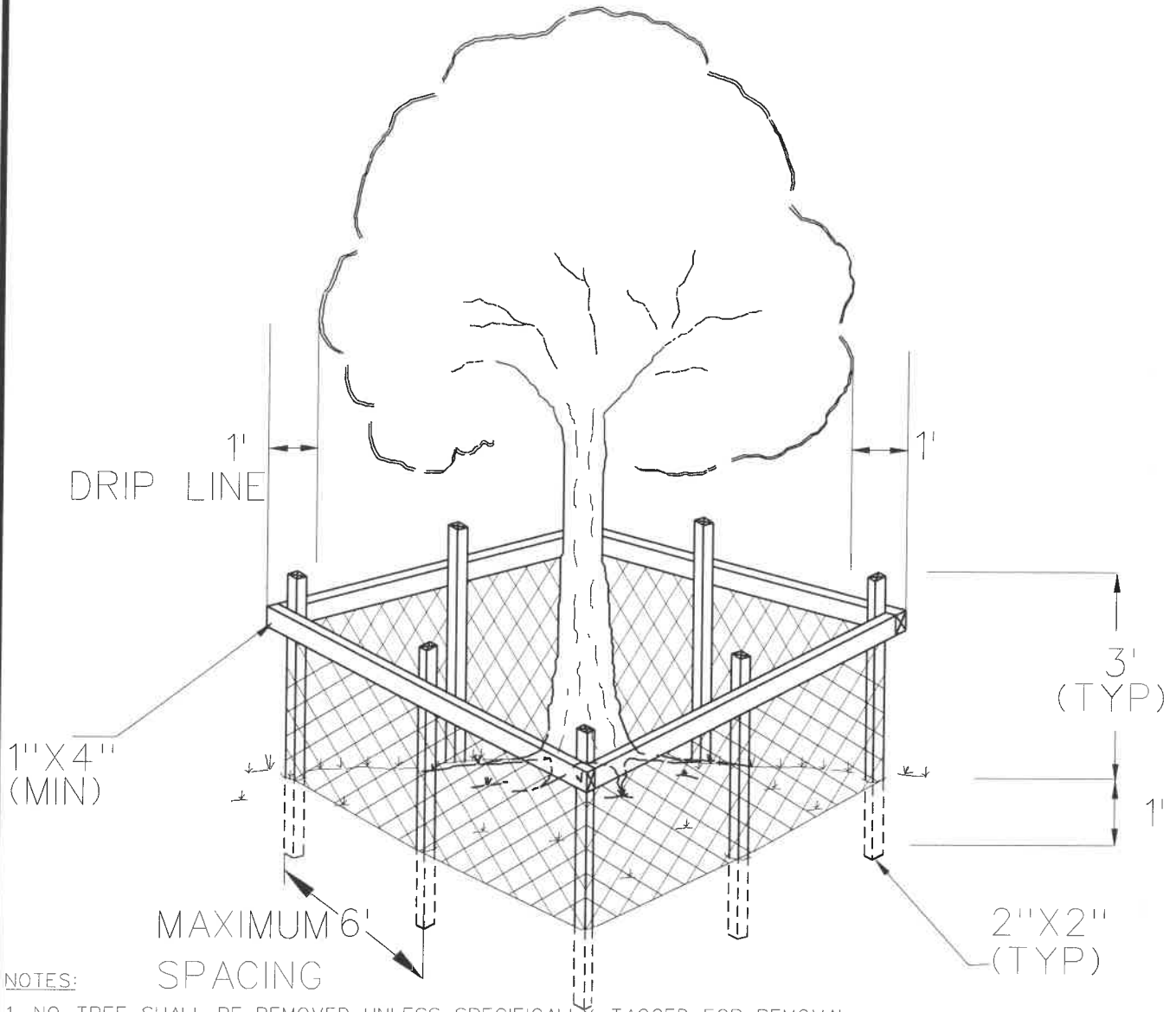
DESCRIPTION

Floating Turbidity Barrier

INDEX NUMBER:

SE-11

ANY TREE REMOVAL REQUIRES A PERMIT



NOTES:

1. NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY TAGGED FOR REMOVAL.
2. A PROTECTIVE BARRIER SHALL BE ERECTED AROUND ALL TREES AND NATIVE VEGETATION THAT ARE TO REMAIN PERMANENTLY ON-SITE.
3. ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED.
4. TREE ROOTS ONE FOOT OUTSIDE OF BARRIER MUST BE PROTECTED.
5. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOTS SYSTEM.
6. PROTECTIVE BARRIERS ARE TO BE CONSTRUCTED USING NO LESS THAN 2"X2" LUMBER FOR THE UPRIGHTPOSTS. UPRIGHT POSTS ARE TO BE AT LEAST 4 FEET IN LENGTH WITH A MINIMUM OF ONE FOOT ANCHORED IN THE GROUND AND THREE FEET ABOVE GROUND. UPRIGHT POSTS ARE TO BE PLACED AT A MAXIMUM DISTANCE OF 6 FEET APART. HORIZONTAL RAILS ARE TO BE CONSTRUCTED USING NO LESS THAN 1"X4" LUMBER AND SHALL BE SECURELY ATTACHED TO THE TOP OF THE UPRIGHT POSTS. A PVC- TYPE SAFETY FENCE THE HEIGHT OF THE BARRIER SHALL BE ATTACHED TO THE UPRIGHT POSTS, THE TOP RAIL, AND THE GROUND, WITHFASTENERS A MAXIMUM OF 8 INCHES APART. BARRIERS SHALL EXTEND AT LEAST ONE FOOT BEYOND THE DRIP LINE OF ALL PROTECTED TREES ON THE PROPERTY AND SHALL BE AT LEAST THREE FEET HIGH.



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DRAWING SCALE
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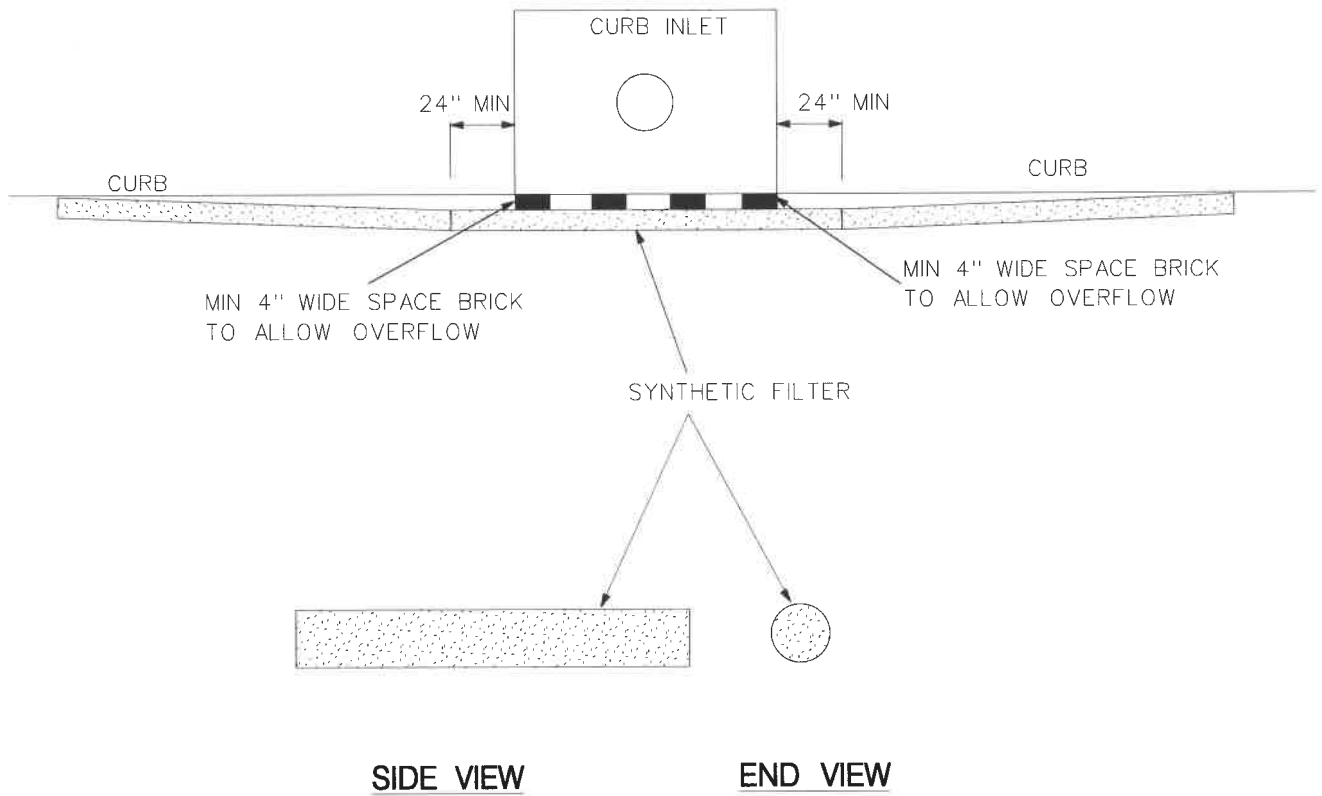
DESCRIPTION:

Tree Protection

INDEX NUMBER:

SE-12

SYNTHETIC CURB INLET FILTER



NOTE:

1. GEOHAY OR APPROVED EQUAL.
2. IF OVERFLOW HOLES ARE PRESENT IN THE SYNTHETIC FILTER, THEY SHOULD BE INSTALLED AT A 45° ANGLE.



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PUBLICATION DATE
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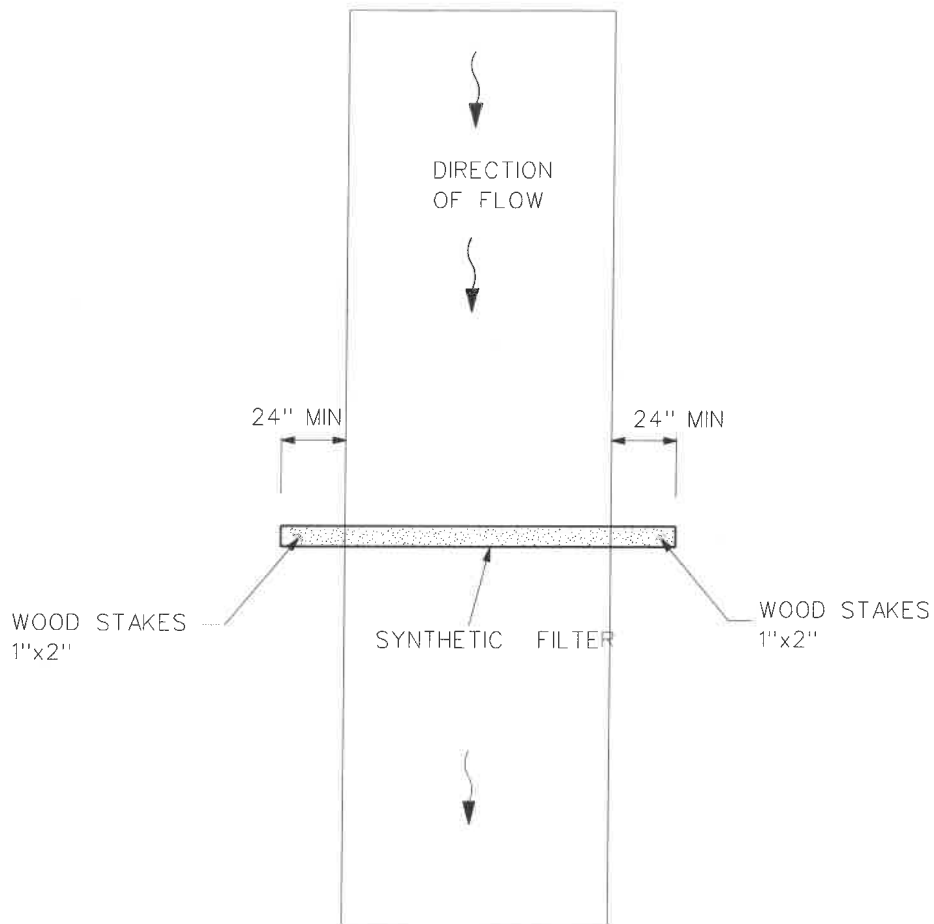
DRAWING SCALE
 NOT TO SCALE

DESCRIPTION:

Synthetic Curb Inlet Filter

INDEX NUMBER:

SE-13



NOTE:

1. GEOHAY OR APPROVED EQUAL.



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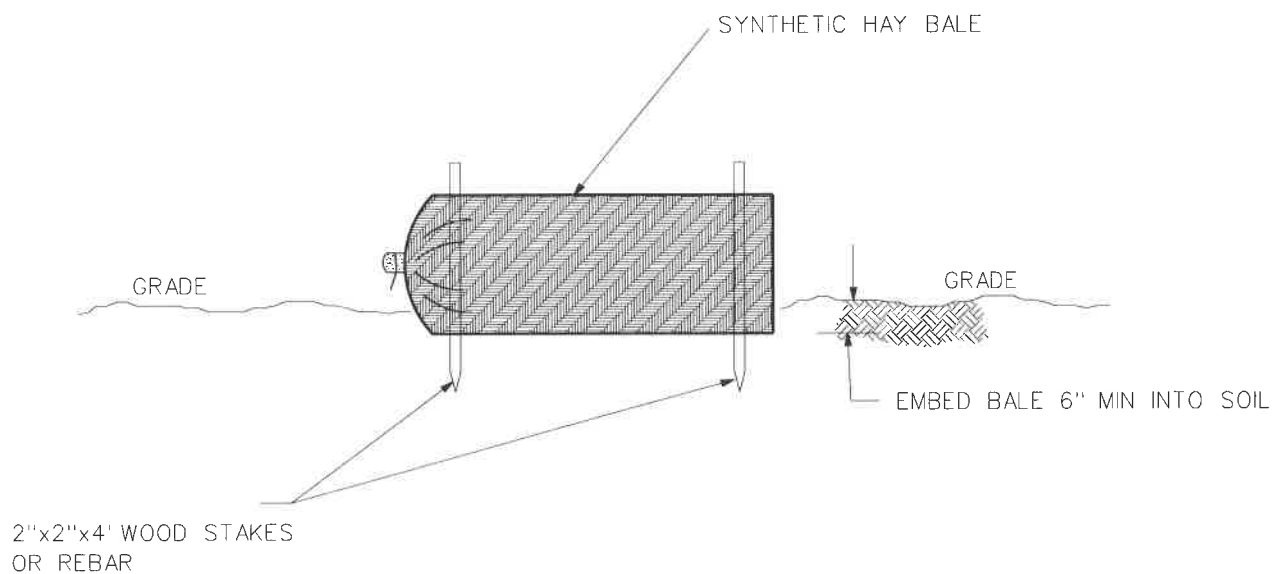
PUBLICATION DATE
 DEC. 2018

DRAWING SCALE
 NOT TO SCALE

DESCRIPTION:
**Synthetic Ditch
 Pavement Filters**

INDEX NUMBER:

SE-14



NOTE:

1. GEOHAY OR APPROVED EQUAL.
2. IF REBAR IS TO BE USED, OSHA STANDARDS MUST BE MET.



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**Synthetic Haybale
 Installation**

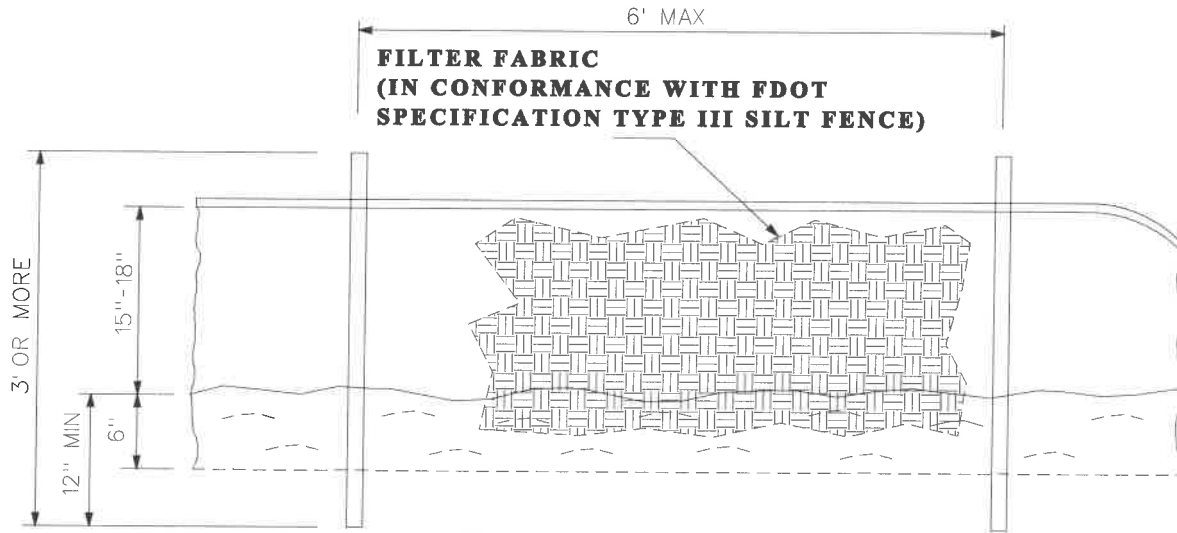
PUBLICATION DATE
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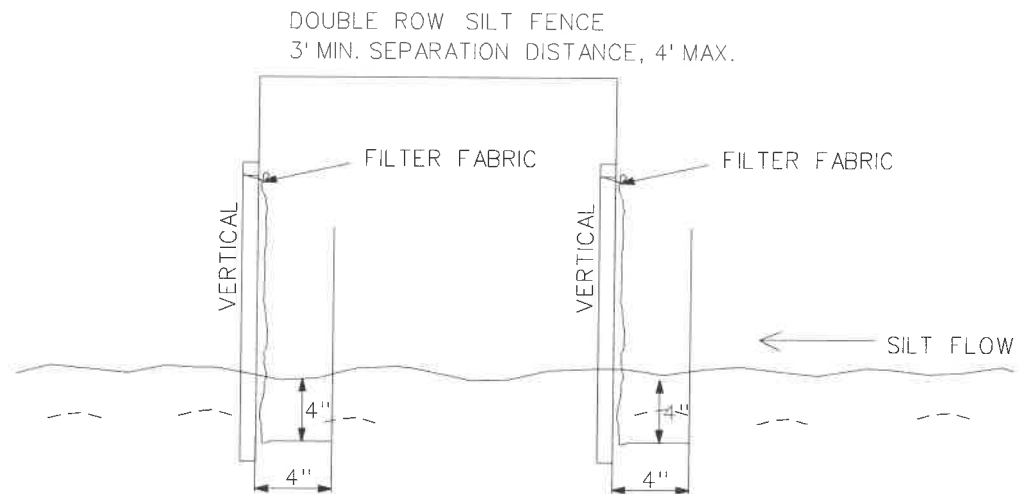
INDEX NUMBER:

SE-15

DOUBLE ROW SILT FENCE



ELEVATION



SECTION

NOTES:

1. THE FABRIC SHALL FACE THE AREA OF CONSTRUCTION WITH THE STAKES ON THE OUTSIDE AWAY FROM CONSTRUCTION.
2. FABRIC MUST BE TRENCHED IN AND BACK FILLED. THIS CAN BE DONE WITH A TRENCHER, FRONT BUCKET, OR BY HAND. FLAP MUST BE FOUR INCHES BELOW GRADE AND EXTEND FOUR INCHES TOWARDS THE FLOW OF SILT.
3. DOUBLE ROW SHALL BE USED ON ANY SITE NEAR A WATER BODY OR A STORM WATER CONVEYANCE SYSTEM. DOUBLE ROW WILL ALSO BE USED ON ANY SITE THAT IS NEAR AN INLET STRUCTURE THAT LEADS DIRECTLY TO A WATER BODY, EVEN IF THE SITE ITSELF IS NOT NEAR THE WATER BODY.



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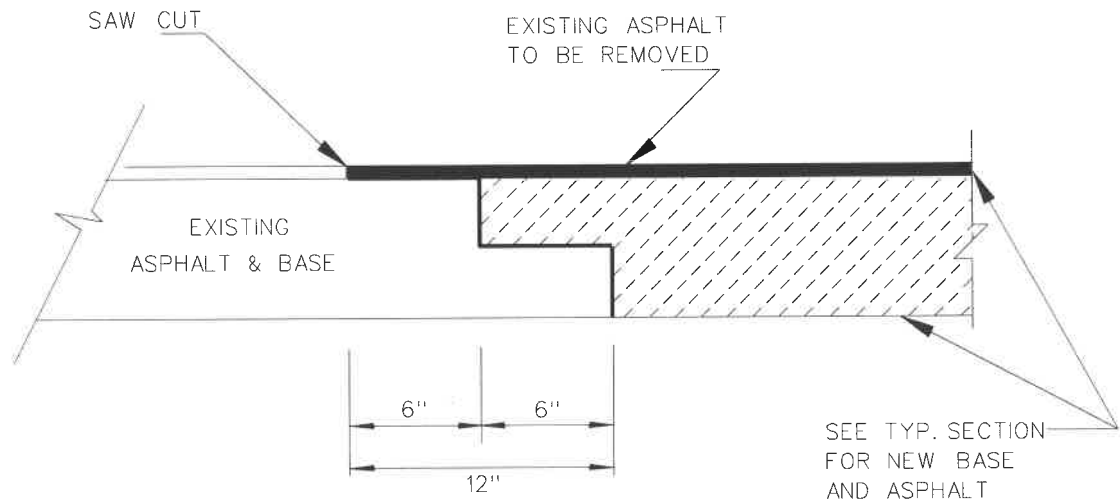
PUBLICATION DATE
DEC. 2018

DRAWING SCALE
NOT TO SCALE

**DESCRIPTION:
Double Row
Silt Fence**

INDEX NUMBER:

SE-16



NOTE:

1. THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.



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PUBLICATION DATE
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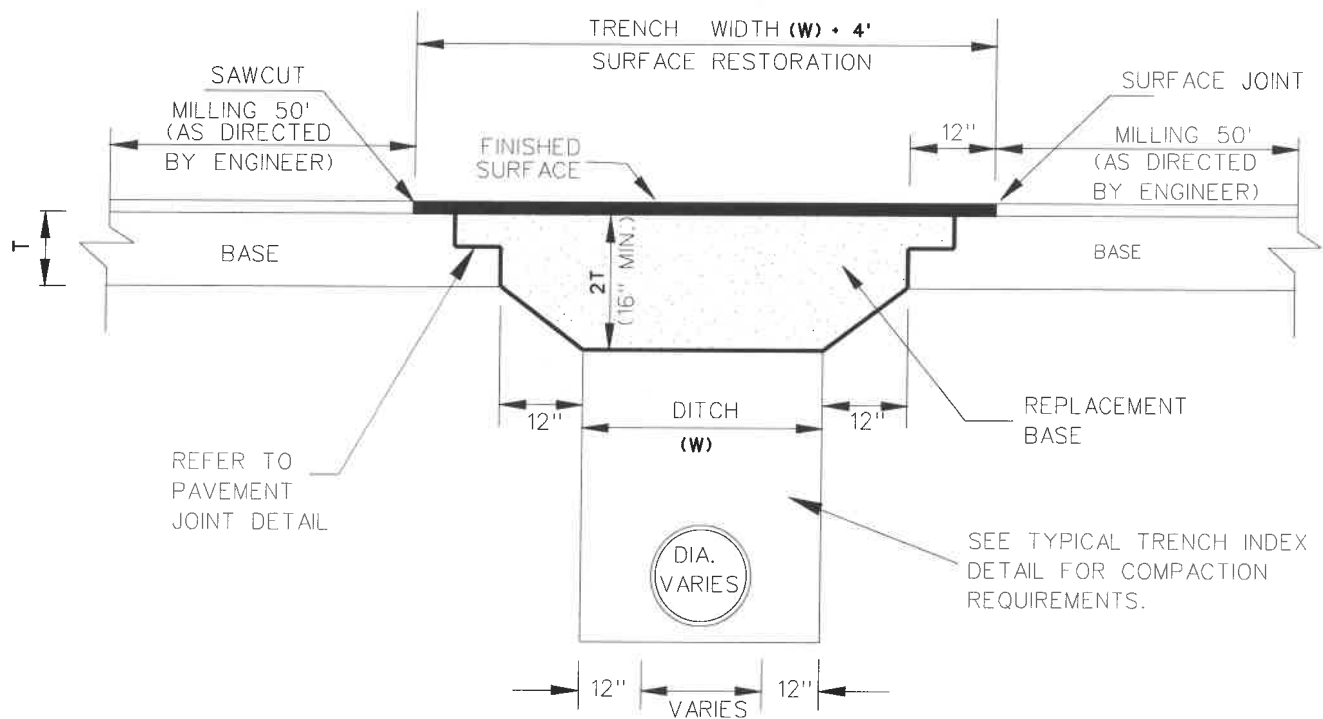
DRAWING SCALE
 NOT TO SCALE

DESCRIPTION:

Pavement Joint

INDEX NUMBER:

RT-01



NOTES:

1. REPLACEMENT BASE MATERIAL OVER DITCH SHALL BE AT MINIMUM 16" THICK OR TWICE THE THICKNESS OF THE EXISTING BASE, WHICHEVER IS GREATER
2. BASE MATERIAL SHALL BE PLACED IN THREE OR MORE LIFTS AND EACH LIFT COMPACTED TO 98% DENSITY PER A.A.S.H.T.O. T-180, LBR 100 (MAX. LIFT THICKNESS = 6").
3. FLOWABLE FILL MAY BE USED AS A REPLACEMENT FOR BASE MATERIAL.
4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED AND ALL SURFACES TACK COATED
5. SURFACE MATERIAL SHALL BE FDOT TYPE S-III (PC-III). ASPHALTIC CONCRETE (MIN. THICKNESS 1 1/2 ")
6. ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.
7. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH TOWN STANDARDS.



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RIGHT-OF-WAY UTILIZATION PERMIT DETAILS

DEPARTMENT OF PUBLIC WORKS

TOWN CLERK
MISSY CLARKE

PUBLICATION DATE
DEC. 2018

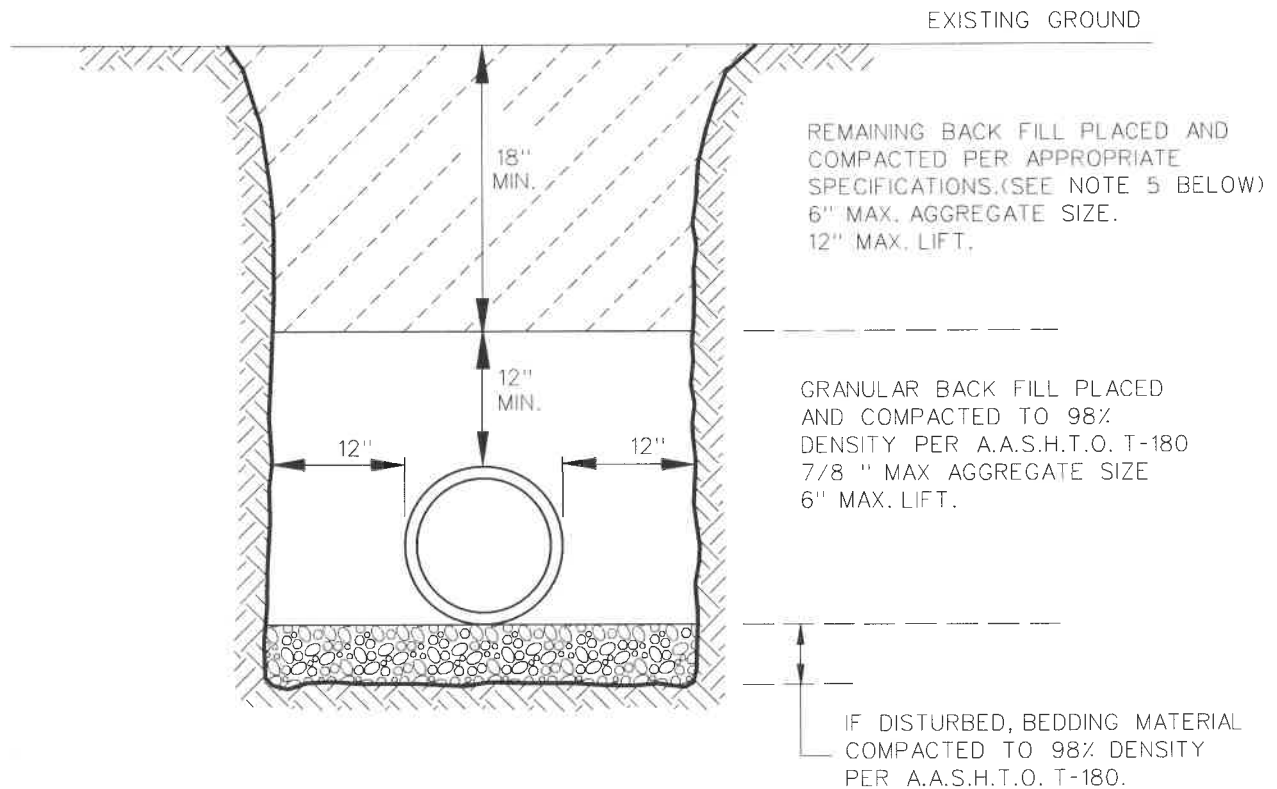
DRAWING SCALE
NOT TO SCALE

DESCRIPTION

Pavement Repair

INDEX NUMBER:

RT-02



NOTES:

1. BEDDING SHALL CONSIST OF WASHED AND GRADED ROCK 3/8"-7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED.
2. THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE SHALL BE PLACED IN A DRY TRENCH.
4. BACK FILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACK FILL TO 100% DENSITY, (A.A.S.H.T.O T-99, METHOD C)
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACK FILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE : FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACK FILL IN ACCORDANCE WITH THE ABOVE PROCEDURES.



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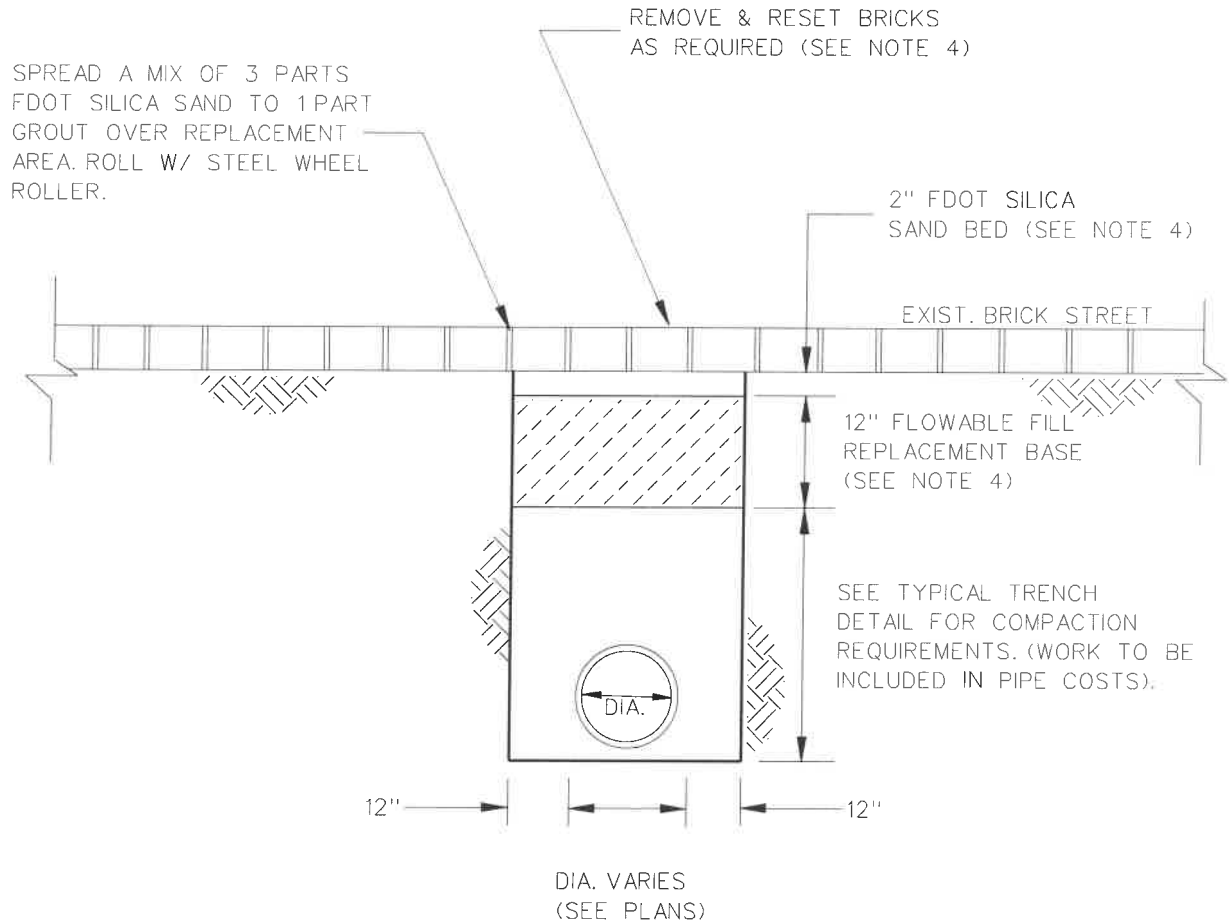
DESCRIPTION:

Typical Trench

INDEX NUMBER:

RT-03

BRICK PAVEMENT TRENCH REPAIR



NOTES:

1. BRICK PAVEMENT TRENCH REPAIR SHALL BE PAID FOR "PER LINEAR FOOT" AS MEASURED ALONG CENTERLINE OF PROPOSED PIPE.
2. CONTRACTOR SHALL ENDEAVOUR TO KEEP TRENCHING DISTURBANCE TO A MINIMUM IN BRICK PAVEMENT AREAS.
3. REPLACED BRICKS TO MATCH EXISTING PATTERN, SLOPE AND ELEVATION.
4. RESETTING OF BRICKS, SAND BEDDING AND FLOWABLE FILL REPLACEMENT BASE SHALL BE PAID FOR UNDER "BRICK PAVEMENT TRENCH REPAIR" PAY ITEM.
5. THIS DETAIL SHALL BE UTILIZED IN AREAS WHERE EXISTING BRICK STREETS WILL REQUIRE TRENCHING, BUT NO FULL WIDTH STREET RECONSTRUCTION IS PROPOSED.



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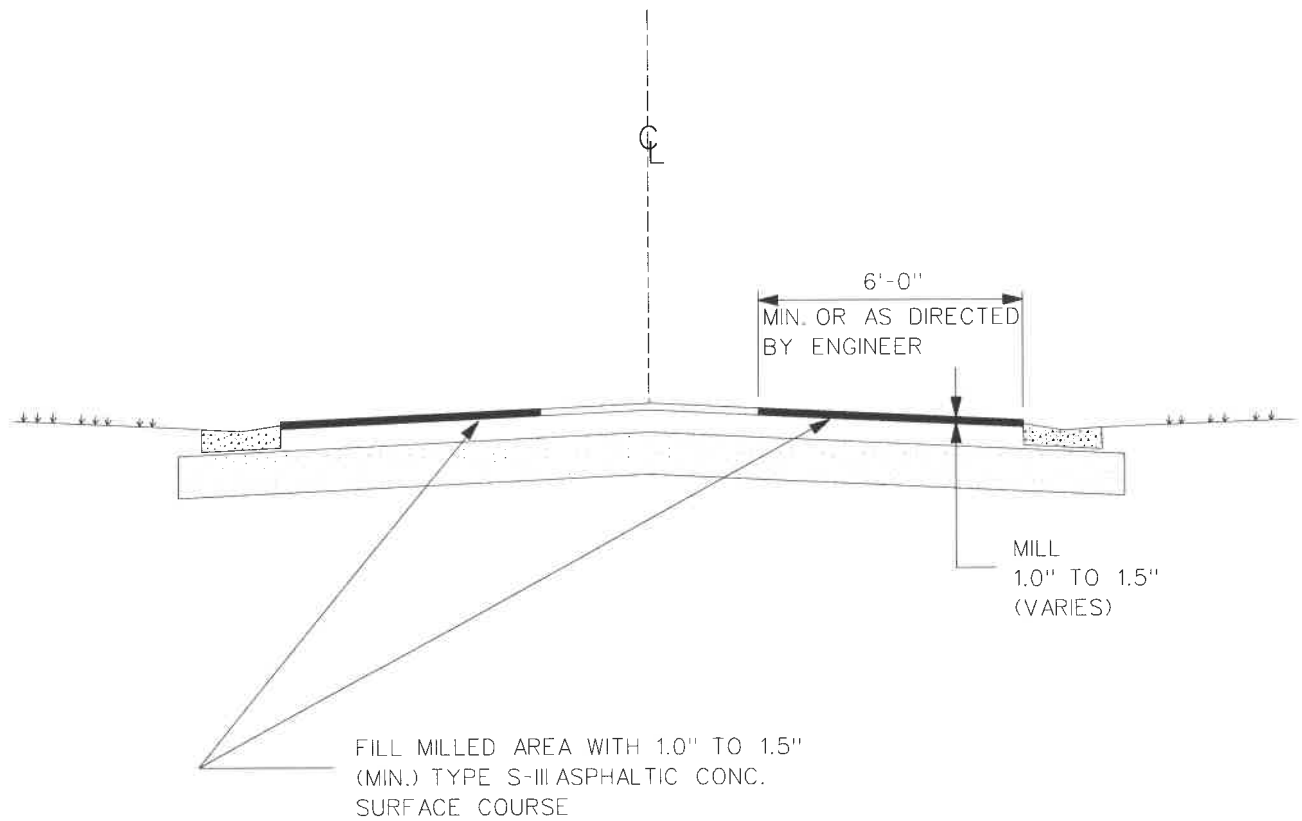
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DESCRIPTION:

Paving Restoration

INDEX NUMBER:

RT-04



MILLING DETAIL TYPICAL ROAD SECTION

NOTE:

1. ALL MILLINGS REMAIN THE PROPERTY OF THE TOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER.



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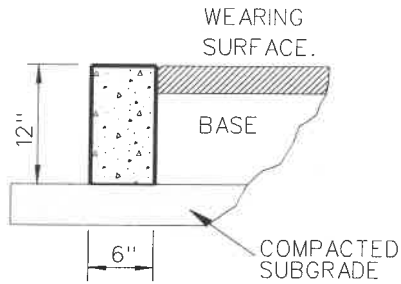
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Various Roads**

PUBLICATION DATE
DEC. 2018

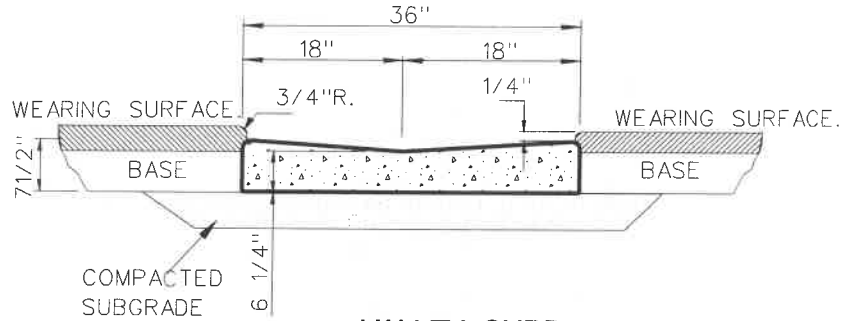
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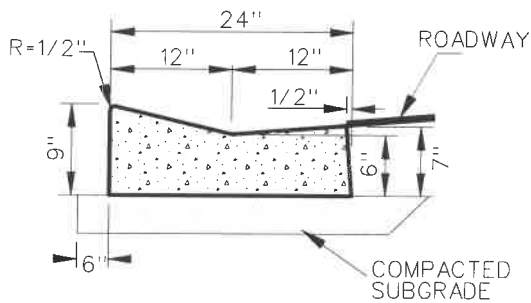
RT-05



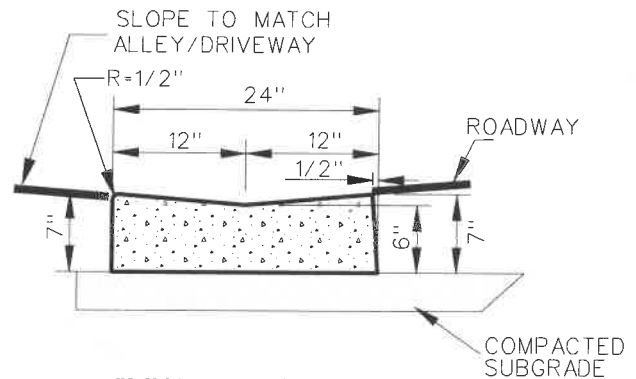
CONCRETE HEADER CURB



VALLEY CURB

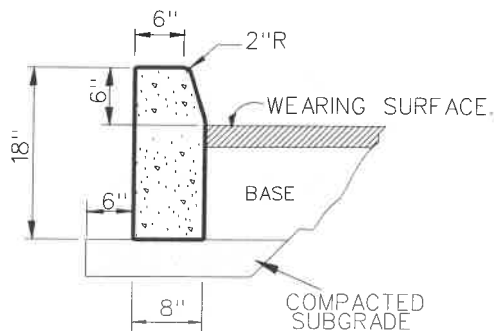


"MIAMI" CURB



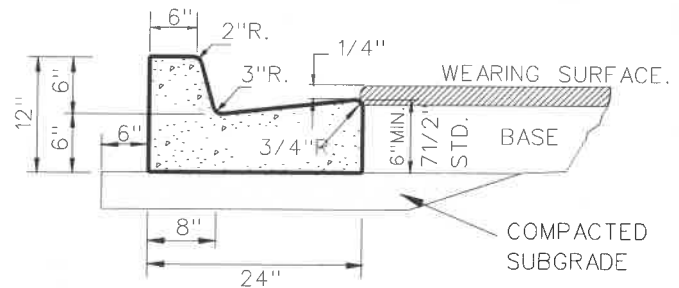
"MIAMI" DROP CURB

(AT DRIVEWAYS AND ALLEYS)



FDOT TYPE "D"

CONCRETE CURB



FDOT TYPE "F"

CONCRETE CURB AND GUTTER

NOTES:

1. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND 6" BEYOND CURBING.
2. SAWCUTS AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.
3. CONCRETE SHALL BE 3000 P.S.I.

NOTE:

WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6".



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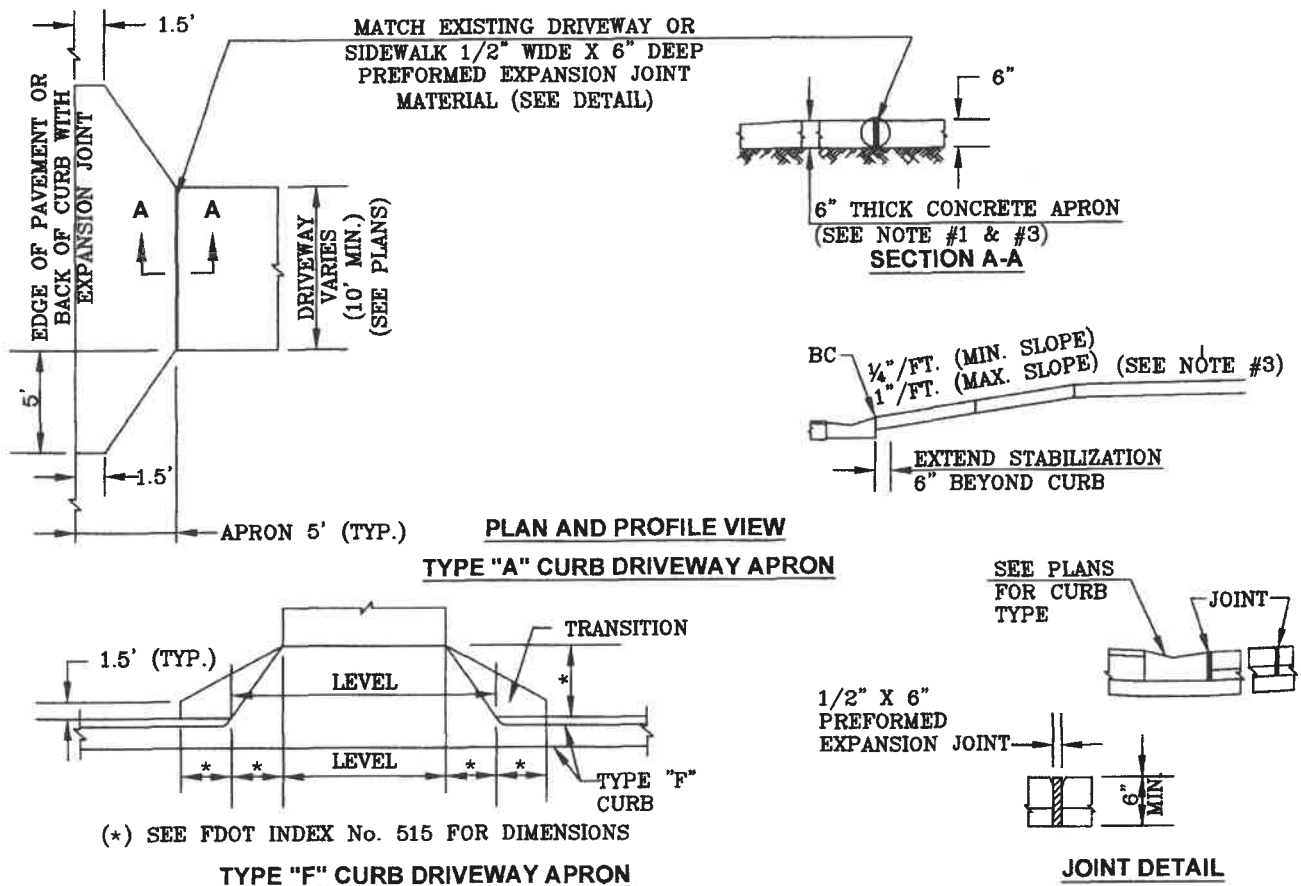
DESCRIPTION:

Curb and Gutter

INDEX NUMBER:
RT-06

NOTES:

1. CONCRETE DRIVEWAY APRONS AND SIDEWALK CROSSINGS SHALL BE CONSTRUCTED OF CONCRETE PAVEMENT (3000 PSI), 6" THICK REINFORCED WITH 6" X 6" #10/#10 WELDED WIRE FABRIC, (2" MINIMUM COVER FROM THE BOTTOM.)
2. FIBER REINFORCED CONCRETE 3000 PSI (MIN.) MAY BE USED IN PLACE OF THE REQUIREMENTS OF NO. 1 ABOVE.
3. CONSTRUCTION OF APRON/DRIVEWAY CROSS SLOPES AND SIDEWALK CROSS SLOPE THROUGH THE DRIVEWAY SHALL COMPLY WITH F.D.O.T. INDEX NO. 515 FOR ADA REQUIREMENTS.
4. REMOVE TREE ROOTS WITHIN 10" OF PROPOSED GRADE.
5. WHEN THERE IS EXISTING SIDEWALK CROSSING THE PROPOSED DRIVEWAY, IT MUST BE REMOVED TO THE NEAREST JOINT BEYOND THE DRIVEWAY.
6. SIDEWALKS ADJACENT TO LOT PROPERTY LINES SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% PER F.D.O.T. INDEX 310.
7. CORNER LOTS INVOLVING HANDICAP RAMPS SHALL BE IN ACCORDANCE WITH F.D.O.T. INDEX 304 FOR SIDEWALK AND RAMP CONSTRUCTION.



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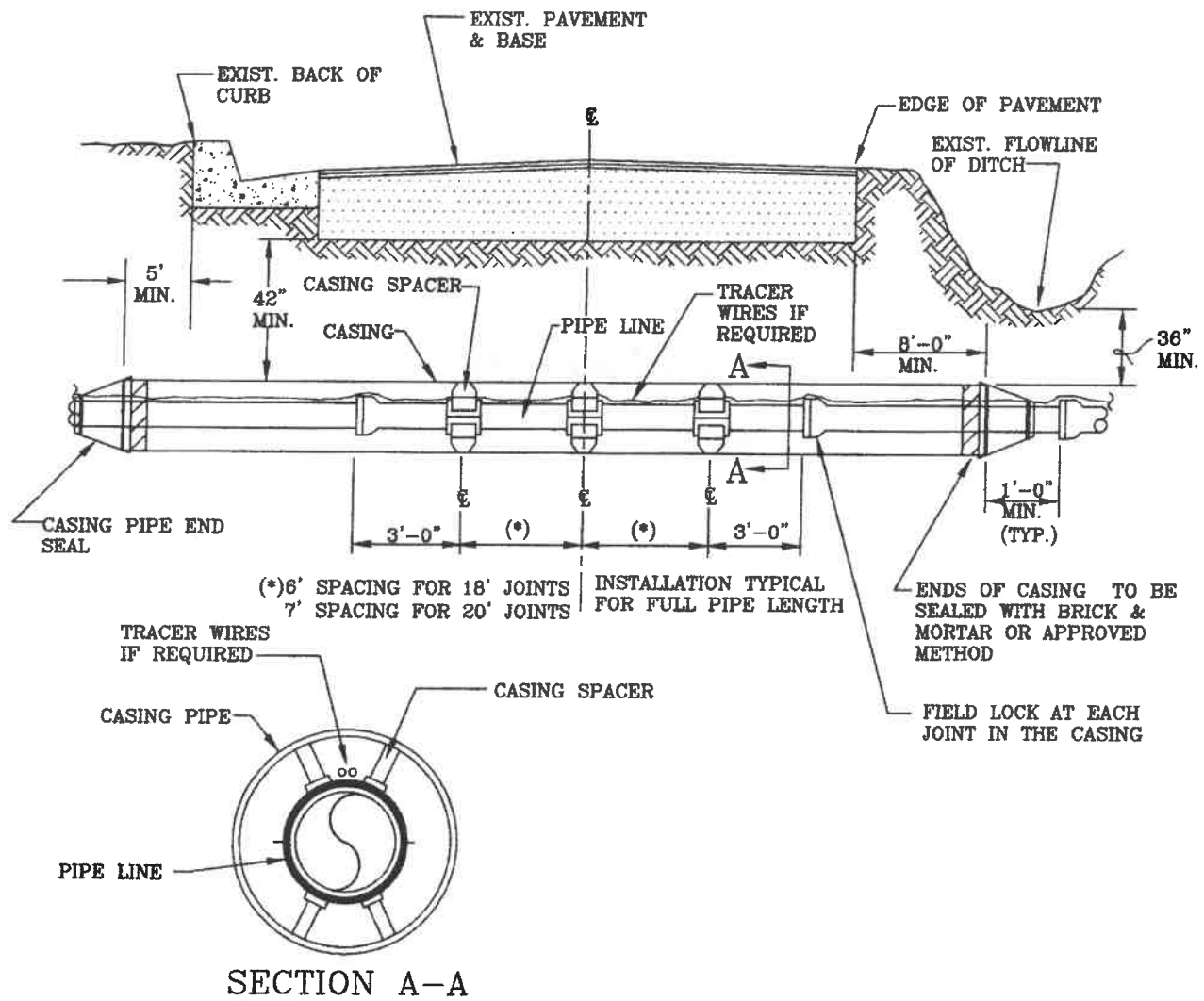
Drive Way

INDEX NUMBER:

RT-07

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST APPROVED MATERIAL SPECIFICATION MANUAL.
2. IF DISTANCE FROM PIPE JOINT TO END OF CASING IS 6' OR LESS, NO SPACER IS REQUIRED.
3. SPACER TO BE INSTALLED OVER POLY WRAP.
4. ALL PIPE IN JACK AND BORE CASING SHALL BE D.I. PIPE WITH ALL JOINTS RESTRAINED.



CARRIER & CASING SIZES									
WATER MAIN	4"	6"	8"	10"	12"	14"	16"	18"	20"
CASING	8"	12"	16"	20"	24"	28"	32"	36"	40"
CASING / WALL THICKNESS	.188	.188	.219	.250	.281	.344	.406	.406	.500



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DRAWING SCALE
 NOT TO SCALE

DESCRIPTION

Jack and Bore
 Under Roadway

INDEX NUMBER:

RT-08



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EXHIBIT 'A-3'

Right-of-Way Permit

**Horizontal Directional
Drilling Guidelines**

**Design, Requirements and
Post-Construction**

DECEMBER 4, 2018

**TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT
DEVELOPER DIRECTIONAL BORE STANDARDS**

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**TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT
DEVELOPER DIRECTIONAL BORE STANDARDS**

1.0 DESIGN / PRECONSTRUCTION REQUIREMENTS

1.1 General

The purpose of this standard is to provide guidelines for use by the development community and others during the design and installation of underground water mains and wastewater force mains using horizontal directional bores integral to the development of commercial, industrial, or subdivision properties.

1.2 References

References for horizontal directional drilling include Mini-Horizontal Directional Drilling Manual (1995), North American Society of Trenchless Technology (NASTT), Chicago, IL; PPI Handbook of Polyethylene Piping (1998), Plastics Pipe Institute, Washington, D.C.; PLEXCO Polyethylene Industrial Piping Systems; Technical Information; Technical Note: Horizontal Directional Drilling (Guided Bore) with PLEXCO Pipe, et al.

1.3 Engineer Responsibilities

The design ENGINEER assumes all responsibility for proper design of the directional bore.

- 1.3.1 The ENGINEER should determine if the soils at the site are suitable for directional drilling based on previous experience with the site soils or a geotechnical investigation.
- 1.3.2 All existing utilities, surface and subsurface structures must be located (in three dimensions) for the design. **To protect HDPE pipe against excessive pulling load, a break away device should always be used at the head of the HDPE pipe. A breakaway device is a mechanical linkage located between the reamer and the pulling eye. "Weak Link" pipe sections (pipe with thinner pipe wall thickness than the product pipe) and/or wire is not acceptable. An acceptable breakaway device is the "Break-Away D. Drill" swivel by Condux International, Inc. or equivalent.**
- 1.3.3 The minimum ground cover over a directionally bored water or wastewater utility line shall be 36 inches. There shall be at least 18 inches vertical clearance when crossing under any existing water main with a wastewater force main.
- 1.3.4 The ENGINEER should limit curvature (within manufacturer's and other applicable guidelines) in any direction to lessen force on the pipe during pullback. Ideally, the directional bore should lie in a vertical plane **passing through the beginning and ending points.**
- 1.3.5 The ENGINEER shall submit, as part of the permits application plans submittal package, design calculations indicating predicted / permissible (maximum safe) pull force, pipe pull rating, and minimum permissible pipe bend radius. Maximum safe pull force shall be shown on the project design drawings **are listed in 1.3.5.1 thru 1.3.5.7.** Additional discussion can be found in Appendix A.

- 1.3.5.1 The pullback force is calculated at the leading end of the pipe behind the pulling head.
- 1.3.5.2 The frictional resistance is highest just prior to movement and decreases with movement. When pullback ceases, frictional forces and drag forces increase due to the thixotropic nature of drilling mud. The mud starts to gel when it is undisturbed.
- 1.3.5.3 Buoyant force pushes the pipe up against the top of the borehole, creating frictional drag between the pipe and the borehole.
- 1.3.5.4 Minimum curvature at the entry and exit pits is limited by the steering capabilities of the boring equipment.
- 1.3.5.5 When the bending radius is too small, the safe pulling strength of HDPE pipe may be significantly reduced by the additional tensile stresses due to curvature.
- 1.3.5.6 All bending stresses due to various curvatures in the boring path are additive and should be subtracted from the safe pull force.
- 1.3.5.7 The “safe” pull-load is time dependent. **The pullback speed should be between 1 to 2 feet per minute.**
- 1.3.6 The ENGINEER must show the directional bore in profile view on the plans, showing the pipe as it should be installed. Maximum pull strength and minimum radius of curvature shall be listed. All existing utilities shall be shown on the plans.
- 1.3.7 The ENGINEER shall provide signed and sealed “As-Built” drawings of the constructed bore path, including any abandoned in place bores. The ENGINEER shall certify that the pipe was installed within acceptable limits per the pipe specifications. This shall include the exact installation location for both horizontal and profile views of the bore(s).

1.4 Contractor Responsibilities

- 1.4.1 The CONTRACTOR shall supply all labor, supervision, tools and equipment, and materials necessary to install carrier pipe by directional bore method for potable water, wastewater, or **reclaimed water** systems. Installation of the carrier pipe system includes the installation of water mains or wastewater force mains and/or any other devices or materials deemed necessary for the respective systems. For TOWN projects, materials may be supplied by the Town. All additional costs incurred by the Town of R. B. shall be passed on to the contractor for connection of HDPE pipe to required joints, fittings, or valves; if the pipe is “**ovalized i.e. “ring deflection”** or “out-of-round” by more than 5% (five percent) and can not be joined using standard connection procedures or methods. If the carrier pipe is supplied by the TOWN and does not meet above standards, all corrective action shall be at cost to the TOWN.
- 1.4.2 The CONTRACTOR shall provide experienced operators to perform directional boring. The operator shall have performed at least three directional bores of similar pipe diameter and bore length.

- 1.4.3 The CONTRACTOR shall be fully responsible for placement of the pipe per the ENGINEER's specifications. See Paragraph 2.2.8 for tolerances.
- 1.4.4 The CONTRACTOR shall supply experienced persons who have received proper training in the use of the fusion equipment according to the recommendations of the pipe manufacturer and fusion equipment supplier to perform thermal fusion of the specific HDPE pipe to be used.
- 1.4.5 The contractor shall cleanup the work area and properly remove and dispose of all boring materials.**

1.5 Equipment

- 1.5.1 The directional drilling equipment shall consist of a directional-drilling rig of sufficient capacity to perform the bore and pull back the pipe.
- 1.5.2 The steerable, directional-boring equipment shall produce a stable fluid lined tunnel with a minimum burial depth of 36-inches for the carrier pipe installation.
- 1.5.3 The tunneling equipment shall employ a fluid cutting technique. The soil shall be cut by small diameter, high-pressure jets of drilling fluid. The jets shall cut the soil in advance of the boring tool, impregnating and lining the tunnel wall with drilling fluid. The drilling fluid shall be inert and pose no environmental risk, such as bentonite or a polymer-surfactant mixture producing a slurry of proper consistency.
- 1.5.4 The hydraulic power system shall be self-contained and free of leaks, with sufficient pressure and volume to power the drilling operation.
- 1.5.5 Calibration of the electronic detection system shall be verified by uncovering the tool (head) at the first ten (10) foot point.
- 1.5.6 The boring tool (head) shall be remotely steerable by means of an electronic detection system. The tool (head) location shall be monitored in three dimensions and logged every 10 feet from the drilling rig. The boring tool shall pull the carrier pipe through the fluid lined tunnel.
- 1.5.7 The rig shall have means to monitor and record the maximum pullback force during the pullback operation. The pulling strength of the boring equipment shall not exceed the HDPE pipe safety pull strength as per the manufacturer's recommendation.
- 1.5.8 The butt fusion machine used to join sections of HDPE pipe shall have controls and gauges for setting pressures and temperatures used for facing, heating, and fusing.
 - 1.5.8.1 Facing should be conducted at a pressure that produces properly faced pipe ends.
 - 1.5.8.2 Heating pressure should be set so that the pipe ends maintain contact against the heater, but are not forced against the heater (zero contact pressure).
 - 1.5.8.3 Fusing pressure shall be as recommended by the pipe manufacturer and fusion equipment supplier.

1.5.8.4 Heater surfaces must be clean and free of contaminants such as dirt, oil, grease, and melted or charred plastic. To clean the heater, only wooden implements and clean, dry, lint-free non-synthetic cloths should be used.

1.5.8.5 The heater should be checked periodically for uniform surface temperature using a surface pyrometer.

1.6 Directional Bore Pipe

1.6.1 Pipe shall be High Density Polyethylene (HDPE) as per AWWA C906.

1.6.2 Carrier: HDPE pipe shall be DR 11, working pressure rating of 160 psi, **4 to 24 inches**. The following are approved pipe manufacturers:

- Rinker Polypipe (USA)
- JM Pipe (USA)
- Charter Plastics (USA)
- CP Chem Performance Pipe (USA)

1.6.3 Material for pipes to be used for potable water application shall be approved by the National Sanitation Foundation (NSF).

1.6.3.1 All material must be inspected by Water Utilities Engineering 2 (two) full working days before the bore begins.

1.6.3.2 All pipe and fittings, sizes 4 inch and larger shall meet the requirements of AWWA Standard C 906-90 (or most recent revision).

1.6.3.3 All pipe and fittings shall be ductile iron pipe size.

1.6.3.4 All pipe and fittings shall meet the requirements of ANSI NSF Standard 61.

1.6.3.5 All pipe and fittings shall be made of materials conforming to polyethylene code designation PE 3408.

1.6.3.6 Standard dimension ratio shall be DR11.

1.6.4 Color Coding: The piping shall be permanently coded to provide service identification. Stripes along the entire outside length of the pipe, 120 degrees apart, shall be made by co-extrusion or impregnation in accordance with the following schedule. Fully colored pipe co-extruded from permanently pigmented HDPE is also acceptable.

<u>SERVICE</u>	<u>STRIPED PIPE</u>	<u>SOLID-COLORED PIPE</u>
Potable Water	Blue stripes	Blue
Reclaimed Water	Purple stripes	Purple
Wastewater	Green stripes	Green

- 1.6.5 Markings on the pipe shall include the following:
- Nominal size and OD base.
 - Standard material code designation.
 - Dimension.
 - Pressure class.
 - AWWA designation (AWWA C906).
 - Material test category of pipe.
- 1.7 Drilling Fluid (“MUD”)
- 1) All drilling fluid must be homogenous in nature
 - 2) All drilling fluid must have a pH of 8.5 to 10.0
 - 3) “Mud” viscosity must meet minimum viscosity as set by the manufacturer for soil conditions expected to be encountered
 - 4) Contractor shall have appropriate additives for drilling fluid available for different soil conditions (clay, sand, silt, etc.) that may be encountered.
- 1.8 Tracer Wire
- 1.8.1 All piping shall be installed with a continuous, insulated, solid #10 gauge copper wire for water main, force main, or reclaimed location purposes by means of an electronic line tracer.
- 1.8.2 The wire insulation shall be solid color in accordance with the coding described in 1.6.4 above. Blue coated (for water mains), or purple (for reclaimed water), or green coated (for wastewater), 2 (two) **wires** must be taped along all pipes.
- 1.8.3 Upon completion of the directional bore, the CONTRACTOR shall demonstrate to the TOWN that the wire is continuous and unbroken through the entire run of the pipe by providing full signal conductivity (including splices) when energizing for the entire run in the presence of the INSPECTOR. If the wire is broken, the CONTRACTOR shall repair or replace it. See Paragraph 2.2.12.
- 1.9 Fittings, Restrainers, and Valves
- 1.9.1 Pipe flange joints shall be made using a flange adapter which is butt fused to the HDPE pipe.
- 1.9.1.1 A back-up ring shall be fitted behind the flange adapter sealing surface flange for bolting to the mating flange. Standard back-up rings shall be AWWA C207 Class D for 160 psi and lower pressure ratings.
- 1.9.1.2 One edge of the back-up ring must be chamfered to fit up against the back of the sealing surface flange.
- 1.9.2 Mechanical joints to polyethylene pipe shall be fully constrained by compressing the pipe OD against a rigid tube or stiffener in the pipe bore.
- 1.9.2.1 The stiffener shall be stainless steel.

1.9.2.2 Approved joint restraining devices are Mega-Lug and Mechanical Joint Restrainer (MJR).

1.9.3 Valves

1.9.3.1 All directional bores shall have a valve installed at each end of the bore pipe. The size of valves shall be in accordance with the size of the bore pipe.

1.9.3.2 All valves shall meet standards set forth by the latest edition of the Pinellas County, Water Utilities Department Water Operations Policies, Standards, & Specifications for Subdivisions and Commercial Development.

1.10 Maintenance of Traffic

1.10.1 The maintenance of traffic, in accordance with the governing right-of-way authority and the Florida Department of Transportation (FDOT) Policies and Procedures, shall be the responsibility of the CONTRACTOR.

1.10.2 If the CONTRACTOR has the capability within his organization; he shall provide the necessary personnel and equipment for maintenance of traffic. Persons participating in maintenance of traffic operations must be FDOT qualified and copies of their certificates verifying their qualifications shall be provided to Water Utilities Engineering prior to start of the directional work.

1.10.3 If the CONTRACTOR is unable to provide the required maintenance of traffic; he shall subcontract the work to supply the necessary personnel and equipment. The use of a subcontractor's personnel and equipment shall in no way transfer the responsibility for the maintenance of traffic from the CONTRACTOR.

2.0 CONSTRUCTION REQUIREMENTS

2.1 General

2.1.1 All directional bore operations shall be contained within right-of-way and / or easements shown on the DRAWINGS.

2.1.2 Work shall not start until the CONTRACTOR has all necessary permits from the appropriate governing regulatory agencies, including the Town of Redington Beach Public Works Department, and not until Public Works Department has been given 2 (two) working days prior notification to inspect construction materials. Any material may be rejected if out of specification or damaged (i.e. out-of-round, deep cuts, etc.).

2.1.3 CONTRACTOR shall not begin drilling operation until the INSPECTOR is present. The INSPECTOR must be present during the entire boring operation once the ground is penetrated.

- 2.1.4 The CONTRACTOR is to schedule the directional bore such that the INSPECTOR is on site and that the bore is completed before 4:00PM. Directional bores shall not start after 1:00PM or subject to permit conditions unless approved by Town of Redington Beach Public Works Department and permitting agency.

2.2 Contractor Responsibilities

- 2.2.1 The CONTRACTOR shall provide the following materials and services for directional bore unless otherwise specified by OWNER / DEVELOPER:

- Traffic control.
- Tracer wire for carrier pipe **per Pinellas County Utility Standards and Specifications**
- Site preparation and excavation.
- Dewatering – Groundwater Pump or Well Point System as needed.
- Sheet piling and shoring, as necessary.
- All fusion welding.
- Preliminary site restoration (fill open pits, grading).
- Site clean up including removal and proper disposal of all waste materials and drilling fluid.
- Must have a vacuum truck on job site for proper clean up of drilling fluid. This will be required as the conditions warrant or at the direction of the Town.
- All HDPE fittings, couplings, and carrier pipe (unless otherwise specified).
- Final site restoration (sod, seed, mulch, concrete/ asphalt repair).
- Required Right-Of-Way Permits.

- 2.2.2 The CONTRACTOR shall record data on the bore log (see section 2.2.3) and shall also ensure the following items are monitored and controlled:

- Calibrate locator/tracking system
- Field verify calibration by field measurement of actual location of first rod
- Ensure that the flow of bentonite is continuous
- Ensure pulling pressure does not exceed pipe manufacturer's specifications
- Fusing of pipe is within pipe manufacturer's specifications
- Cool down time is calculated and complied with
- Pipe is fused prior to start of **all** bores.

- 2.2.3 The CONTRACTOR shall record location and depth measurements every ten (10) feet over the course of the bore and provide that data to the TOWN. Data collected by the Town inspector does not relieve the Contractor from the responsibility of recording his own data. The CONTRACTOR shall log all necessary data from the locator / tracking system:

- Position.
- Roll Angle.
- Tilt Angle.
- Depth – Every ten (10) feet.
- Temperature of Data Transmitter.
- Remaining Battery Life.
- Pull Back Force (Maximum pull back force shall be recorded).
- Drilling Fluid Pressure

- 2.2.5 An INSPECTOR for the TOWN shall witness and verify the CONTRACTOR'S logging of pertinent data. The INSPECTOR may log his own data in the Department's own Directional Bore Log sheet for the Town's use.
- 2.2.6 CONTRACTOR shall notify all involved agencies prior to start of construction. The CONTRACTOR is responsible for verifying that all permits are current and not expired. The CONTRACTOR shall notify the ENGINEER of Record and the TOWN if expired.
- 2.2.7 The CONTRACTOR shall call "Sunshine State One-Call" (phone number: 800-432-4770) 2 full days prior to performing any excavation. The CONTRACTOR shall confirm the location of utilities before starting the directional bore. This shall be done by hand digging within the tolerance zone of marked utilities.
- 2.2.8 The CONTRACTOR shall perform directional bore in accordance with the approved project DRAWINGS. In no case shall the bore extend into private property unless an easement is provided prior to start of construction. Vertical tolerances shall be plus or minus 1 foot of elevations shown on drawings. Horizontal tolerances shall be plus or minus 1 foot of alignment shown in drawings. These tolerances shall be met unless required separations for other utilities must be met and puts the bore in conflict. Failure to meet tolerances, if not pre-approved by ENGINEER, may be grounds for rejecting the bore. The CONTRACTOR may, at the discretion of the ENGINEER, be required to abandon the bore and re-drill a new one at CONTRACTOR's own expense.
- 2.2.9 The CONTRACTOR shall provide all structures, safety equipment, and professional services required for the health and safety of the general public and of personnel involved in directional boring work in accordance with the requirements of the Federal, State, and Local Authorities. This includes proof of construction personnel certificates of trench safety training at the time of construction.
- 2.2.10 The CONTRACTOR shall take all measures necessary to protect surrounding public and private property, adjacent buildings, roads, drives, sidewalks, drains, sewers, utilities, trees, structures, and appurtenances from damage due to directional bore work.
- 2.2.11 The CONTRACTOR shall exercise due care at all times and shall not apply more than the safe pull force to the carrier pipe recommended by the ENGINEER. **This shall be accomplished using an approved breakaway connector between the reamer and the pulling eye.**
- 2.2.12 The CONTRACTOR shall install a blue coated tracer wire on all water carrier pipe and green coated tracer wire on all wastewater force main carrier pipe and purple for reclaimed water carrier pipe. The CONTRACTOR will be responsible to provide a tracer wire that tests positive for continuity the entire length of the bore prior to acceptance by the INSPECTOR.

2.2.13 The CONTRACTOR shall be fully responsible for all steerable, fluid lined directional boring operation. Any noticeable surface defects resulting from operation of this boring equipment shall be repaired by the CONTRACTOR at his expense. The CONTRACTOR is recommended to take preconstruction videos of the construction site to avoid unwarranted claims for damages resulting from the construction.

2.2.14 The CONTRACTOR shall meet all TOWN insurance requirements, as defined by the Town's Public Works Department, when working in a right-of-way, using a right-of-way use permit.

2.3 Drilling Requirements

2.3.1 The horizontal alignment shall be as shown on the drawings, plus or minus 1 foot. The vertical alignment shall be as shown on the drawings, plus or minus 1 foot. If the CONTRACTOR cannot meet these tolerances for whatever reason, he shall confer with the ENGINEER prior to the start of the bore and the ENGINEER shall approve any changes.

2.3.2 The pipe shall have a minimum cover of 36 inches.

2.3.3 Compound curvatures should be minimized as the pulling **force** of the pipe may be significantly **increased** by the additional tensile stresses due to curvatures. This is limited by the maximum deflection as set forth by the HDPE pipe manufacturer or AWWA Standards, whichever is more stringent.

2.3.4 The entry angle should be 12° to 14° ideally (not to exceed 15°). Exit angle should be 6° to 12° (maximum) to facilitate the pullback operation **and minimize capstan effect tensile stresses on the pipe.**

2.3.5 Erosion and sedimentation control measures and on-site containers shall be installed to prevent drilling mud from spilling out of entry and/or exit pits.

2.3.6 Drilling mud shall be disposed of off-site in accordance with applicable local, State and Federal requirements and/or permit conditions.

2.3.7 Pilot holes shall be drilled on bore path with no deviation greater than plus or minus 1 foot horizontally or vertically from the design over a length of 100 feet. In the event that the allowable deviation is exceeded, the CONTRACTOR shall notify the ENGINEER/TOWN, and the TOWN may require the ENGINEER/DEVELOPER/CONTRACTOR to pull back and re-drill from a location along the bore path before the deviation. Contractor shall use appropriate reamer type (winged, fluted, barrel, etc) for expected soil conditions.

2.3.8 Upon successful completion of the pilot hole, the borehole shall be reamed to a minimum of 25 percent greater than the outside diameter of the pipe being installed. For bores with more than two radii of curvature (entrance and exit), the borehole should be reamed up to 50 percent larger than the outside diameter of the carrier pipe. Pre-reaming may be necessary dependent on size of material to be pulled.

All pipe to be pulled (6" and larger) shall be pre-reamed prior to pullback.

Additional passes for pre-reaming may be required for larger pipe. Incremental increases of 4"-6" shall be used as needed until appropriate bore hole size has been achieved.

Pre-reaming does not constitute pull back of product with final size reamer head attached. Pre-reaming must be accomplished with no product attached to the reamer head on all bore pipe 6" and larger. The bore product may be pulled back on final pass of pre-reaming, **if** the reamer head is no larger than 6" from the previous pass.

All bore pipe to be pulled back on final pass shall have a "breakaway" device installed. The breakaway limit shall be per Appendix B of this publication. These breakaway device limits shall be limited to DR 11 pipe only. These limits are not to be used with other types of pipes or materials.

2.3.9 The CONTRACTOR shall not attempt to ream at a rate greater than the drilling equipment and mud system are designed to safely handle. **Normal rate of drilling should be between one to two feet per minute.**

2.3.10 In the event of a drilling hole blowout, the CONTRACTOR shall be responsible for restoring to original condition any damaged property and cleaning up the environment in the vicinity of the blowout.

2.4 Pipe Installation

2.4.1 After reaming the borehole to the required diameter, the pipe shall be pulled through the hole. In front of the pipe shall be a swivel and barrel reamer to compact the borehole walls.

2.4.2 Once pullback operations have commenced, the operation shall continue without interruption until the pipe is completely pulled into the borehole. The frictional resistance is the highest just prior to movement and decreases with movement. When pullback ceases, frictional forces and drag forces increase due to the thixotropic nature of drilling mud. The mud starts to gel when it is undisturbed. Therefore, **PULLBACK SHALL NEVER BE STOPPED, EXCEPT FOR DRILLING ROD REMOVAL, UNTIL THE PIPE IS COMPLETELY PULLED INTO ITS PERMANENT POSITION.**

2.4.3 Adequate lengths of pipe shall be provided at both the launching and receiving ends to facilitate service connection assemblies.

2.4.4 After pullback, pipe may take several hours to recover from the axial strain. When pulled from the reamed borehole, the pull-nose should be pulled out 3-4 percent longer than the total length of the pull to avoid having the pull-nose sucked back below the borehole exit level due to stretch recovery and thermal contraction **to an** equilibrium temperature.

2.4.5 The pipe entry and exit area shall be graded as needed (by contractor) to provide support for the pipe and to allow free movement into the borehole. The pipe shall be guided into the borehole to avoid deformation of, or damage to, the pipe.

- 2.4.6 The pipe shall be installed in a manner that does not cause upheaval, settlement, cracking, and movement or distortion of surface features. Any damages caused by the CONTRACTOR's operations shall be corrected by the CONTRACTOR.
- 2.4.7 In the event that unexpected subsurface conditions impeding drilling operations are encountered, the procedure shall be stopped and not continued until the TOWN has been consulted. The pipe **which has already been pulled into the hole** shall be pulled back through the borehole using **slings and whatever equipment is available on site to avoid damage to the pipe and having the drilling mud set up around the pipe.**
- 2.4.8 If the final grade of the finished bore is not satisfactory to the TOWN or any other jurisdictional entity, the pipe shall be abandoned, **fully** pressure grouted in place in accordance with the jurisdictional entity, and an alternate installation shall be made. The abandoned pipe shall be properly shown on "as-built" drawings to be submitted following conclusion of the construction work.
- 2.4.9 The INSPECTOR shall inspect the installed pipe for roundness and / or damage. Evidence of over-pulling or significant surface scratching shall be brought to the attention of the ENGINEER and the TOWN. Deformations of more than 10 percent may be grounds to abandon the bore and have the CONTRACTOR re-drill another line.
- 2.5 Butt Fusion Procedure
- 2.5.1 Fusion welds shall be performed by an experienced technician that has been properly trained to meet the pipe manufacturer's procedures. All welds shall meet the pipe manufacturer's recommendations.
- 2.5.2 As the pipe ends are melted against the heater during the heating period, the molten plastic will swell and form **small** melt beads around the pipe ends. The melt beads should be the same size on both pipe ends, and uniformly sized all the way around.
- 2.5.3 After **pre-heating** has been completed, the ends should be separated just enough to remove the heater, observed for uniformity of the beads and quickly (within three seconds) brought together with the recommended **fusion** pressure.
- 2.5.3.1 If melted plastic sticks to heater, the two ends should not be joined. The ends should be allowed to cool and the procedure started over.
- 2.5.3.2 **Excessive pressure** should not be used as this will squeeze too much melt out of the fusion area and result in a weakened joint. **The resulting bead should be approximately twice as wide as it is tall and the "V" between beads should be approximately half as deep as of the height of the beads.**
- 2.5.4 The CONTRACTOR may do a preliminary pressure test on the completed string of pipe prior to installation. A pressure test shall be required on the completed directional bore prior to final acceptance.

2.6 Connecting Two Adjoining Sections of Directionally Bored Pipe

- 2.6.1 If the overall length of the required utility installation can not be safely pulled using one directional bore, then the CONTRACTOR shall be required to make more than one pull to accomplish the installation.
- 2.6.2 Where two adjacent pulls meet; the CONTRACTOR shall dig a pit and join the two sections together at the elevation of the two segments as if it were a continuous pull-in.
- 2.6.3 The two sections of HDPE shall be joined together using **an** electrofusion **coupling** per the manufacturer's recommendations.

2.7 Qualifications for Rejection of Directional Bore

- 2.7.1 If Town of Redington Beach Utilities Line Inspector is not present during the entire bore.
- 2.7.2 If the installed "Breakaway" devices should fail during pull back.
- 2.7.3 If the drilling fluid is "lost" during the pull back of the product and can not be regained within the required timeframe of the manufacturer or if more than a reasonable amount of fluid is used to fill an unknown void and flow can not be regained. No pipe shall be pulled without visible flow of drilling fluid.
- 2.7.4 If the pipe shall fail a hydraulic pressure test as specified by the manufacturer.
- 2.7.5 If at any time when the product is pulled back and any exposed areas have a greater than allowable "gouging" or visible marring of the pipe.
- 2.7.6 If the vertical and horizontal limits are not within tolerances, this may be cause for rejection of bore.
- 2.7.7 Any other defect in material or workmanship which would affect the quality, performance, or installation life of the installed pipeline.

3.0 POST-CONSTRUCTION

3.1 General

- 3.1.1 The as-built variance from the specified bore path shall not exceed plus or minus 1 foot in the vertical plane and plus or minus 1 foot in the horizontal plane.
- 3.1.2 The CONTRACTOR shall be considered as having completed the requirements of the directional bore when he has successfully completed the work, including pressure testing, to the satisfaction of the DEVELOPER/OWNER's ENGINEER and the TOWN INSPECTOR.
- 3.1.3 The completed HDPE water main or force main shall be pressure tested at 150 psig for two hours for final acceptance and the pressure shall not fall below 145 psig during the test period.

3.1.4 Pressure testing shall occur after installation and shall be pressured to 160 psig, adding water as needed to maintain pressure. When the pressure stabilizes, the pressure shall be maintained for three hours. After three hours, the pressure should be reduced to 150 psig and tested at 150 psig for two hours.

3.2 As-Builts

When the directional bore is completed, the CONTRACTOR shall provide data log sheets and marked up as built drawings to the INSPECTOR, and the DEVELOPER/OWNER's ENGINEER, as required.

**TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT
DEVELOPER DIRECTIONAL BORE STANDARDS**

**APPENDIX A
DIRECTIONAL BORE DESIGN FACTORS**

Calculations for computing the maximum safe pullback force should be submitted with the project design package.

The following equations from the PLEXCO Polyethylene Industrial Piping Systems; "Technical Information; Technical Note: Horizontal Directional Drilling (Guided Bore) with PLEXCO Pipe", are presented for estimating some, but not all of the factors to be considered in designing a successful directional bore. They are based upon approximations and are for "ideal" conditions. They are by no means all of the considerations to be used in designing a directional bore.

The designer is totally responsible for the design of the directional bore and use of the following shall not transfer any of that responsibility to the TOWN. The TOWN makes no claim to the accuracy or completeness of the equations.

- (a) **PULLBACK FORCE:** The pullback force is calculated at the leading end of the pipe behind the pulling head. For pipe pulled in straight level bores, the frictional resistance or required pulling force, F_p , is approximated by:
 $F_p = \mu \times w_b \times L$, Where μ is the coefficient of friction between pipe and ground; w_b is the net downward or upward force on the pipe (lb/ft); and L is length (ft).
- (b) **FRICTIONAL RESISTANCE OF DRILLING MUD:** The frictional resistance is highest just prior to movement and decreases with movement. When pullback ceases, frictional forces and drag forces increase due to the thixotropic nature of drilling mud. The mud starts to gel when it is undisturbed. Therefore, pullback should never be stopped, except for drilling rod removal, until the pipe is completely pulled into its permanent position.
- (c) **BOUYANT FORCE:** The pullback force will depend on whether the pipe is full or deliberately weighted to reduce buoyancy. Buoyant force pushes the pipe up against the top of the borehole, creating frictional drag between the pipe and the borehole. The buoyant weight of the pipe is, $F_b = (\gamma_b \pi D^2)/576 - w_a$. Where: D = pipe outside diameter, γ_b = specific weight of the mud slurry (lb/ft³), and w_a = weight of empty pipe.
- (d) **MINIMUM RADIUS OF CURVATURE:** Drill path curvature, at the entry and exit pits, is limited by the steering capabilities of the boring equipment. Drilling rod typically has a recommended bend radius of $1200 \times D_{ROD}$, where D_{ROD} is the nominal rod diameter. When the bending radius is around $150 \times D_{PIPE}$ or less, the safe pulling strength of PE pipe may be significantly reduced by the additional tensile stresses due to curvature.
- (e) **CAPSTAN EFFECT:** For pipe pulled around a curve (vertical or horizontal) creating an angle, θ (in radians), the capstan effect, $F_c = e^{\mu\theta}(\mu w_b L)$
Where: μ = coefficient of friction between pipe and slurry or pipe and ground,
 w_b = net downward (or upward) force on pipe (lb/ft),
 e = natural logarithm base ($e = 2.71828$), and
 L = length (ft).
- (f) **SAFE PULL FORCE:** The safe pull stress, σ_{SP} , may be calculated by subtracting the bending stress due to curvature from the allowable tensile stress:
$$\sigma_{SP} = \sigma_{allow} - \frac{(E \times D)}{2r}$$

The "safe pull force" can be found by multiplying the safe pull stress by the cross-sectional area of the pipe.

Where:, σ_{allow} = allowable tensile stress (psi), D = outer diameter of pipe (in), DR = Dimension Ratio, and E = time-dependent modulus of elasticity (psi) from tables.

- (g) **NET SAFE PULL FORCE:** All **tensile** stresses due to various curvatures in the boring path are additive and should be subtracted from the safe pull force.
- (h) **TIME DEPENDENCE:** The “safe” pull-load is time dependent. See ASTM F-1804 for safe pullback values for PE pipe, less bending stresses.

For additional sources of information, the designer is referred to the following reference sources:

Mini-Horizontal Directional Drilling Manual (1995), North American Society of Trenchless Technology (NASTT), Chicago, IL

PPI Handbook of Polyethylene Piping (1998), Plastics Pipe Institute, Washington, D.C.

**TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT
DEVELOPER DIRECTIONAL BORE STANDARDS**

**APPENDIX B
DIRECTIONAL BORE GUIDELINES**

Directional Bore – Safe Pull Strength (for DR11, DIP Size HDPE)

Pipe Size (inches)	Safe Pull Strength (lbs)	Max. Breakaway Strength (lbs)	Minimum Bend Radius (in)	Wall Thickness (in)	Maximum Defect Depth
4	7,600	7,500	96	.36	1/16
6	15,800	15,000	138	.55	1/11
8	27,200	27,000	181	.73	5/32
10	41,000	40,000	222	.91	3/16
12	57,900	57,000	264	1.10	1/4

- Schedule the bore with Water Utilities 48 hours (2 working days) prior to boring
- If bore is over 100 linear feet, contractor needs to fuse pipe together the day before
- Contractor needs to physically locate existing utilities, following the 48 hour Sunshine One-Call Guidelines
- Material Inspection: To be done before the bore is scheduled.
- Surface cuts or scratches greater than or equal to maximum defect depth are not acceptable
- Blue stripe or Blue Extruded for Water
- Green stripe or Green Extruded for Sewer
- Purple stripe or Purple Extruded for Reclaimed Water
- #10 gauge solid strand – (2) wires attached to pipe

Performing the bore:

- Set up the bore log
- Calibrate Contractor's locator with actual depth measurement – check the depth of the first rod
- Ream the bore hole
- Check the flow of bentonite – must be continuous
- Check the pulling pressure
- Do not allow operator to exceed safe pull strength
- Mark up drawing with "As-Built" data
- Record pull back pressure
- Fuse DR11 together – minimum 440° F to maximum 460° F
- Cool down time (min/ weld) equals: Pipe Diameter ÷ 2

**TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT
DEVELOPER DIRECTIONAL BORE STANDARDS**

Directional Bore Log

Project Name: _____

Project Number: _____ **Date:** _____

Contractor/Site Representative: _____

Bore Location/Number: _____ **Size/Material:** _____

Starting Location: _____ **Bore Rod Length:** _____

	Total Length Bored	Distance from Start Point	Depth	Pull Back Pressure	Drilling fluid Pressure	Comments
1.						
2.						
3.						
4.						
5.						
6.						
7.						
8.						
9.						
10.						
11.						
12.						
13.						
14.						
15.						
16.						
17.						
18.						
19.						
20.						
21.						
22.						
23.						
24.						

*Lengths to be measured in rod length increments

Inspector/Town Representative: _____ **Contractor:** _____

EXHIBIT 'A - 4'

APPLICATION FOR RIGHT OF WAY UTILIZATION PERMIT TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT

DIRECTIONS: Legibly complete and submit application along with one (1) set of detailed construction plans; a copy of the State Contractor's License, as applicable; proof of general liability and workers compensation insurance which the Town of R.B. shall be designated as Certificate Holder; Engineer's Cost Estimate signed and sealed by a Florida Registered Engineer or copy of the project contract. See conditions on reverse side of this permit.

For assistance contact the Redington Beach Building Department at (727) 202-6825.

APPLICANT INFORMATION

APPLICANT: _____ CONTACT: _____

ADDRESS: _____

TELEPHONE: _____ EMAIL: _____

PROJECT INFORMATION / TYPE OF CONSTRUCTION

ARE YOU A FRANCHISED UTILITY? YES ☐ NO ☐

Engineer's certified estimate OR contract price for the project (If not a franchised utility): \$ _____

LOCATION OF PROPOSED CONSTRUCTION: _____

DESCRIPTION OF PROPOSED CONSTRUCTION: _____

(NOTE: MISSILING, WASHING OR TUNNELING UNDER PUBLIC IMPROVEMENTS ARE NOT ALLOWED.)

PROVIDERS OF EXISTING UTILITIES

WATER _____ ELECTRIC _____

SEWER _____ CATV _____

TELEPHONE _____ OTHER _____

GAS: _____

CONTRACTOR AND/OR OWNER/AUTHORIZED AGENT SIGNATURES

I / WE AGREE THAT THE ABOVE STATEMENTS AND THE INFORMATION, STATEMENTS AND REPRESENTATIONS ON MATERIAL SUBMITTED HEREWITH IS TRUE. I / WE AGREE WITH ALL CONDCTIONS IMPOSED BY THE TOWN OF R.B.

CONTRACTOR SIGNATURE _____ TITLE _____ DATE _____

OWNER /AUTHORIZED AGENT SIGNATURE _____ TITLE _____ DATE _____

OFFICE USE ONLY

APPROVED WITH CONDITIONS ☐ DENIED ☐

PERMIT NUMBER _____ DATE _____ BY _____ DATE _____

EXHIBIT 'A - 4'

TOWN OF REDINGTON BEACH PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT CONDITIONS OF APPROVAL

1. THE ISSUANCE OF THIS PERMIT IS GOVERNED BY AND REGULATED BY THE FOLLOWING:
 - A. THE FLORIDA STATE STATUTES RELATING TO THE USE OF TOWN RIGHT-OF-WAY
 - B. THE FLORIDA ADMINISTRATIVE CODE.
 - C. TOWN CODE OF ORDINANCES AND REGULATIONS.
 - D. ANY FEES ESTABLISHED BY THE TOWN AND ANY ADDITIONAL REQUIREMENTS AND CONDITIONS OF THE TOWN OF REDINGTON BEACH COMMISSION THE TOWN MANAGER OR HIS DESIGNEE.
2. IT IS UNDERSTOOD AND AGREED THAT THE LICENSES AND PRIVILEGES HEREIN SET OUT ARE GRANTED ONLY TO THE EXTENT OF THE TOWN'S RIGHT, TITLE AND INTEREST, IF ANY, IN THE LAND TO BE ENTERED UPON AND USED BY THE PERMITTEE, AND THE PERMITTEE WILL AT ALL TIMES, ASSUME ANY AND ALL RISK OF AND INDEMNIFY, DEFEND, AND HOLD HARMLESS THE TOWN FROM AND AGAINST ANY AND ALL LOSSES, DAMAGES, COSTS AND EXPENSES ARISING IN ANY MANNER WHATSOEVER ON ACCOUNT OF OR IN ANY WAY RESULTING FROM THE EXERCISE BY SAID PERMITTEE OF THE AFORESAID LICENSES AND PRIVILEGES OR OTHERWISE RESULTING FROM THE ACTS OR OMISSIONS OF THE PERMITTEE OR ITS OFFICERS, EMPLOYEES OR AGENTS.
3. IT IS EXPRESSLY AGREED BY THE PERMITTEE THAT THIS PERMIT IS A LICENSE FOR PERMISSIVE USE ONLY AND THAT THE PLACING OF IMPROVEMENTS SUCH AS BUT NOT LIMITED TO, UTILITIES, FACILITIES, ROADWAYS, STRUCTURES OR LANDSCAPING UPON PUBLIC PROPERTY PURSUANT TO THIS PERMIT SHALL NOT OPERATE TO CREATE OR VEST ANY PROPERTY RIGHT WHATSOEVER IN SAID PERMITTEE, CURRENT OWNER/OPERATOR, OR ADJACENT PROPERTY OWNER.
4. THE PERMITTEE AGREES THAT THE CONSTRUCTION AND / OR MAINTENANCE OF IMPROVEMENTS SHALL NOT INTERFERE WITH THE PROPERTY AND RIGHTS OF THE PRIOR OCCUPANT INCLUDING, BUT NOT LIMITED TO, THE TOWN.
5. IN THE EVENT OF RELOCATION, WIDENING, REPAIR, CONSTRUCTION OR RECONSTRUCTION OF PUBLIC ROADWAYS, UTILITIES, FACILITIES OR STRUCTURES UPON REASONABLE NOTICE, THE PERMITTEE SHALL MOVE ITS FACILITIES TO CLEAR SUCH CONSTRUCTION AT NO COST TO THE TOWN, INsofar AS SUCH FACILITIES ARE LOCATED WITH THE PUBLIC RIGHT-OF-WAY.
6. THE PERMITTEE AND THE HOLDER OF THIS PERMIT SHALL TAKE ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO, THE PLACING AND DISPLAYING OF WARNING/CHANNELIZING/REGULATORY SIGNS, SIGNALS, LIGHTS, BARRIERS, CONES, DRUMS, BEACONS, DEVICES, PAVEMENT MARKINGS AND FLAGGERS AS REQUIRED BY THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SHALL ALSO PREVENT ANY OBSTRUCTIONS OR CONDITIONS WHICH ARE OR MAY BECOME DANGEROUS TO THE TRAVELING PUBLIC.
7. EMERGENCY SITUATIONS SHALL BE COORDINATED BY THE PERMITTEE TO THE MAXIMUM EXTENT PRACTICABLE, WITH THE TOWN ENGINEER.
8. ANY WORK THAT COMMENCES WITHOUT THE REQUIRED PERMITS AVAILABLE ON THE JOB SITE, LOCATION OF EXISTING UTILITIES BY THE PERMITTEE, SAFETY MEASURES OR COORDINATION BY THE PERMITTEE RELATIVE TO EMERGENCY SITUATIONS, SHALL BE IMMEDIATELY SUSPENDED UNTIL ALL REQUIREMENTS HAVE BEEN MET AND PENALTY FEES, IF ANY, ARE PAID. THE FEE FOR WORK THAT COMMENCES WITH THE PERMIT SHALL BE NO LESS THAT THE PERMIT FEE FOR EACH OCCURRENCE. ADDITIONALLY, FAILURE TO OBTAIN A RIGHT-OF-WAY UTILIZATION PERMIT MAY RESULT IN A CASE BEING FILED WITH THE CODE ENFORCEMENT BOARD OF THE TOWN OF REDINGTON BEACH, OR OTHER APPROPRIATE ACTIONS IN ACCORDANCE WITH STATE LAW AND TOWN ORDINANCES.
9. PERMITTEE DECLARES THAT PRIOR TO ANY CONSTRUCTION OR EXCAVATION, THE OWNERS OF REAL PROPERTY RELATIVE TO THE USE OF EASEMENTS, OWNERS/OPERATORS OF ALL EXISTING UTILITIES, FACILITIES OR IMPROVEMENTS BOTH UNDERGROUND AND AERIAL, WILL BE PROPERTY NOTIFIED BY THE PERMITTEE AS REQUIRED AND AS NECESSARY IN ACCORDANCE WITH SOUND OPERATING PRACTICES, AND SHALL ALSO INCLUDE AS INFORMATION ON THIS PERMIT, THE REQUIRED GAS PIPELINE /FACILITIES LOCATION REQUEST IDENTIFICATION NUMBER.
10. ALL SITE AND SUBDIVISION APPLICATIONS MUST BE ACCOMPANIED BY A CERTIFIED ENGINEER'S ESTIMATE OF THE COST OF CONSTRUCTION OR A COPY OF THE FULLY EXECUTED FIXED CONTRACT. IN THE EVENT ACTUAL CONSTRUCTION COST EXCEEDS THE ESTIMATE OR THE CONTRACT PRICE IS NOT FIXED, PERMITTEE AGREES TO SUBMIT DOCUMENTATION OF ACTUAL CONSTRUCTION COSTS AND PAY THE REQUIRED FEES. ESTIMATE/CONTRACT COSTS SUBMITTED MUST BE IN FORM REQUIRED BY THE TOWN.
11. PERMITTEE AGREES TO SUBMIT THREE (3) SETS OF AS-BUILT ENGINEERING PLANS DETAILING THE LOCATION OF ALL CONSTRUCTED IMPROVEMENTS IN ACCORDANCE WITH TOWN REQUIREMENTS.
12. PRIOR TO ANY CONSTRUCTION APPLICANT AGREES TO OBTAIN ALL REQUIRED APPROVALS, AGREEMENTS AND/OR PERMITS RELATIVE TO THE TYPE AND LOCATION OF THE PROPOSED CONSTRUCTION FROM ALL FEDERAL STATE, COUNTY, TOWN REAL PROPERTY OWNER AND ANY OTHER REGULATORY AGENCY OR DEPARTMENT.

I/WE AGREE WITH ALL CONDITIONS IMPOSED BY TOWN OF REDINGTON BEACH STATED HEREIN ABOVE, OR ON CONSTRUCTION DRAWINGS.

CONTRACTOR SIGNATURE

TITLE

DATE

OWNER /AUTHORIZED AGENT SIGNATURE

TITLE

DATE

TOWN OF REDINGTON BEACH
RESOLUTION 2019-02

EXHIBIT B

FEE SCHEDULE
CHAPTERS 19 AND 19.5, TOWN CODE

A.	RIGHT-OF-WAY UTILIZATION PERMIT	Minor Project	Major Project
	Town of Redington Beach	\$0.00	\$0.00
	Pinellas County	\$0.00	\$0.00
	Cable TV Franchisee	\$125.00	\$200.00
	Electric Power Franchisee	\$125.00	\$200.00
	Natural Gas Franchisee	\$125.00	\$200.00
	Telephone Franchisee	\$125.00	\$200.00
	Property Owner/Occupants, Contractors	\$125.00	\$200.00

Includes one pre-construction inspection and one final inspection. If re- inspections are required, the fee for the first re-inspection is \$50.00, the fee for the second re-inspection is \$75.00 and the fee for the third and subsequent re-inspections in \$100.00.

B. DRIVEWAY CONNECTION PERMIT

New/relocated driveway: \$52.00, (includes one final inspection. If re- inspections are required, the fee for the first re-inspection is \$50.00, the fee for the second re-inspection is \$75.00 and the fee for the third and subsequent re-inspections in \$100.00.)

Driveway Repairs: \$102.00, (includes one pre-construction inspection and one final inspection. If re- inspections are required, the fee for the first re-inspection is \$50.00, the fee for the second re-inspection is \$75.00 and the fee for the third and subsequent re-inspections in \$100.00.)



Alpha Foundation Specialists-Corporate Office
P.O. Box 13469 Tallahassee, FL 32317
Contact: Chris Deason
Cell:
Fax: 850-671-1313
www.alphafoundations.com

SUBMITTED TO:

BID SUMMARY

Project Name: City of Redington Beach - Public Park

Project Location: 105 164th Ave. Redington Beach, FL 33708

Bid Date: September 11, 2018

BID AMOUNT

\$2,648.40

PRODUCTS

PolyLEVEL

(90) Pounds of PL250H - PolyLEVEL two-part high density (2.5lb) polyurethane foam system

INSTALLATION

PolyLEVEL

- Layout and mark injection locations, drill 5/8" holes through slab and install injection ports.
- Inject PolyLEVEL material at rates necessary to fill voids, stabilize and lift slabs as necessary.
- Remove injection ports and fill access holes with suitable grout material, and clean up work area.
- Monitor slab movement during installation to ensure slab stabilization and accurate lifting.
- A production schedule of approximately 1 day(s). However, unforeseen conditions such as inclement weather, site access issues, acts of God, etc, may affect the project schedule.

QUALIFICATIONS

PolyLEVEL

- A pumping unit capable of injecting high density polyurethane material beneath the slab will be utilized. The pumping unit will be capable of controlling the rate of flow of material as required to lift the slabs in a gradual and controlled manner.
- The pumping unit will be equipped with a stroke counter that determines pounds of material used.

EXCLUSIONS

- Damage to underground utilities or mechanical and electrical ductwork/conduits.
- Any excavation and/or disposal of excavated materials.
- Additional insurance coverage beyond Alpha Foundations, Inc.'s standard coverage.

Alpha Foundation Specialists-Corporate Office

SIGNATURE: _____

DATE: _____

Acceptance of Proposal - The prices proposed, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. We jointly and severally agree to pay you upon completion of the job, and will further pay your service charge of 1-1/3% per month (16% annum) if our account is 30 or more days past due, and your attorney's fees and costs to collect or enforce this contract. **My signature indicates that I accept the terms of this Proposal.

SIGNATURE: _____

DATE: _____



JAN 08 2019

TOWN OF REDINGTON BEACH, FLORIDA

APPLICATION FOR APPOINTMENT TO BOARD OF COMMISSIONERS, TOWN BOARD OR TOWN COMMITTEE

NAME:

Joseph FLEISH

ADDRESS:

511- 161st AVE

, Redington Beach, FL 33708

HOME PHONE:

-

CELL PHONE:

248-425-0096

OFFICE PHONE:

-

OTHER PHONE:

-

SEEKING APPOINTMENT TO (Check Appropriate Choice):

☐ Board of Commissioners ☐ Committee - Specify:

☐ Board - Specify

Regular Member

☐ Alternate Member

Board of Adjustment

EDUCATIONAL BACKGROUND:

College:

Wayne St. Univ

Location:

Detroit MI

Major:

EDUC. Degree: MS
VOCATIONAL

College:

Wayne St. Univ

Location:

DETROIT MI

Major:

BUS. Degree: BS

College:

Location:

Major:

Degree:

EMPLOYMENT:

Current Employment:

Employer: _____ Industry: _____
Address: _____ City: _____ State: _____ Zip: _____
Position: _____ How Long: _____
Employment Reference: _____ Phone: _____

Prior Employment:

Employer: Self Empl. Industry: Construction / Education
Address: _____ City: _____ State: _____ Zip: _____
Position: _____ How Long: _____
Employment Reference: _____ Phone: _____

Why would you like to be considered as a candidate for service as noted in this Application?

To Continue my contributions to the Redington Beach-
Background: over 30 years in Building Trades/Construction
on board previously.

Signature _____

Date: 1-4-2019

For Office Use Only

Date Considered by Board of Commissioners: _____

Appointed to (Specify Board, Committee, etc.): _____

Date of Appointment: _____ For Term: _____

Term Expires on: _____