

Agenda

Naples City Planning and Zoning Commission

July 20, 2023 at 7:30 p.m.
Naples City Council Room
1420 East 2850 South
Naples, Utah 84078

THIS IS A REGULARLY SCHEDULED PLANNING AND LAND USE MEETING

OPENING CEREMONIES

STANDING BUSINESS

- Verification of Full Quorum & Designation of Voting Members:

<u>Commissioner</u>	<u>Voting</u>	<u>Commissioner</u>	<u>Voting</u>
Chris Clark (Chairman)	Y N	Scott Major	Y N
Scott Adams (Vice-Chairman)	Y N	Kevin Hiatt (A)	Y N
Andrew Bentley	Y N	Brock Arnold (A)	Y N
Jessy McKee	Y N		

- Approval of Agenda – July 20, 2023
- Disclosures
- Approval of Minutes –May 18, 2023

PLANNING/DISCUSSION

1. Cliff Grua- The Farm Subdivision 2014 Phase 5
 - Preliminary Subdivision Approval
2. Water Connection Discussion
3. R3 Zone
 - Proposed R3 Changes

ITEMS FOR FUTURE DISCUSSION

- Highway 40 Rezone
- Legislative changes- Subdivision requirements

ADJOURN

The next Planning and Zoning meeting will tentatively be held on August 17, 2023

All persons residing within the area served by City of Naples are HEREBY NOTIFIED that the Naples Planning and Zoning Commission will meet on the 3rd Thursday of each month at 7:30pm. All persons concerned with any matter before the Naples Planning and Zoning Commission are invited to attend. If possible, call to get on the agenda, 435-789-9090 NOTE: In compliance with the Americans with Disabilities Act, Individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the Land Use Administrator at 435-789-9090 at the Naples City Office, 1420 East 2850 South, Naples, Utah 84078 at least three days prior to the meeting.

Naples Planning and Land Use
Public Meeting
May 18, 2023

Commission Present: Chris Clark, Andrew Bentley, Jessy McKee, Scott Major, Kevin Hiatt

Commission Absent: Scott Adams, Brock Arnold

Others Present: Mike Davis, Gwen Harrison, Dean Baker, Ken Reynolds, Cable Murray, Tony Ivie, Shantel Ivie, Casey Crowther, Cliff Grua,

Opening Ceremonies

Verification of full Quorum Chris Clark verified a full quorum. All Commissioners will be voting in the meeting.

Approval of Agenda Mike Davis suggested adding an item number 5 to the agenda for future discussion. Scott Major motions to approve the agenda with suggested changes. Kevin Hiatt seconds the motion.

All in favor:

Chris Clark	Aye
Andrew Bentley	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

Disclosures

Approval of Minutes Scott Major motions to approve the April 20, 2023 minutes. Kevin Hiatt seconds the motion.

All in favor:

Chris Clark	Aye
Andrew Bentley	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

PLANNING/DISCUSSION

Cliff Grua
The Farm Subdivision
2014 Phase 5

Cliff Grua presented the proposed concept for The Farm Subdivision 2014 Phase 5 grading, storm drain, and retention pond of Lot 54. Andrew Bentley questioned if lot 54 was a building lot or entirely dedicated to a storm drain. Mr. Grua stated it is a building lot. Chris Clark questioned if the storm drain would collect from any new pavement for the cul-de-sac and driveways. Mr. Grua stated yes.

Andrew Bentley motions to table The Farm Subdivision 2014Phase 5 discussion and action until plat is received. Scott Major seconds the motion.

All in favor:

Chris Clark	Aye
Andrew Bentley	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

**Tony Ivie & Cable Murray
Commercial Tire Building
Preliminary & Final Site Plan**

Tony Ivie and Cable Murray presented the site plan to the commission. Scott Major stated at the last meeting, there was a discussion regarding the surface that is not asphalt will need to be landscaped. Chris Clark stated the requirement for drive aisles is 24 feet and storage of tires located on the property will need to be behind screening of some sort so it is not visible from the road. Mr. Ivie stated the tires will be brought in on enclosed trailers. Scott Major asked for confirmation on the façade. Mr. Murray stated it will be rock stone and stucco for the front of the building with the stone wainscoting being carried along the sides, the back of the building will be metal building. Mr. Murray stated there will be two bay doors to the south of the building. Mr. Murray stated the intent is for the landscaping to blend in with other commercial buildings with trees, boulder, and shrubs. Mr. Ivie stated there is a slope coming from the highway and they will cover the slope with gravel and cobble to keep the dirt down. Andrew Bentley questioned about future lots that were mentioned. Mr. Murray stated the lots to the south and west would be developed in the future. Mr. Clark questioned about signage. Mr. Ivie stated that Commercial Tire will have a sign directly on the building. Mr. Clark stated we would need information on the plans regarding the sign placement.

Andrew Bentley motions to approve the Commercial Tire preliminary and final site plan pending administrative approval. Jessy McKee seconds the motion.

All in favor:

Chris Clark	Aye
Andrew Bentley	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

**Ken McBride
Proposed Changes
R3 Zone Ordinance**

Ken McBride via phone call presented proposed changes to the R3 Zone. Mr. McBride stated he is looking to make this a transition zone. Mike Davis asked for clarification on the requested amount of buildings intended. Mr. McBride stated the maximum amount it would be is 30 units per building. He stated it would not be apartments, it would be more like row houses. Jessy McKee stated getting more visual aids of Mr. McBride's vision would help the commission understand the proposed changes to the zone. Chris Clark stated with the amount of changes being proposed to the zone, they would have to take a bigger look at the changes. The General Plan indicates Naples will be an area of larger, open spaces, and this proposal somewhat counters that General Plan. Scott Major stated he is not opposed to multi-family housing, but is opposed to large areas of multi-family housing. Jessy McKee stated he is not opposed to the idea, and would like to see something, but is unable to envision what Mr. McBride is proposing. Scott Major stated if dense housing is built, the police force would need to increase. Kevin Hiatt stated he would like to see pictures indicating what Mr. McBride has described. Chris Clark questioned if these units would be individually owned or rented. Mr. McBride stated R3 zoning is not feasible, and it would not satisfy the need for affordable housing. Mr. McBride stated he wants Naples City to come back with a change that they would feel comfortable with. Chris Clark stated it isn't that we don't want the development to happen, but if asked what we wanted, the commission has land use ordinance in place and would say, that is what we want. He stated we are trying to figure what Mr. McBride wants that fits within his development. This is an ordinance change that would affect all the developments in the city that may be within this zone, and there will be a fair amount of back and forth. Mr. McBride stated he wants the city participate more in the process instead of having him come up with all of the changes. Chris Clark stated we are trying to find the balance between what is wanted and what is allowed and what the city feels comfortable with. Kevin Hiatt questioned Mr. McBride if his intention is to revise the R3 zone or create a new R4 zone. Mr. McBride stated yes. Andrew Bentley suggested to move forward is to look over this as a commission and send it to the City Council, to receive feedback on how to move forward.

Kevin Hiatt stated he does believe this is a good area for a transition area and this is a good area for that, but it could get out of hand quickly once the major changes to the zone are made. He stated that if the area does change into the city center downtown, the row houses would not be the affordable at that point in time. Kevin Hiatt stated that bigger cities, people want to be able to go around the corner to a grocery store, but in Naples, it is more rural and we drive distances. Chris Clark asked the commission if there is support for full multi-family dwellings or interspersed single family. Kevin Hiatt stated he wouldn't like to see multi-family units intersperse with single-family home in the middle. Andrew Bentley stated he would be willing to support row houses with up to 6 units per building. Planning Commission directs staff to propose changes to City Council and give them an opportunity to comment on what the maximum number off multifamily dwellings if changes were proposed. Chris Clark stated he is leaning towards 6 maybe 8 units per building, with garage. Jessy McKee stated he agrees.

HB 406

Road Width Legislative Req.

Gwen Harrison presented house bill 406 that was passed in the 2023 legislative session. This will affect the requirement of the 40 feet of asphalt, changing it to 32 feet. The Subdivision chapter will be updated to reflect these changes in future meetings.

ITEMS FOR FUTURE DISCUSSION

Highway 40 Rezone

Will be brought back in August or September

Legislative changes

2023 Legislation changes will be brought to their attention in the coming months.

City Updates

Mike Davis updates the Planning Commission of upcoming city projects.

ADJOURN

Andrew Bentley motions to adjourn, Chris Clark seconds the motion.

All in favor:

Chris Clark	Aye
Andrew Bentley	Aye
Kevin Hiatt	Aye
Scott Major	Aye

All Opposed

Jessy McKee	Nay
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Motion carried with majority voting Aye.

The next Planning and Zoning meeting will tentatively be held June 15, 2023 in the Naples City Council Chambers @ 7:30 P.M.



Item No: 1

MEMO TO: Planning Commission

FROM: Staff

Date: July 20, 2023

Subject:

The Farm Subdivision 2014 Phase 5

Staff Recommendation:

Background:

Preliminary Plan for The Farm Subdivision 2014 Phase 5. Concept plan approved 4/20/23.

Options:

_____ Bring back for further discussion

_____ Approve Preliminary Plan

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

CONSTRUCTION PLANS

THE FARM SUBDIVISION

2014 PHASE 5

LOCATED IN:
SECTION 31, T4S, R22E, S.L.B.&M.
NAPLES, UINTAH COUNTY, UTAH

APPROVAL SIGNATURE BLOCK

NAPLES CITY APPROVAL

THIS PLAN IS APPROVED BY NAPLES CITY.

THIS ____ DAY OF _____, 20 ____.

MAYOR

ATTEST:

TITLE:

CITY REQUIREMENTS:

02-31-015 - INSPECTION OF INSTALLED PUBLIC INFRASTRUCTURE

SECTION A - DEVELOPER SHALL COORDINATE WITH THE CITY OF NAPLES INSPECTOR TO PROVIDE CONTINUOUS INSPECTION FOR ITEMS LISTED UNDER (A), LAYING OF STREET SURFACING, POURING OF CONCRETE FOR CURB AND GUTTER, SIDEWALKS, AND OTHER STRUCTURE, LAYING OF SEWER PIPE, DRAINAGE PIPE, WATER PIPE, VALVES, HYDRANTS, AND TESTING. NO WORK SHALL BE DONE WITHOUT THE INSPECTOR PRESENT ON CONTINUOUS INSPECTION ITEMS

SECTION B - DEVELOPER SHALL COORDINATE WITH THE CITY OF NAPLES INSPECTOR TO PROVIDE PERIODIC INSPECTIONS ON ITEMS LISTED UNDER (B) - STREET GRADING AND GRAVEL BASE, EXCAVATIONS FOR CURB AND GUTTER AND SIDEWALKS, EXCAVATIONS FOR STRUCTURES, TRENCHES FOR LAYING PIPE, AND FORMS FOR CUB AND GUTTER, SIDEWALKS, AND STRUCTURES.

SECTION F - DEVELOPER SHALL ARRANGE FOR THE INSPECTION OF WATER AND SEWER IMPROVEMENTS THROUGH ASHLEY VALLEY WATER AND SEWER IMPROVEMENT DISTRICT.

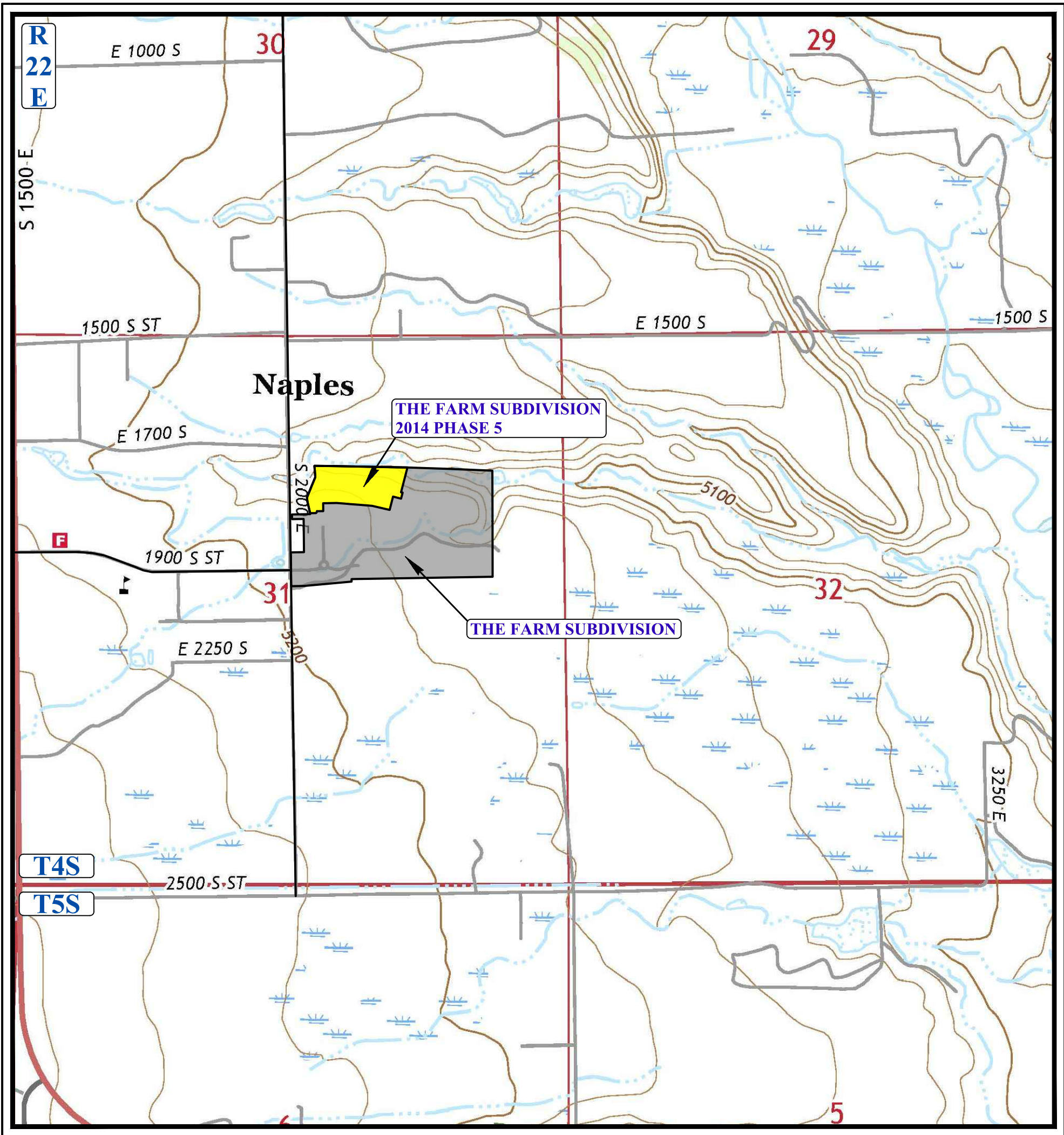
SECTION G - DEVELOPER IS REQUIRED TO PROVIDE SUBMITTALS, REPORTS, AND DOCUMENTATION AS SPECIFIED IN SECTION G TO THE CITY FOR REVIEW AND APPROVAL AND FINAL ACCEPTANCE WILL NOT BE ISSUED UNTIL THIS INFORMATION IS PROVIDED.

02-31-008 (B) - PLAT SHALL BE SUBMITTED BY APPLICANT TO ASHLEY VALLEY WATER & SEWER FOR REVIEW AND RECOMMENDATION. RECOMMENDATION LETTER (LETTER OF SERVICE) SHOULD BE AVAILABLE FOR PLANNING COMMISSION MEETING REVIEW - PRELIMINARY SUBMISSION

02-31-008 (F) - PROVIDE ENGINEER ESTIMATE OF REQUIRED PUBLIC INFRASTRUCTURE COSTS.

02-31-010(C) - IMPROVEMENT COMPLETION ASSURANCE - GUARANTEE OF PERFORMANCE - APPLICANT REQUIRED TO PROVIDE FUNDS TO GUARANTEE THAT THE INSTALLATION OF THE IMPROVEMENTS BY (1) BOND, (2) ESCROW ACCOUNT, OR (3) IRREVOCABLE LETTER OF CREDIT.

THESE WERE A NOTE TO THE DEVELOPER, NOT TO BE ADDED TO THE PLANS, PLEASE REMOVE



NAPLES, UTAH - USGS TOPOGRAPHIC QUAD MAP

SCALE: 1" = 1,000'

APPLICANT:

NASH FAMILY, LLC
13721 EAST MARINA DR. UNIT B
AURORA, CO 80014
RAY NASH
O: (303) 755-8096

CONSULTANT:

UINTAH ENGINEERING & LAND SURVEYING, LLC
85 South 200 East
Vernal, Utah 84078
Paul Hawkes, PE
O: (435) 789-1017

SHEET INDEX

TITLE SHEET	C1
1800 SOUTH ROAD PLAN & PROFILE	C2
1800 SOUTH ROAD CROSS-SECTIONS	C3
UTILITY PLAN	C4
STORM SEWER DETAILS	C5
UTILITY DETAILS	C6
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NASH FAMILY, LLC

THE FARM SUBDIVISION 2014 PHASE 5

CONSTRUCTION PLANS

SEC. 31, T4S, R22E, S.L.B.&M.

NAPLES, UINTAH COUNTY, UTAH

DATE	BY	REV	DESCRIPTION
08/23/23	CC	1	ISSUED FOR CITY REVIEW

RESPONSIBLE ENGINEER:

PRELIMINARY
NOT FOR CONSTRUCTION

TITLE SHEET

SCALE: AS NOTED

DRAWN BY: C.C.

DATE DRAWN: 05-30-23

UELS FILE NO.: 1 0 8 4

PROJ. NO.: NAS01-23-0001

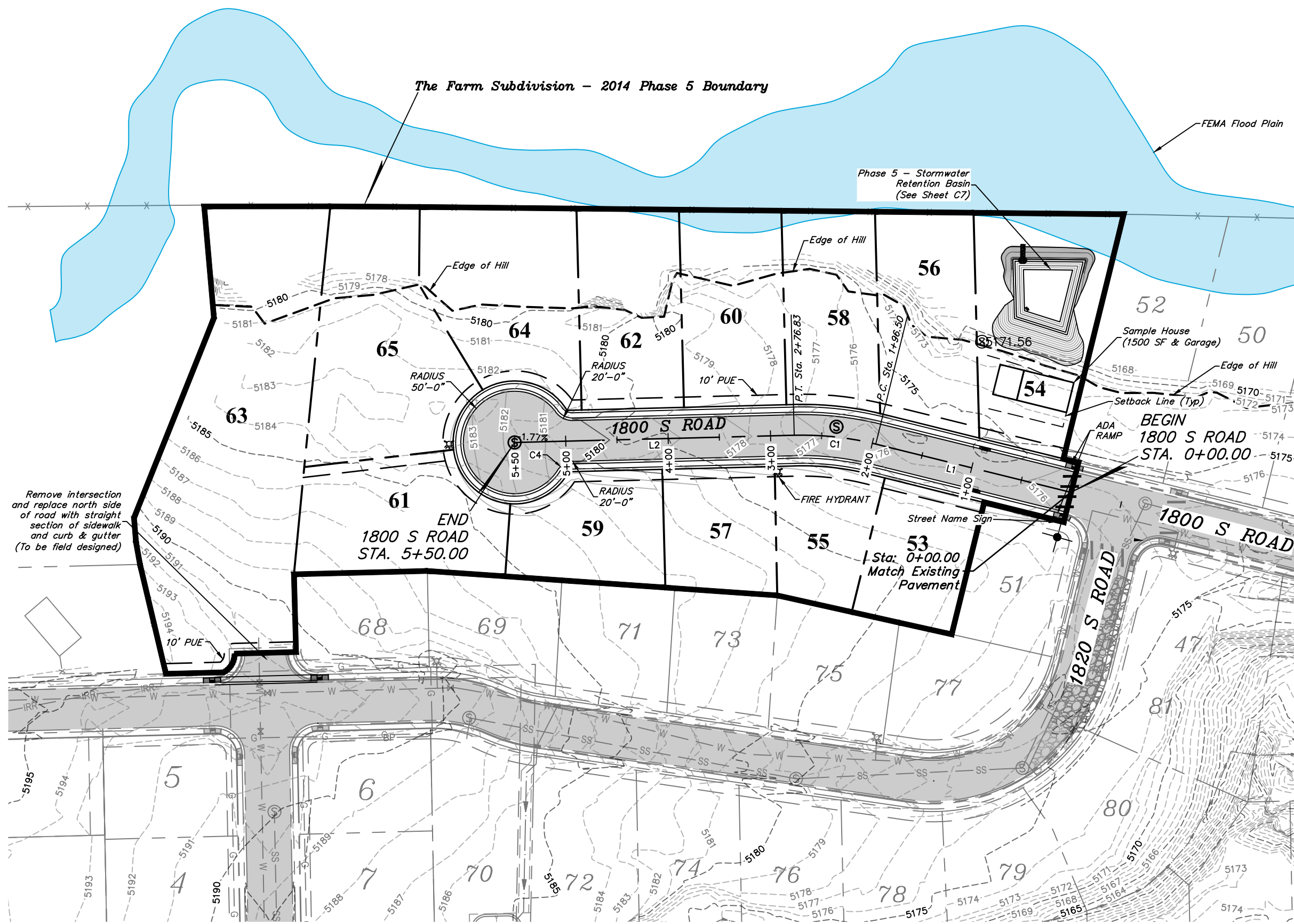
FILE: 2 5 1 9 6

SHEET

C1

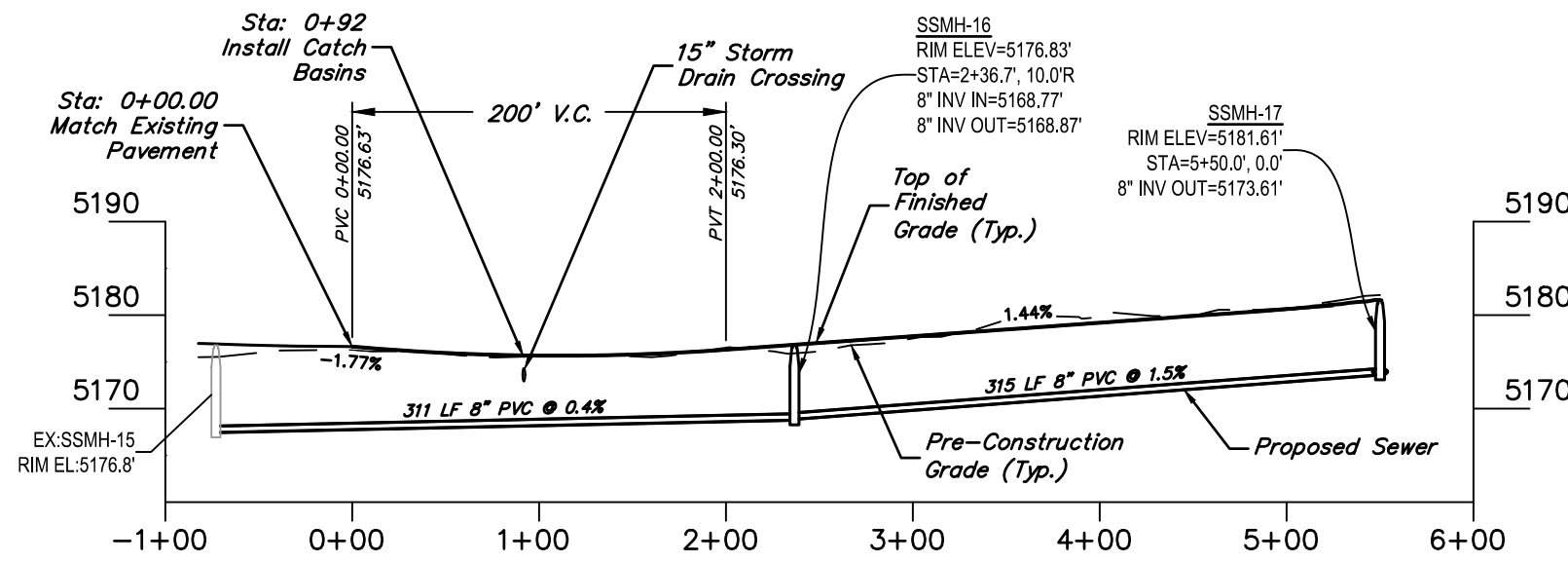
1800 S ROADWAY PLAN

SCALE = 1" = 100'



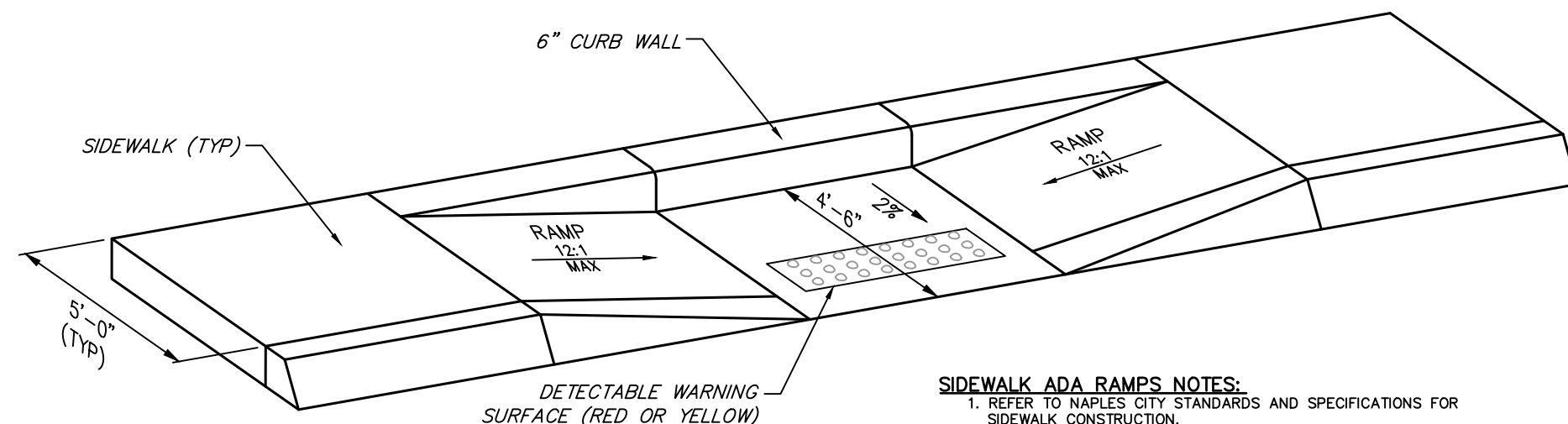
1800 S ROAD PROFILE

SCALE = 1" = 100' (Horizontal) 1" = 20' (Vertical)



APPROXIMATE QUANTITIES

A. EARTHWORK ESTIMATES FOR STA. 0+50 TO 9+56			
CUT:	550 CY	(EXCLUDING TOPSOIL)	
FILL:	570 CY	(INCLUDING 10% FILL FACTOR)	
TOPSOIL:	920 CY	(6" DEPTH ASSUMED)	
B. ASPHALT			
AREA	27,950	SF	
C. CURB & GUTTER			
LENGTH	1,285	LF	
D. SIDEWALK			
LENGTH	1,285	LF	



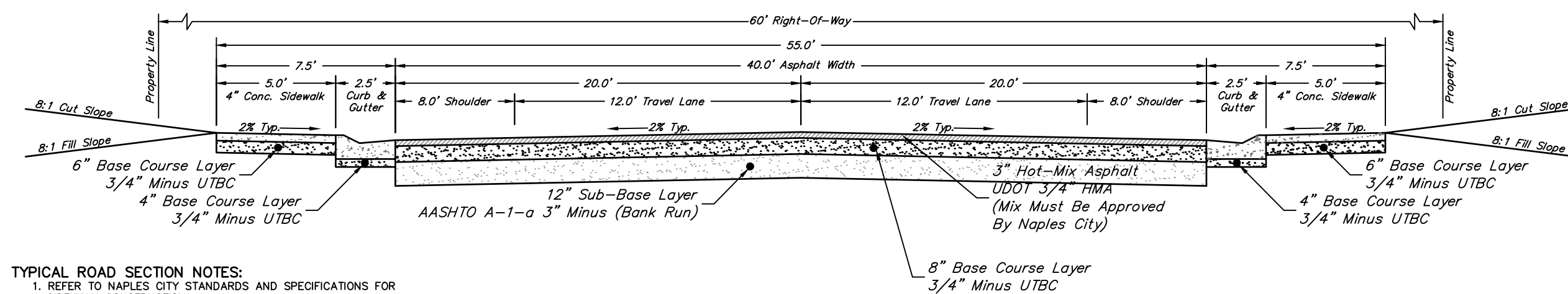
TYPICAL SIDEWALK ADA RAMPS

NO SCALE

- NOTES:
1. MATCH EXISTING PAVEMENT ON 1800 S ROAD.
 2. BASIS OF BEARINGS IS THE WEST LINE OF THE NE 1/4 OF SECTION 31, T4S, R22E, S.L.B.&M., WHICH IS ASSUMED TO BEAR N22°41'19\"/>

KEY

- ROAD CENTERLINE
- CENTERLINE OF DRAINAGE
- UTILITY EASEMENT
- 1' CONTOUR (PROPOSED)
- 5' CONTOUR (PROPOSED)
- 1' CONTOUR (EXISTING)
- 5' CONTOUR (EXISTING)
- ADA CURB CUT
- PAINTED CROSS WALK
- STREET SIGNS



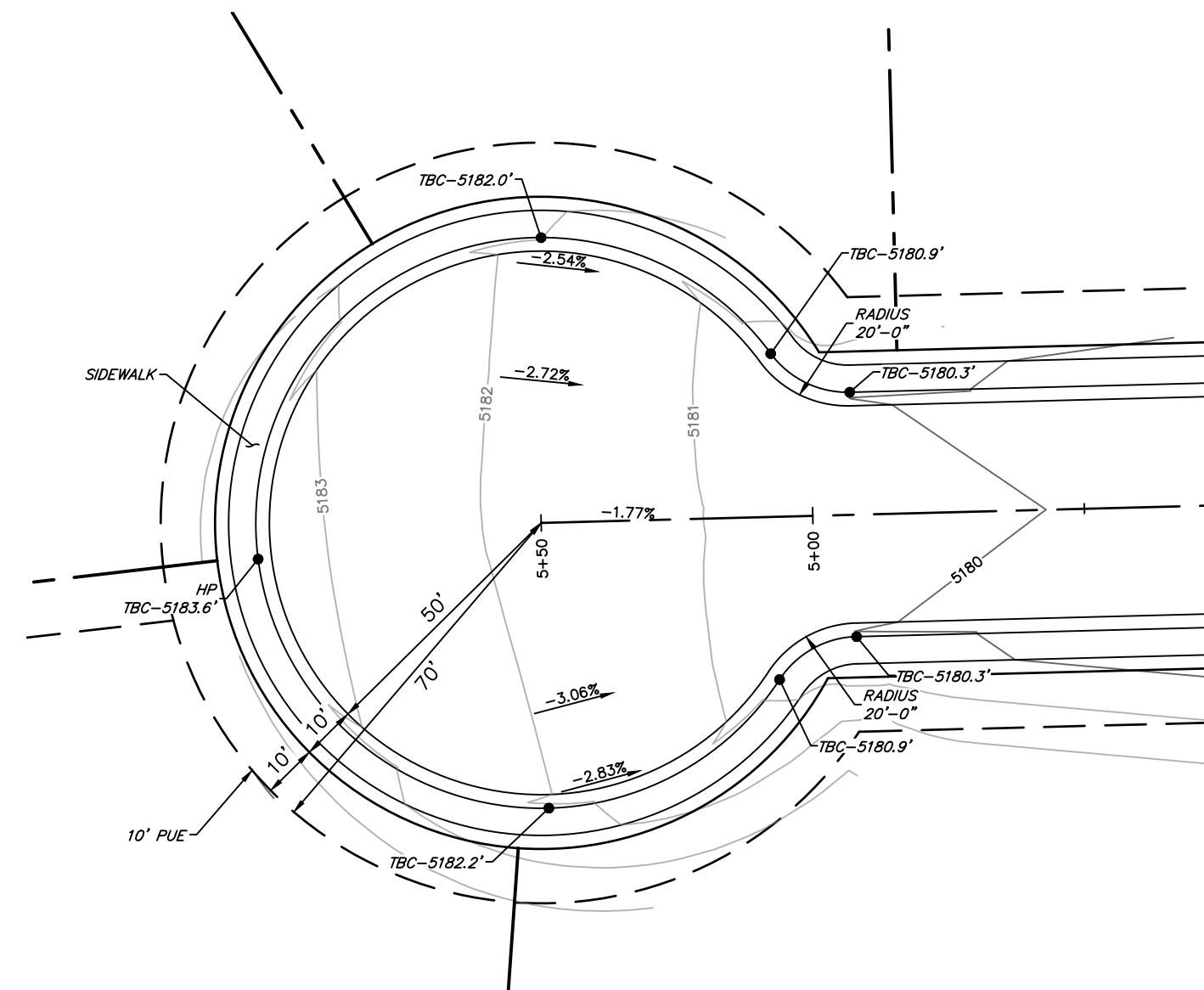
TYPICAL ROADWAY SECTION

1800 S ROAD

SECTION A

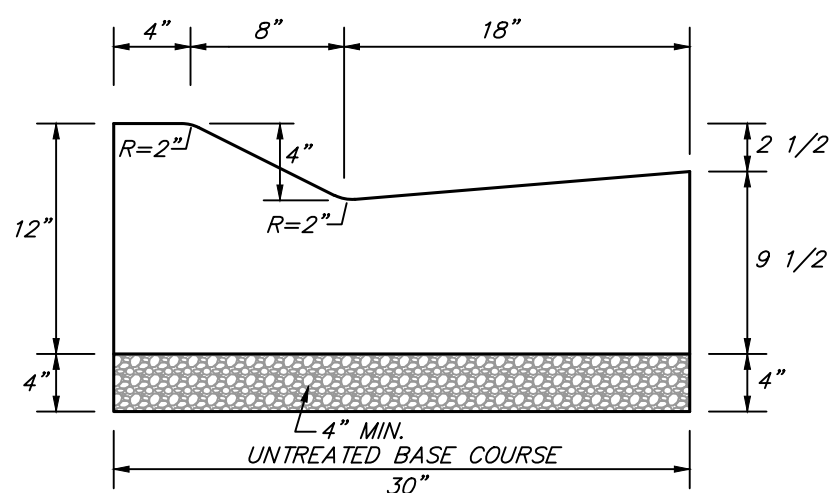
NO SCALE

- TYPICAL ROADWAY SECTION NOTES:
1. REFER TO NAPLES CITY STANDARDS AND SPECIFICATIONS FOR SIDEWALK CONSTRUCTION.
 2. ASPHALT SURFACE SHALL BE UDOT APPROVED MIX.
 3. BASE COURSE LAYERS SHALL BE COMPACTED TO 97% MAXIMUM DRY DENSITY AND 52% OPTIMUM MOISTURE CONTENT (NAPLES CITY SPECIFICATION).



CUL-DE-SAC DETAIL

NO SCALE



TYPICAL CURB & GUTTER DETAIL

NO SCALE

DATE	BY	CHK	REVISIONS
08/22/23	CC	CC	ISSUED FOR CITY REVIEW

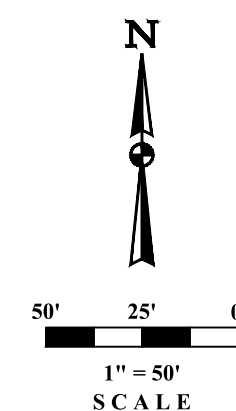
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PRELIMINARY
NOT FOR CONSTRUCTION

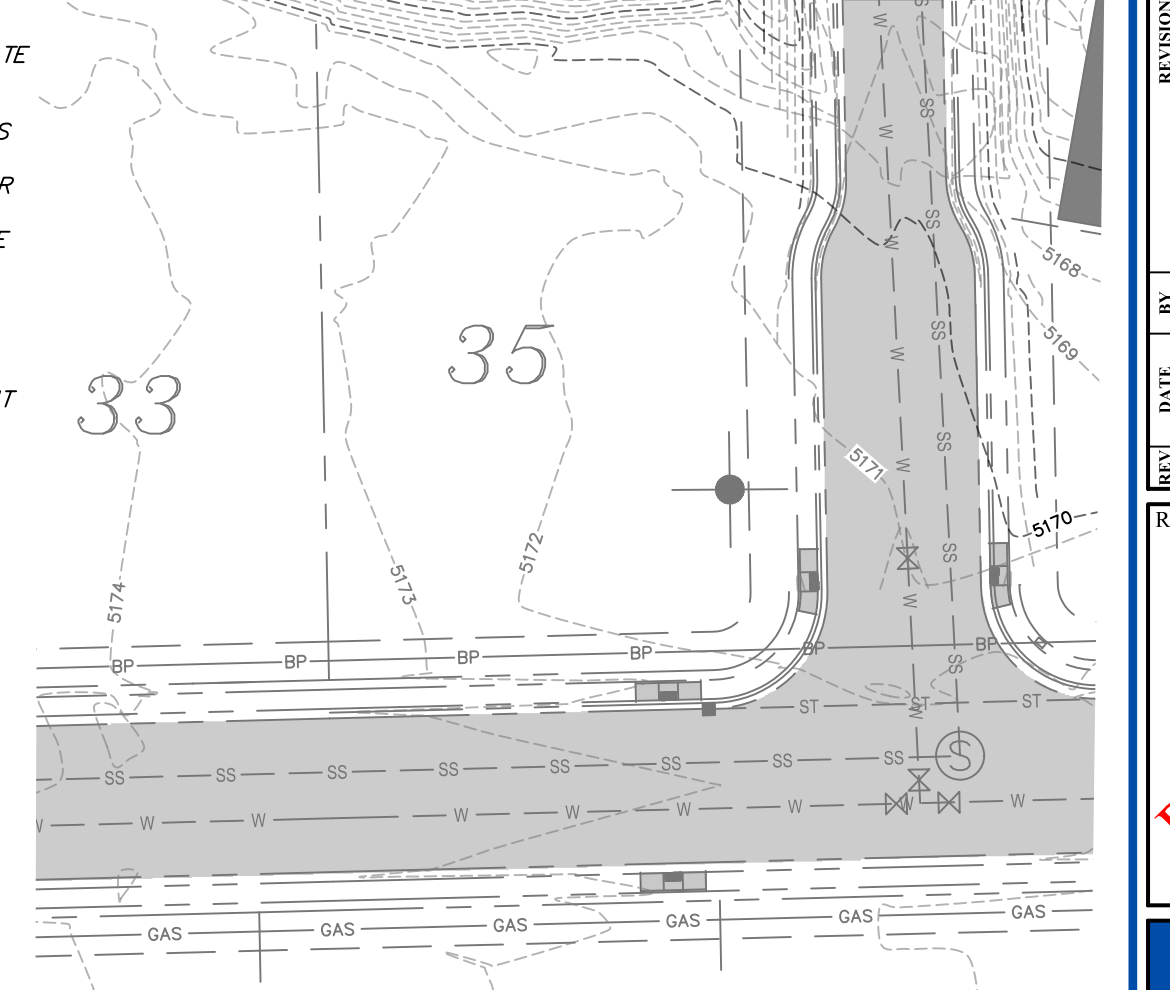
1800 SOUTH ROAD
PLAN AND PROFILE

SCALE: AS NOTED
DRAWN BY: C.C.
DATE DRAWN: 05-30-23
UELS FILE NO.: 1084
PROJ. NO.: NAS01-23-0001
FILE: 25196

SHEET

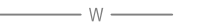
C2





KEY

Line #	Length
L1	259.64'
L2	311.35'
L3	67.54'



— W — W — *EXISTING WATER LINE*
 — W — W — *PROPOSED WATER LINE*
 — SS — SS — *EXISTING MAIN SEWER LINE*
 — SS — SS — *PROPOSED SEWER LINE*
 — ST — ST — *PROPOSED STORM DRAIN LINE*

		STORM DRAIN CATCH BASIN
		GATE VALVE
		WATER METER
		SEWER LATERAL STUB
		MANHOLE
		FIRE HYDRANT
		STREET LIGHT

CALLOUT INVERTS FOR SERVICE LATERALS
CONNECTING TO MANHOLE, SO THAT THEY
ARE CAST IN THE MANHOLE WITH A
TROUGH TO THE OUTLET

[illegible]

RESPONSIBLE ENGINEER:

PRELIMINARY
NOT FOR CONSTRUCTION

UTILITY PLAN

SCALE:	
DRAWN BY: C.C.	
DATE DRAWN: 05-30-23	
ELDS FILE NO.: 1 0 8 4	
PROJ.NO: NAS01-23-0001	
FILE:	2 5 1 9 6

SHEET
C4

TOTAL STORM WATER RETENTION VOLUME NEEDED
TOTAL = 0.814 cfs X 2 hr X 3600 s/hr X 125% = 7,330 cu ft

CATCH BASIN SCHEDULE	
STRUCTURE NAME:	DETAILS:
CB-1A	STATION 0+92.00 (1800 S) GRATE = 5175.13' INV OUT = 5173.10' SUMP = 5170.13'
CB-2A	STATION 0+92.00 (1800 S) GRATE = 5175.13' INV IN (15'") = 5172.74' INV OUT(18'") = 5172.33' SUMP = 5170.13'
CB-1B	LOT 54 (STORMWATER EASEMENT) GRATE = 5171.56' INV IN (18'") = 5168.56' INV OUT(18'") = 5161.56' SUMP = 5159.56'

NOTES:

1. "A" CATCH BASINS ARE TO BE 4'X4'X5' (MIN.) INSIDE DIMENSIONS.
2. "B" CATCH BASINS ARE TO BE 6'X6'X12' (MIN.) INSIDE DIMENSIONS.
3. CATCH BASINS ARE DESIGNED TO HAVE 24" SUMP DEPTH.
4. SEE CATCH BASIN GEOMETRY FOR PIPE PENETRATION ORIENTATION.

CB-1A	CB-2A	CB-1B
--	--	--

Diagram illustrating a vertical manhole structure with a float valve and oil-debris hood. The structure is shown in cross-section, revealing the internal components. The float valve is located at the top of the manhole, and the oil-debris hood is positioned below it. The diagram shows the flow of water and the accumulation of oil and debris. Labels include: ANTI-SIPHON DEVICE, SNOUT, OIL-DEBRIS HOOD, OIL & DEBRIS, OUTLET PIPE, SEE NOTE*, and SOLIDS SETTLE ON BOTTOM. A note at the bottom specifies: *NOTE: SNOUT DEPTH OF 24" MIN. FOR ϕ OR = 2-3X DIAM. OUTLET. FOR OUTLETS $>$ OR = 15" DEPTH = 2-3X DIAM.

ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE MANUFACTURED BY:
BEST MANAGEMENT PRODUCTS, INC.
OR PRE-APPROVED EQUIV.

STRUCTURES SHALL BE CONSTRUCTED OF A GLASS REINFORCED FIBER COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.

HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN (SEE CONFIGURATION DETAIL).

THE VENT POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LONGER THAN PIPE SIZE).

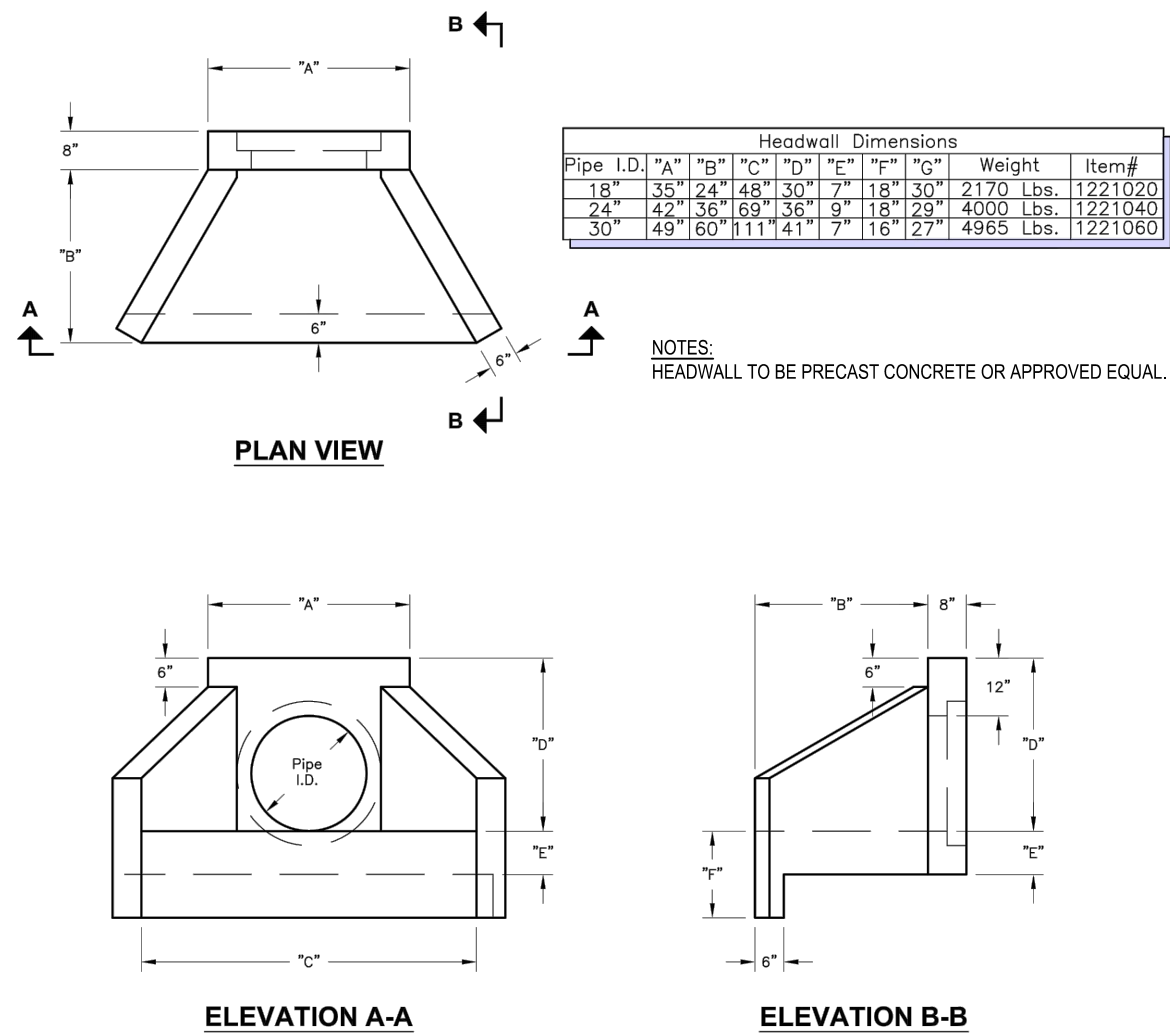
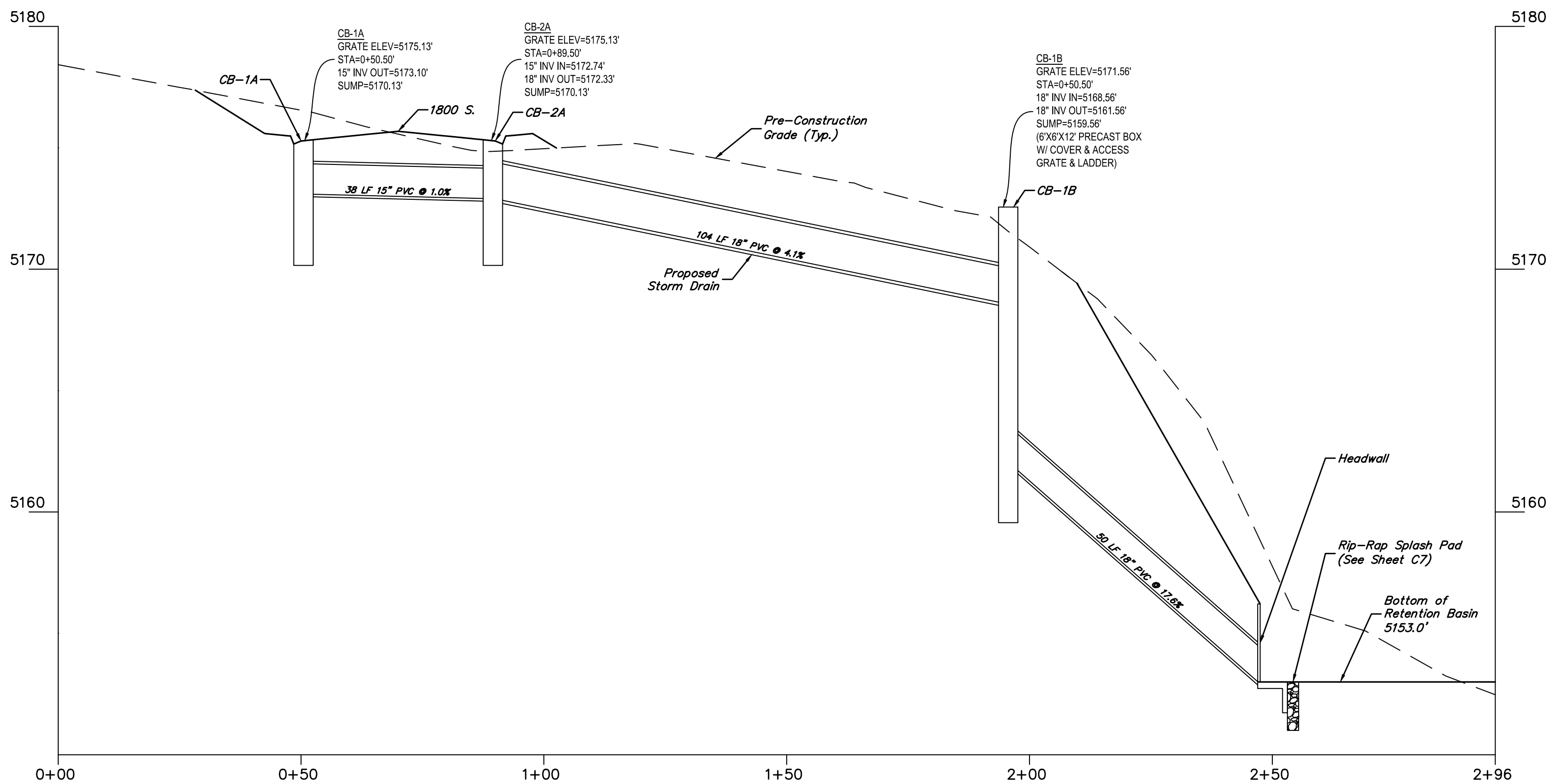
THE VENT OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE OF 10" TO THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR 3" AND 4" ID.

THE VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.

THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.

THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" DIA. BOLTS. BOLTS AND NUTS SHALL BE SUPPLIED AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).

SCALE = 1" = 20' (Horizontal) 1" = 4' (Vertical)



SPECIFICATIONS:

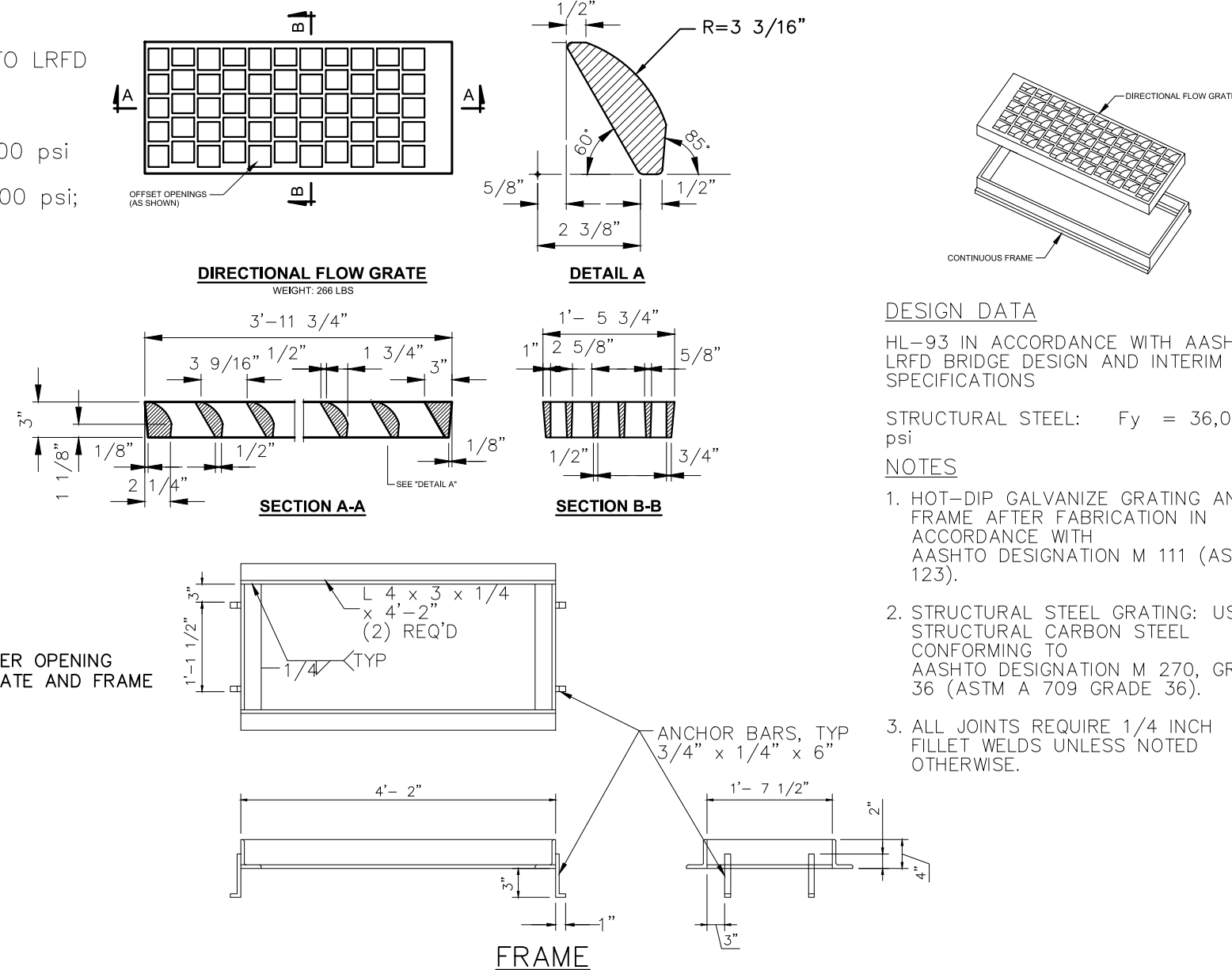
1. Concrete: Class "C" with design strength of 5000 PSI at 28 days.
2. Steel reinforcement: ASTM A-615 Grade 60 or ASTM A-497 Welded wire fabric.
3. Loading: Designed for H20 Loading.
4. C.I. Castings: ASTM A48, Class 30/35.
5. All exposed Corners shall be Chamfered 3/4".

NO SCALE

DESIGN DATA
HL-93 IN ACCORDANCE WITH AASHTO LRFD
BRIDGE DESIGN AND
INTERIM SPECIFICATIONS

STRUCTURAL STEEL: $F_y = 36,000$ psi

STRUCTURAL CONCRETE: $f'_c = 4,000$ psi
 $f_y = 60,000$ psi; $n = 8$



DESIGN DATA

STRUCTURAL STEEL: $F_y = 36,000$

1. HOT-DIP GALVANIZE GRATING AND FRAME AFTER FABRICATION IN ACCORDANCE WITH AASHTO DESIGNATION M 111 (ASTM A 123).

2. STRUCTURAL STEEL GRATING: USE STRUCTURAL CARBON STEEL CONFORMING TO AASHTO DESIGNATION M 270, GRADE 36 (ASTM A 709 GRADE 36).
3. ALL JOINTS REQUIRE 1/4 INCH FILLET WELDS UNLESS NOTED OTHERWISE.

STANDARD 4' X 4' CATCH BASIN AND INLET GRATE DETAIL
NO SCALE

NASH FAMILY, LLC
THE FARM SUBDIVISION 2014 PHASE 5
CONSTRUCTION PLANS
SEC. 31, T4S, R22E, S11B.&M.
NAPLES, UTAH COUNTY, UTAH

[illegible]RESPONSIBLE ENGINEER: 1

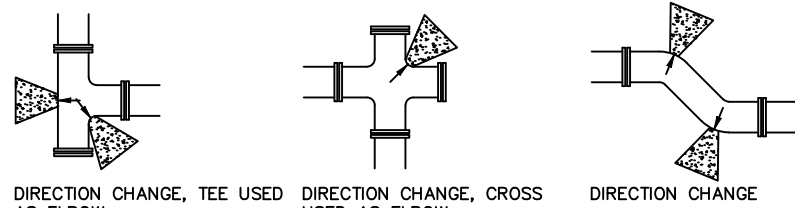
PRELIMINARY
NOT FOR CONSTRUCTION

STORM SEWER DETAILS

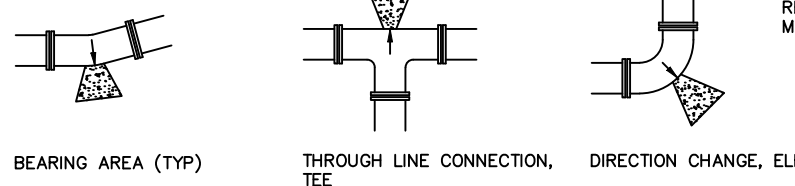
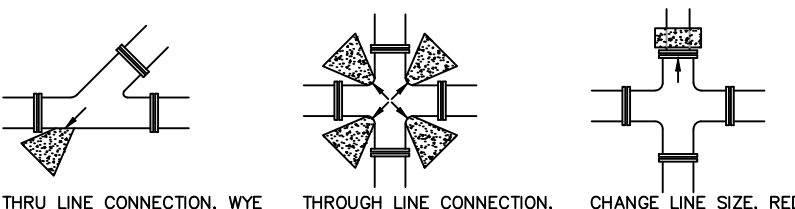
SCALE:	
DRAWN BY: C.C.	
DATE DRAWN: 05-30-23	
UELS FILE NO.: 1 0 8 4	
PROJ.NO: NAS01-23-0001	
FILE:	2 5 1 9 6

SHEET
C5

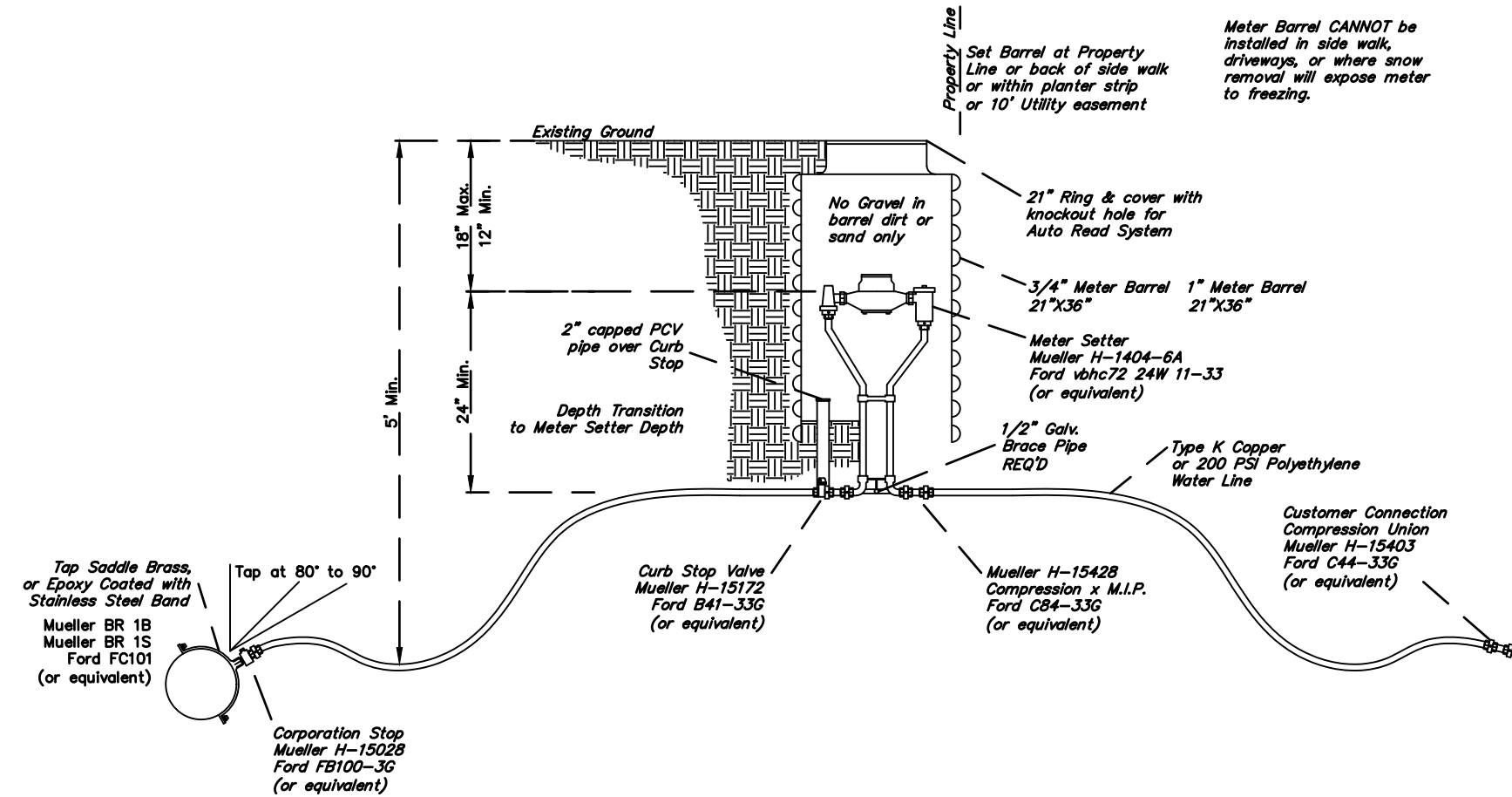
NO SCALE



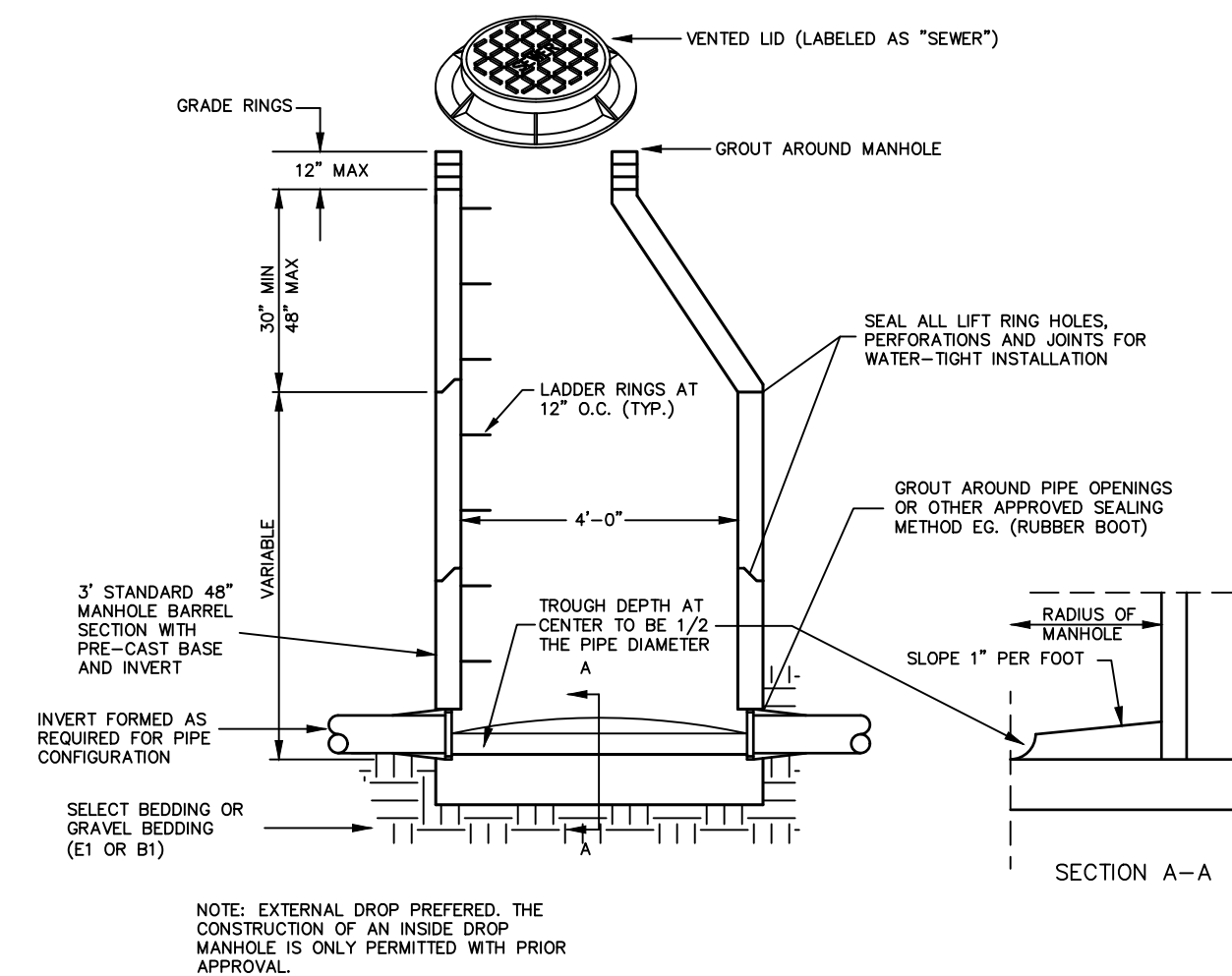
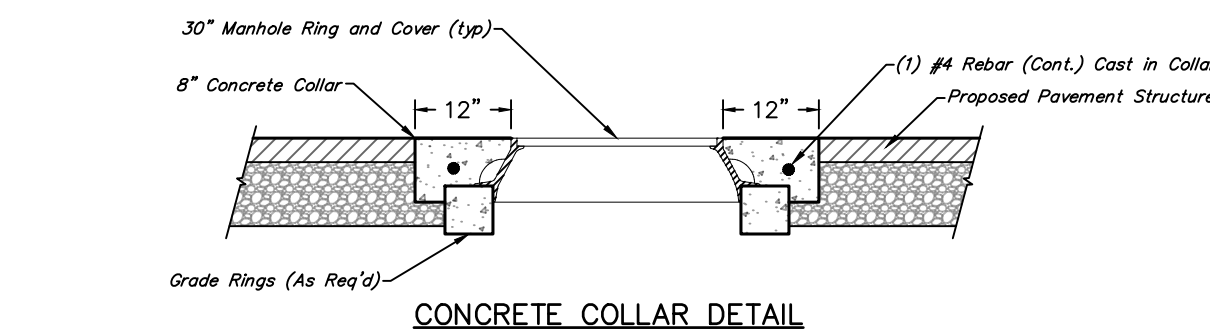
MINIMUM BEARING AREA IN SQ. FT.					
SIZE OF PIPE	TEES, VALVES DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	1.5	1
8"	6.5	9.5	5	2.75	1.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	16
24"	53	74	41	21	53
30"	81	114	62	32	16



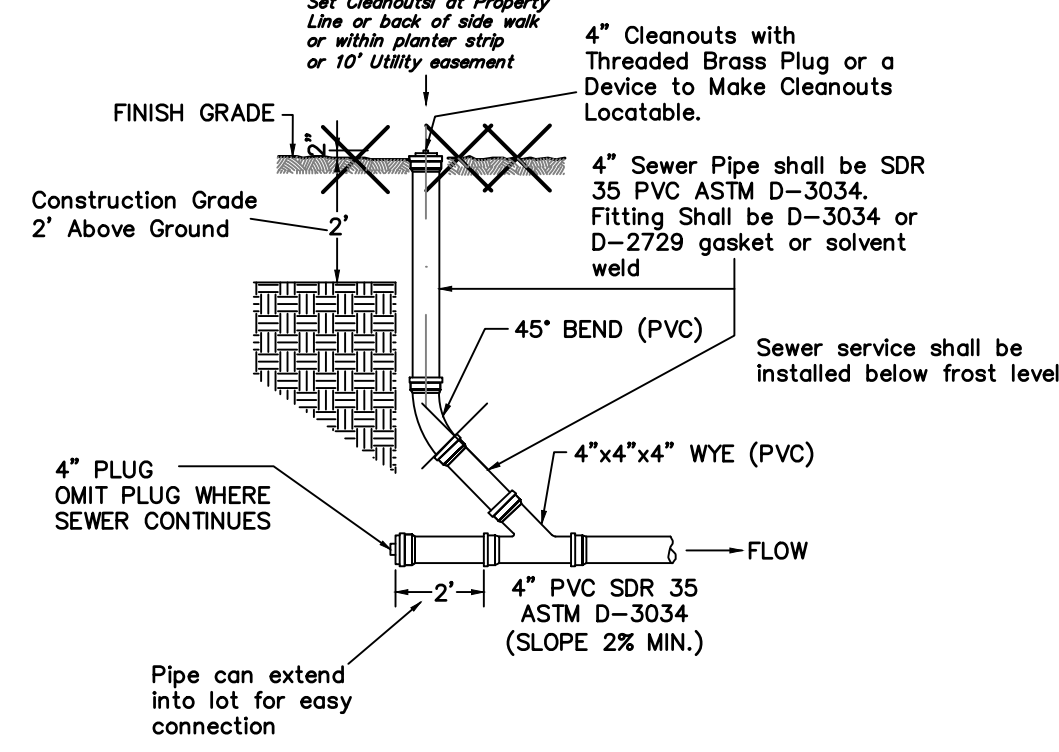
NO SCALE



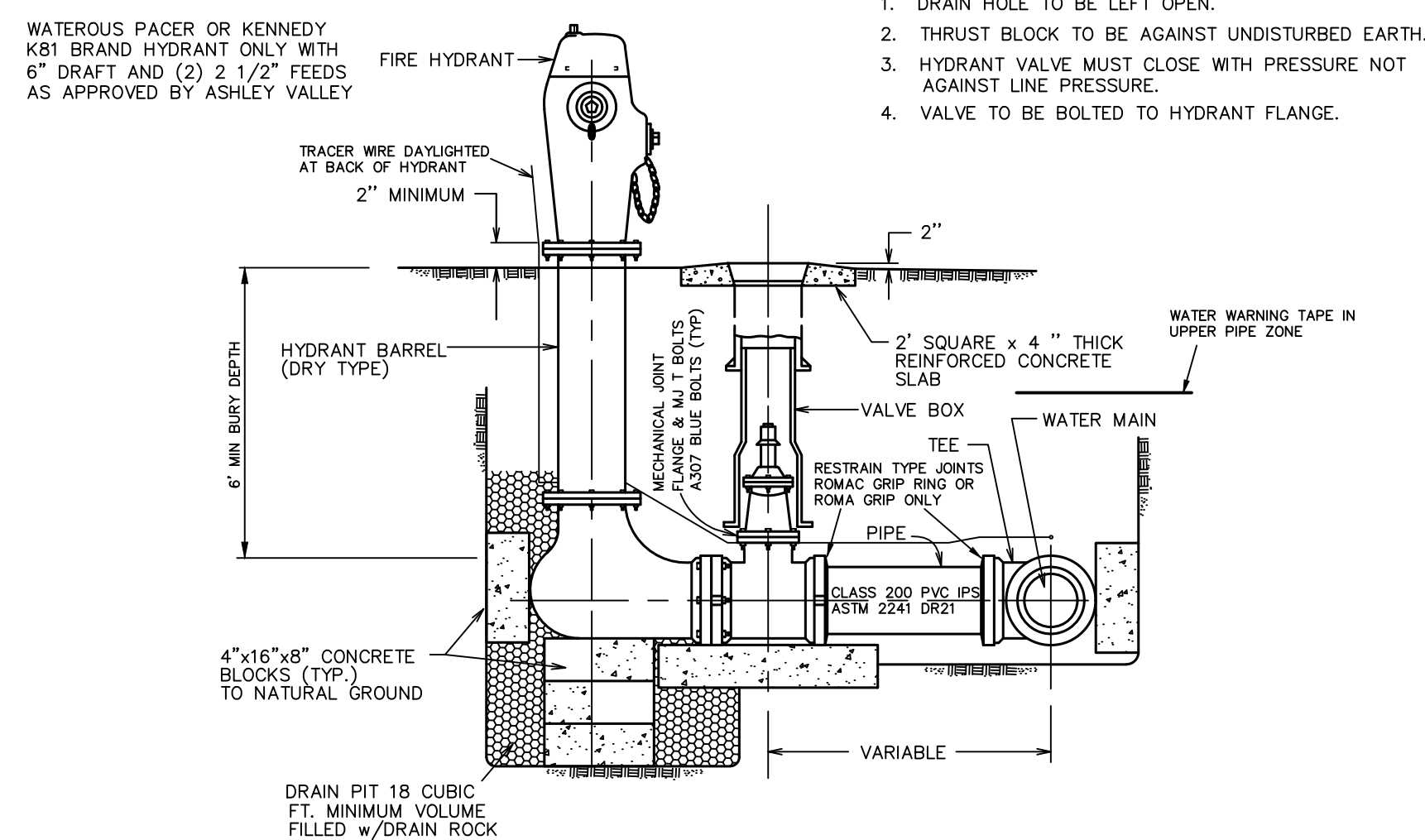
NO SCALE



NO SCALE

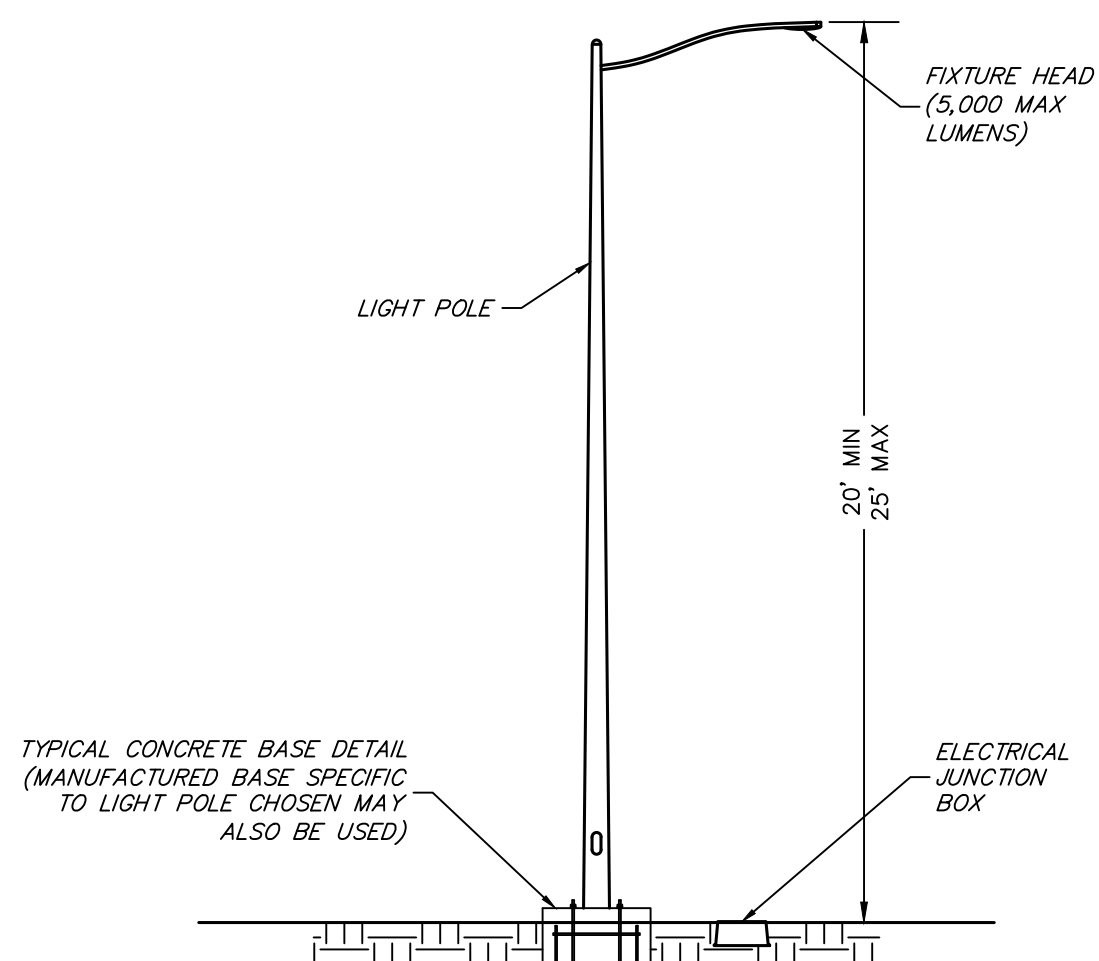


NO SCALE



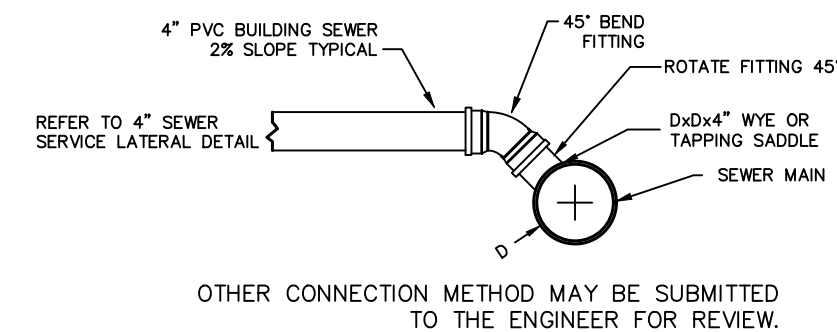
- NOTES:
1. DRAIN HOLE TO BE LEFT OPEN.
 2. THRUST BLOCK TO BE AGAINST UNDISTURBED EARTH.
 3. HYDRANT VALVE MUST CLOSE WITH PRESSURE NOT AGAINST LINE PRESSURE.
 4. VALVE TO BE BOLTED TO HYDRANT FLANGE.

NO SCALE



- LIGHT POLE GENERAL NOTES:**
1. ALL STREET LIGHTING INSTALLATION MUST BE COMPLETED BEFORE OCCUPANCY.
 2. ALL REQUESTED STREET LIGHTING SHALL BE TYPE 2 DISTRIBUTION AND FULL CUT-OFF DARK SKY COMPLIANT.
 3. STREET LIGHTING ALONG PUBLIC RIGHT-OF-WAYS SHALL BE DEDICATED TO NAPLES CITY AND METERED UNDER THE CITY'S STREET LIGHTING PROGRAM.
 4. STREET LAMPS SHALL ONLY BE LED OR INDUCTION LIGHTING.
 5. REFER TO NAPLES CITY FOR COMPLETE LIST OF APPROVED FIXTURE HEADS/POLES.
 6. USE METER BASE PEDESTAL: CP3B122TBSB; MINT GREEN WITH BASE PAD.
 7. ALL LIGHTS HAVE A UNIVERSAL MOUNT WITH BUS BAR AND FUSING LINKS.
 8. ALL COST, IF ANY, FOR RUNNING POWERLINES, POLES, FIXTURES, PEDESTALS, TRENCHING AND SETTING OF POLES WILL BE BORNE BY THE DEVELOPER.
 9. FUTURE POWER BILLS FOR THE STREET LIGHTS AND THEIR MAINTAINED CARE WILL BE PAID BY THE CITY'S ONCE THE DEVELOPMENT HAS BEEN APPROVED AND ACCEPTED BY THE CITY.

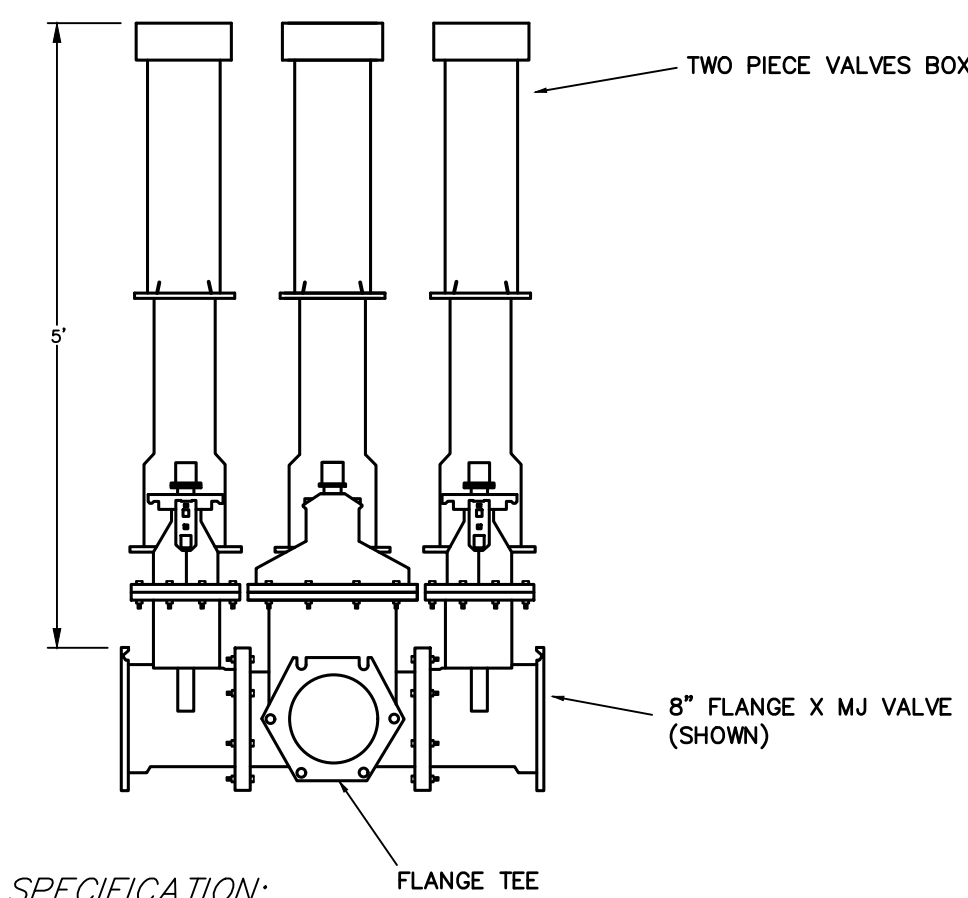
NO SCALE



- UTILITY GENERAL NOTES:

1. USE EXTREME CAUTION WHEN CONSTRUCTING AROUND EXISTING UTILITIES. CONTACT BLUE STAKES BEFORE ANY CONSTRUCTION BEGINS TO LOCATE ALL BURIED UTILITIES. RELOCATE EXISTING UTILITIES AS NEEDED.
2. ALL WAPDES CITY OF UTAH, ASHLEY VALLEY WATER AND SEWER STANDARDS SHALL APPLY AND BE FOLLOWED.
3. ASUA SPECIFICATIONS FOR DISINFECTION OF WATER MAINS SHALL BE APPLIED. TESTING/DISINFECTION SHALL CONFORM TO AWWA C601/C652.
4. BUILT DRAWINGS MUST BE SUBMITTED TO THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY DRINKING WATER DIVISION (UDEQWD) AT PROJECT COMPLETION. AN OPERATING PERMIT MUST BE ACQUIRED BEFORE THE ADDITIONS TO THE WATER SYSTEM ARE PUT ON-LINE. AN EXCEPTION WILL NEED TO BE OBTAINED FROM UDEQWD FOR THE WATER MAINS TO BE INSTALLED UNDERGROUND.
5. WATER MAINS SHALL CROSS A MINIMUM OF 18" ABOVE SEWER LINES. WATER MAINS AND SEWER MAINS SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10' WALL TO WALL.
6. INDIVIDUAL LOT SEWER LATERALS MAY BE 4" WITH CLEAN OUT ON PROPERTY LINE AND AT INTERVAL SPECIFIED BY CODE OR MORE OFTEN.
7. PLANS DO NOT SHOW ALL NECESSARY VALVES OR INDIVIDUAL LOT UTILITY CONNECTIONS.

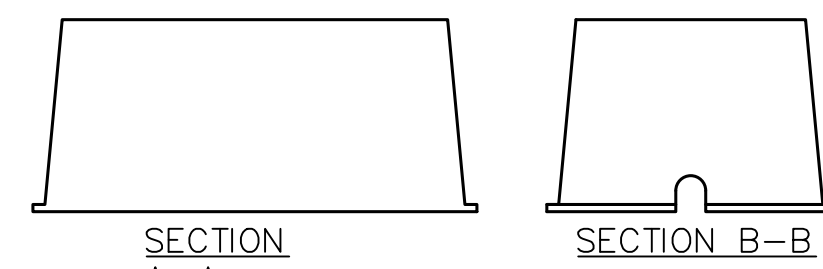
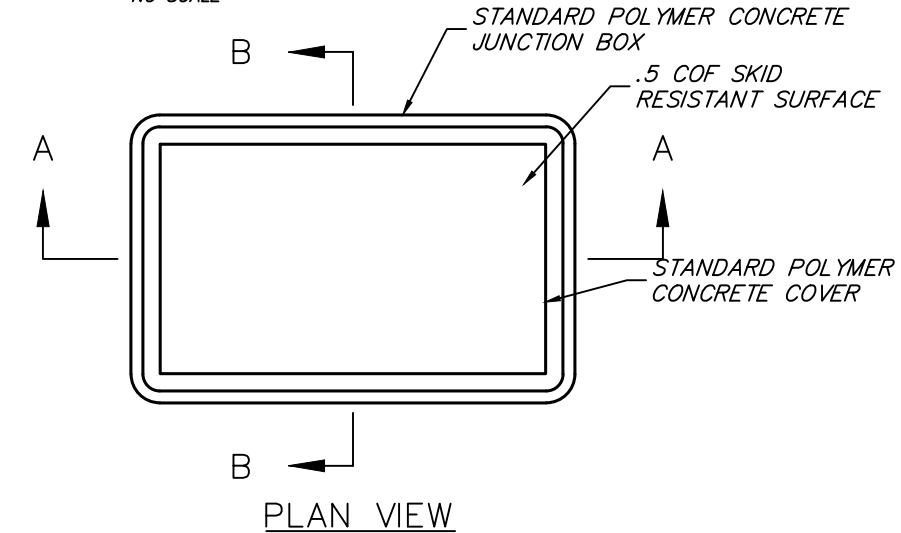
NO SCALE SHOWING THREEWAY TEE



- WATER LINE SPECIFICATION:

1. ALL WATER PIPE SHALL BE CLASS 200 IPS SIZE PVC DR21 CONFORMING TO AWWA STANDARDS.
2. ALL MATERIALS WHICH MAY CONTACT DRINKING WATER, INCLUDING PIPES, GASKETS, LUBRICANTS AND O-RINGS, SHALL BE ANSI-CERTIFIED AND SHALL BE STAMPED WITH NSF-PW LOGO.
3. ALL NEW VALVES SHALL BE RESILIENT SEATED GATE VALVES CONFORMING TO AWWA C509-01
4. CONDUITS, AND CABLES, SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - a. ALL VALVES, ELBOWS, TEES, CROSSES OR ANY OTHER FITTING SHALL HAVE RESTRAINING MECHANICAL JOINTS WITH A307-BLUE BOLTS AND HAVE POLYETHYLENE WRAP ENCASEMENT IN ACCORDANCE WITH AWWA C-105.
 - b. CONCRETE TIEING BLOCKS SHALL NORMALLY BE RESISTED BY ROMAC GRIP RING OR ROMAGRIP RESTRAINING MECHANICAL JOINT FITTINGS.

NO SCALE

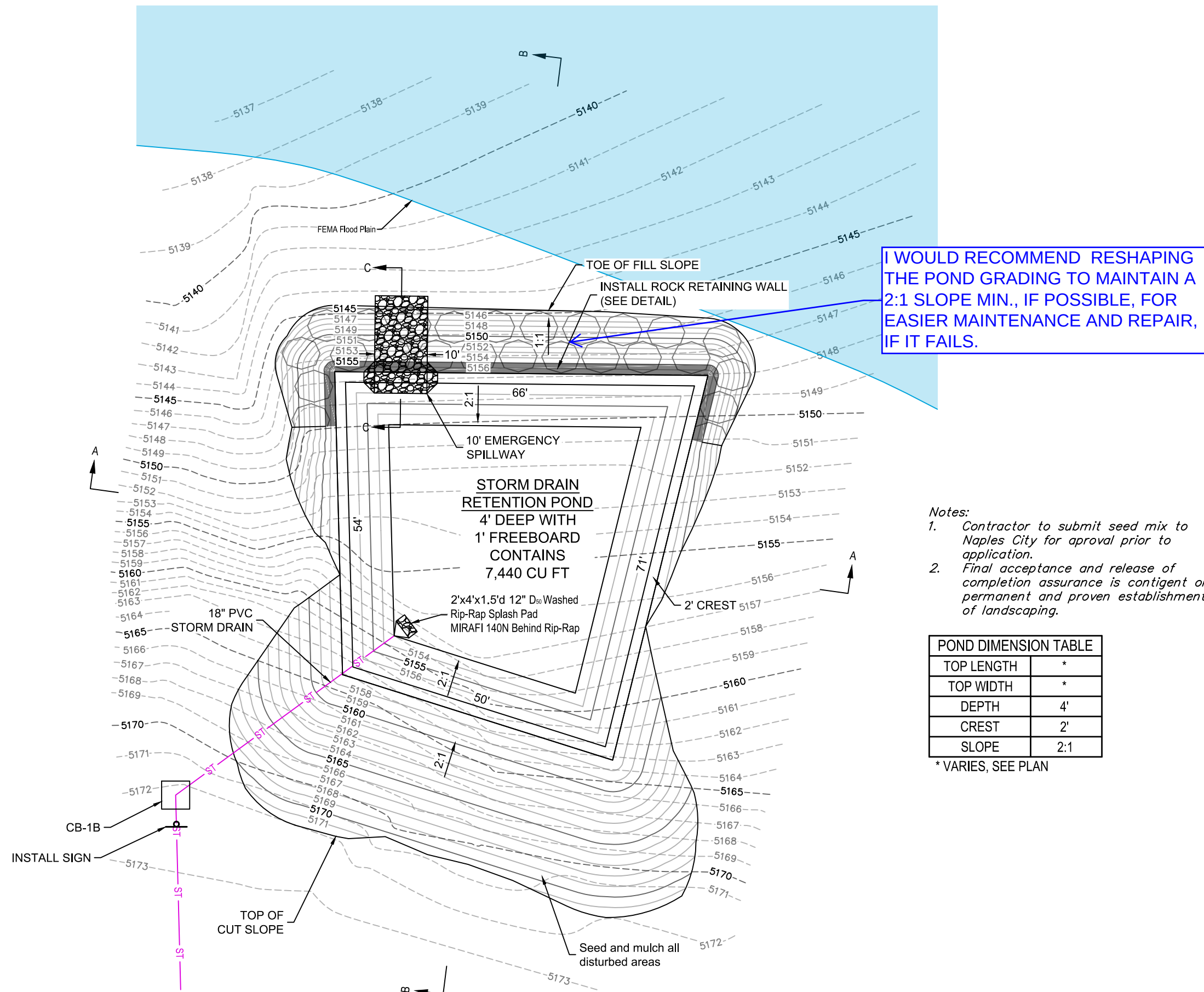


- JUNCTION BOX GENERAL NOTES:

1. SIZE OF JUNCTION BOX TO BE APPROVED BY NAPLES CITY AND ROCKY MOUNTAIN POWER.

RETENTION BASIN DETAIL – PLAN VIEW

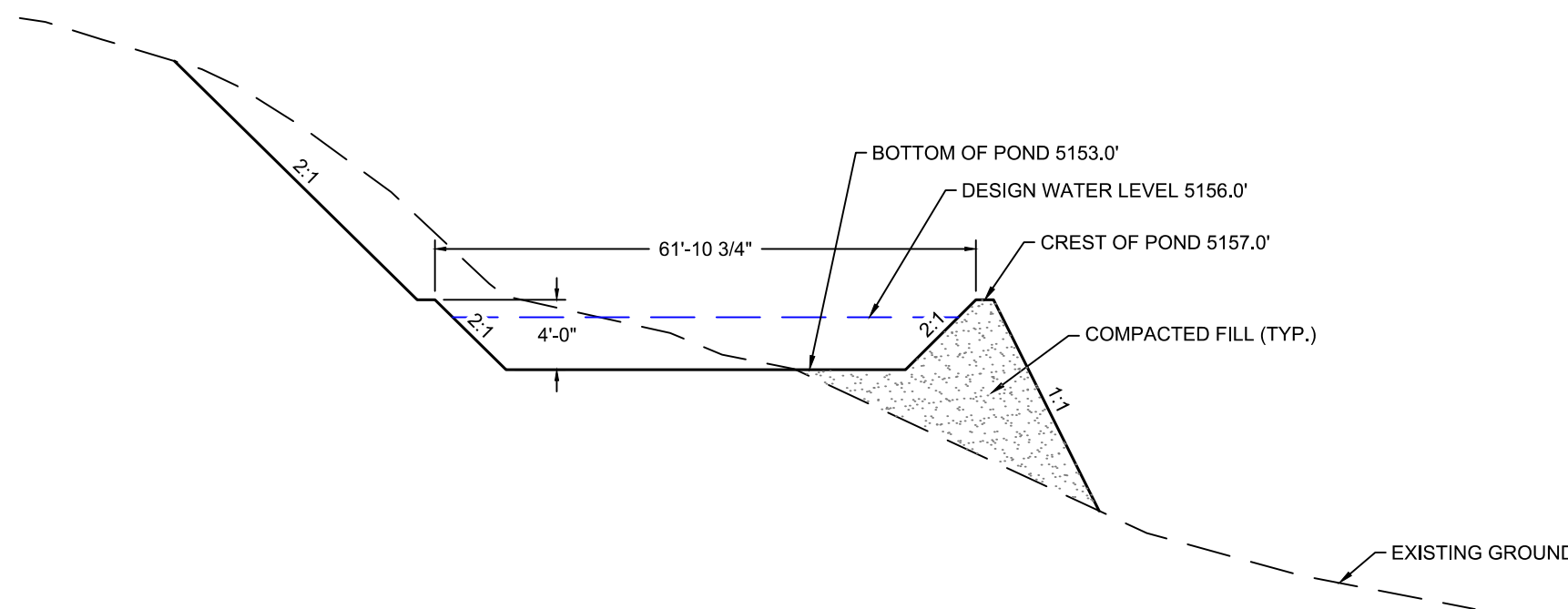
1" = 20'



- Notes:
- Contractor to submit seed mix to Naples City for approval prior to application.
 - Final acceptance and release of completion assurance is contingent on permanent and proven establishment of landscaping.

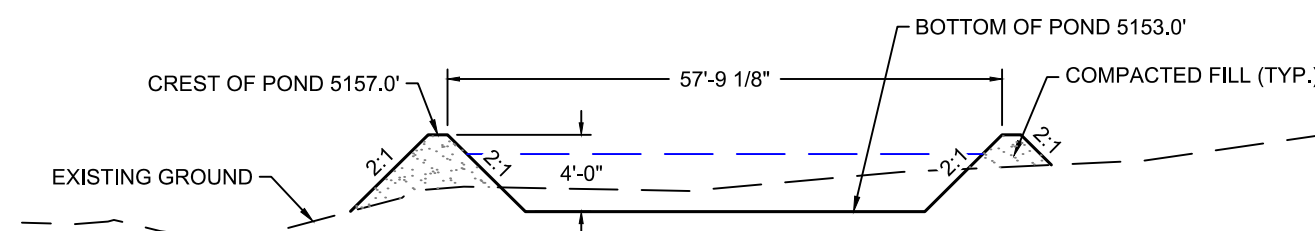
POND DIMENSION TABLE	
TOP LENGTH	*
TOP WIDTH	*
DEPTH	4'
CREST	2'
SLOPE	2:1

* VARIES, SEE PLAN



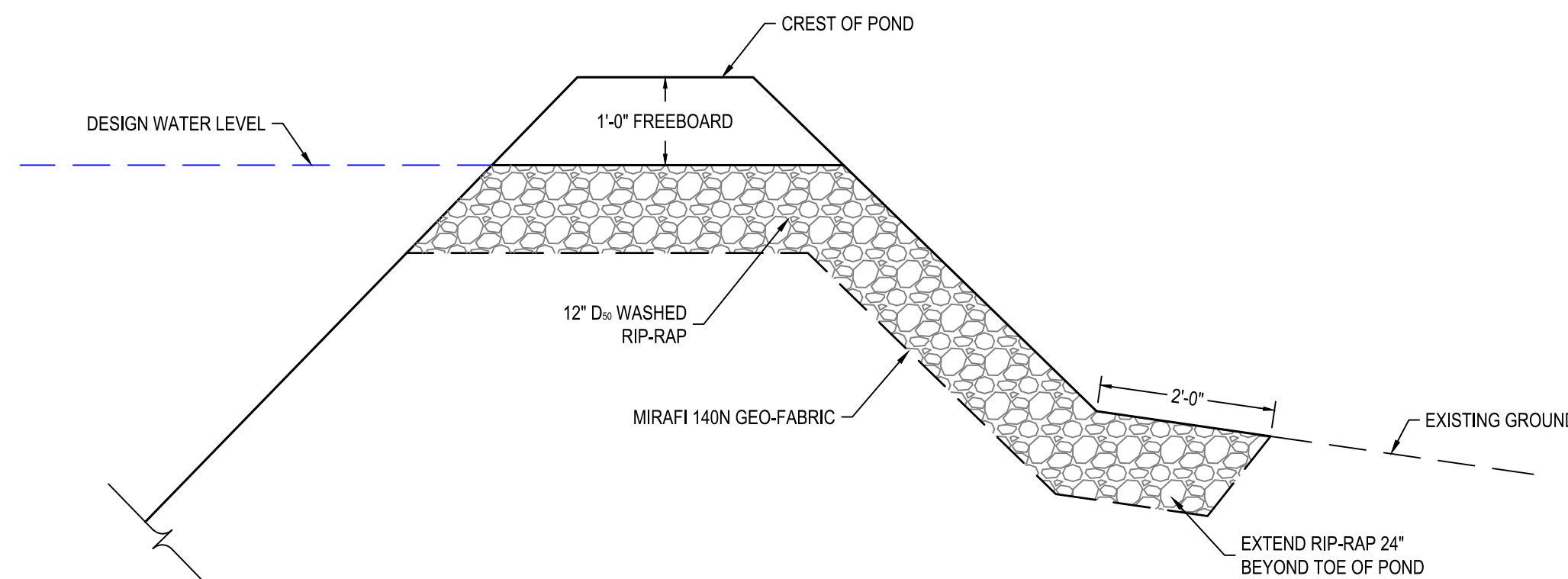
RETENTION BASIN CROSS SECTION – A-A

H: 1" = 20' V: 1" = 10'



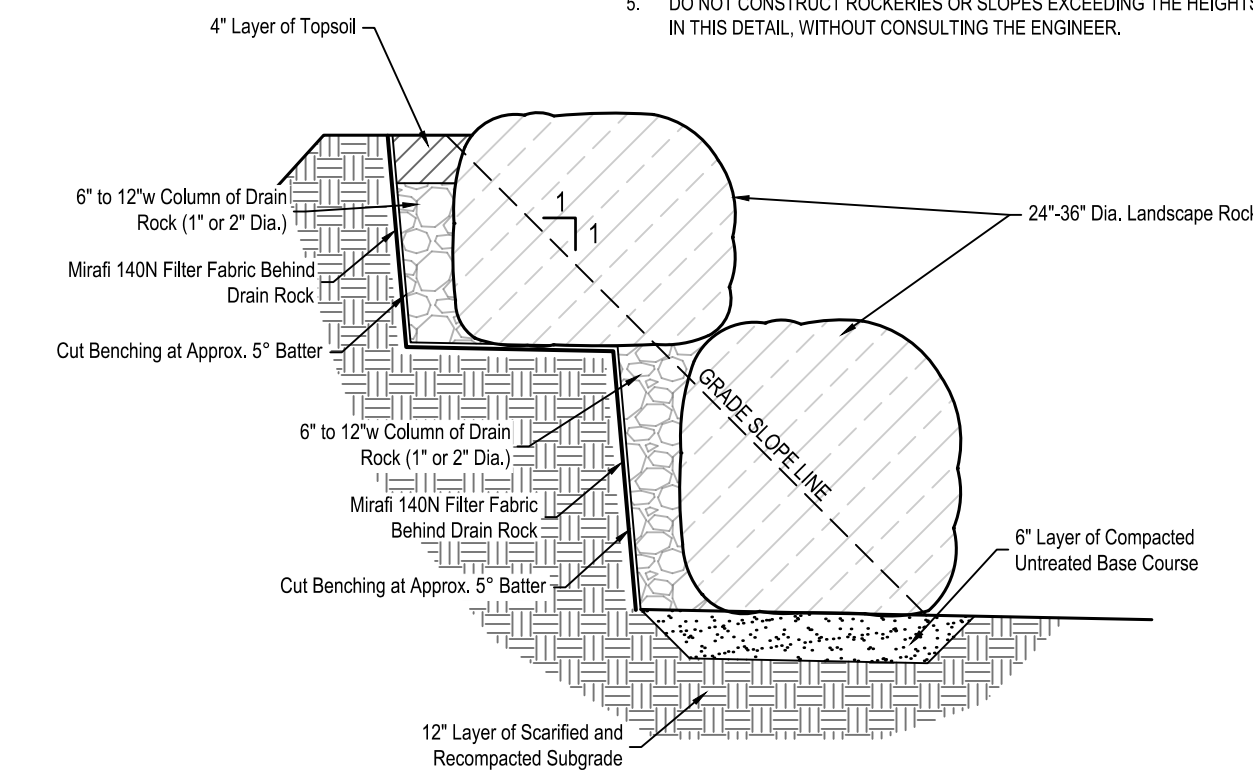
RETENTION BASIN CROSS SECTION – B-B

H: 1" = 20' V: 1" = 10'



10'w OVERFLOW SPILLWAY DETAIL, CROSS-SECTION C - C

- NOTES:
- PLACE EACH ROCK INDIVIDUALLY BY EQUIPMENT SUITABLE FOR LIFTING, MANIPULATING, AND PLACING ROCKS OF THE SIZE AND SHAPE SPECIFIED. ENSURE THAT EACH ROCK IS FIRMLY SET AND SUPPORTED BY UNDERLYING MATERIALS AND ADJACENT ROCKS. REPOSITION OR REPLACE LOOSE ROCKS.
 - PLACE BASE, FACING, AND CAP ROCKS SO THAT THEIR HEIGHT DIMENSIONS IS NOT GREATER THAN THEIR WIDTH. THE LONGEST DIMENSION OF THE BASE, FACING, AND CAP ROCKS IS PERPENDICULAR TO THE FACE OF THE ROCKERY.
 - WHERE LOOSE, SOFT, OR OTHERWISE UNSUITABLE FOUNDATION SOIL CONDITIONS ARE ENCOUNTERED, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS.
 - STABILITY OF TEMPORARY CUT SLOPES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - DO NOT CONSTRUCT ROCKERIES OR SLOPES EXCEEDING THE HEIGHTS SHOWN IN THIS DETAIL, WITHOUT CONSULTING THE ENGINEER.

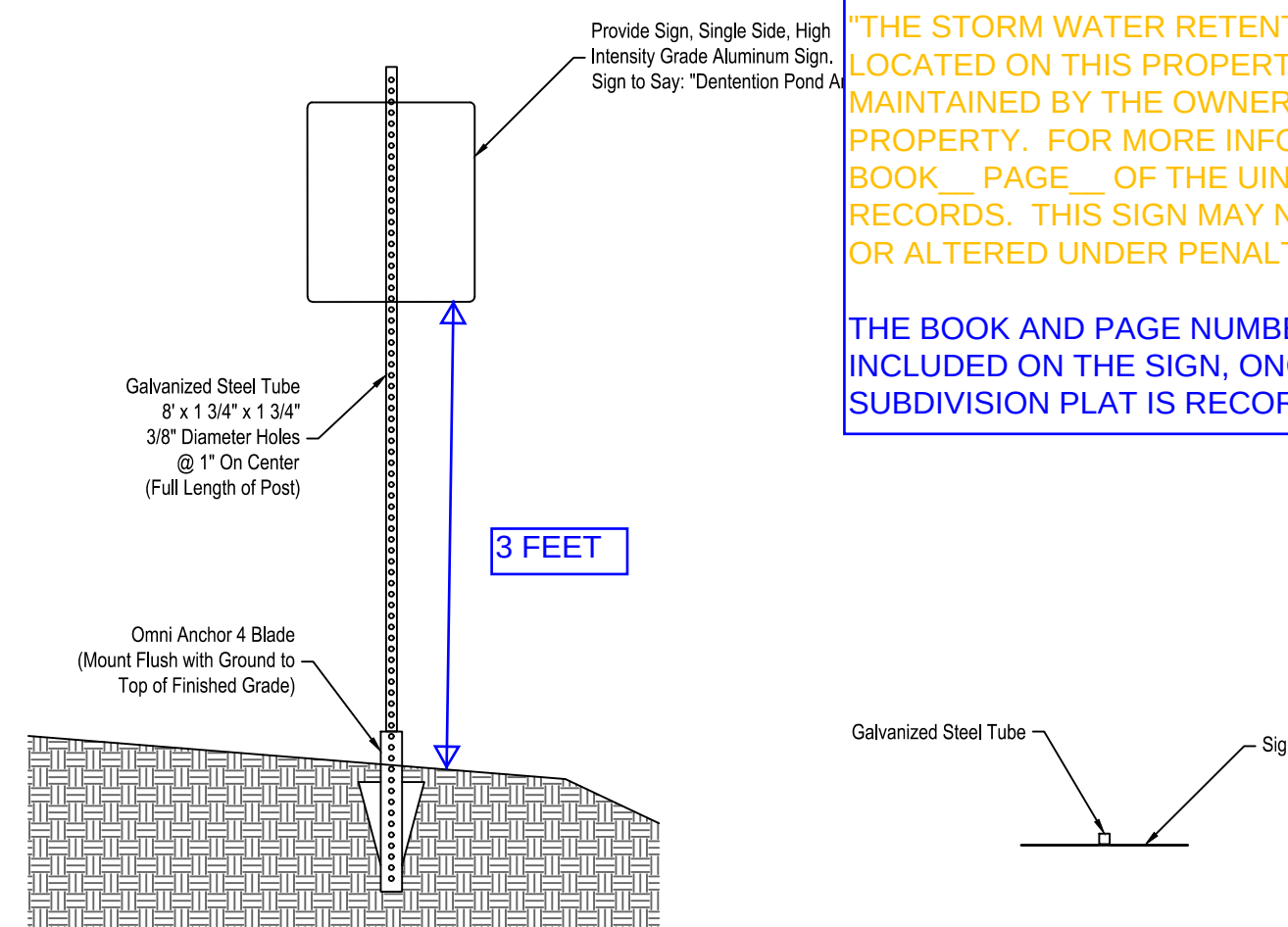


ROCK RETAINING WALL ON 1:1 SLOPE
NO SCALE

SIGN SHALL BE 2'W X 1'H
LETTERS SHALL BE UPPERCASE AND SHALL BE
1-INCH TALL (MIN). THE LANGUAGE TO BE
INCLUDED ON THE SIGN IS AS FOLLOWS:

"THE STORM WATER RETENTION AREA
LOCATED ON THIS PROPERTY SHALL BE
MAINTAINED BY THE OWNER(S) OF THE SAME
PROPERTY. FOR MORE INFORMATION, SEE
BOOK PAGE OF THE UTAH COUNTY
RECORDS. THIS SIGN MAY NOT BE REMOVED
OR ALTERED UNDER PENALTY OF LAW."

THE BOOK AND PAGE NUMBER SHALL BE
INCLUDED ON THE SIGN, ONCE THE
SUBDIVISION PLAT IS RECORDED.



ELEVATION VIEW

PLAN VIEW

SIGN DETAIL
NO SCALE

REV	DATE	BY	CHK	DESCRIPTION
1	08/22	CC		ISSUED FOR CITY REVIEW

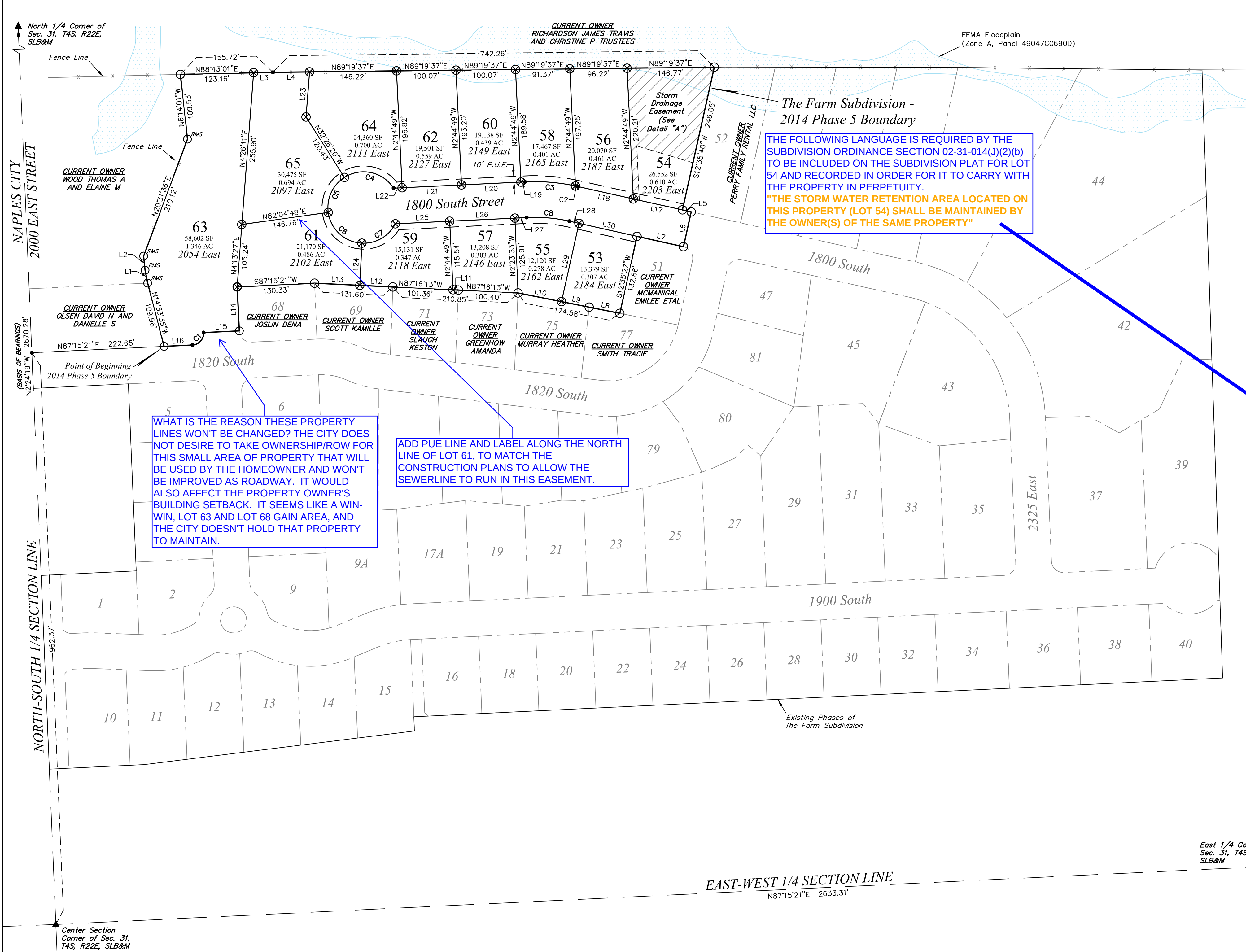
RESPONSIBLE ENGINEER:
PRELIMINARY
NOT FOR CONSTRUCTION

UTILITY DETAILS

SCALE:
DRAWN BY: C.C.
DATE DRAWN: 05-30-23
UCLS FILE NO.: 1 0 8 4
PROJ. NO: NAS01-23-0001
FILE: 2 5 1 9 6

SHEET

C7



KEY

- ⊗ = LOT CORNERS TO BE SET UPON SUBDIVISION APPROVAL (1-1/2" CAP MARKED, 179869 U.E.L.S. ON 5/8" REBAR)
- = LOT CORNERS PREVIOUSLY SET BY UELS
- = COMPUTED POINT, NO MONUMENT SET
- ▲ = SECTION CORNERS
- = EXISTING FENCE
- = PUBLIC UTILITY EASEMENT (P.U.E.)

NASH FAMILY LLC

THE FARM SUBDIVISION

2014 PHASE 5

LOCATED IN THE NE 1/4 OF SECTION 31, T4S, R22E, S.L.B.&M. NAPLES CITY, UTAH COUNTY, UTAH

THE FARM SUBDIVISION – 2014 PHASE 5 BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON AN EXISTING N-S RUNNING FENCE LINE IN THE NORTHEAST 1/4 OF SECTION 31, T4S, R22E, S.L.B.&M., WHICH BEARS N02°24'19"W ALONG THE N-S 1/4 SECTION LINE OF SAID SECTION 962.37 FT AND N87°15'21"E PARALLEL WITH THE E-W 1/4 SECTION LINE OF SAID SECTION 222.65 FT FROM THE CENTER 1/4 CORNER OF SAID SECTION; THENCE THE FOLLOWING (5) CALLS ALONG THE SAID EXISTING N-S RUNNING FENCE LINE TO AN EXISTING E-W FENCE LINE: N14°33'35"W 109.96 FT, N11°17'08"W 22.15 FT, N05°55'08"W 23.72 FT, N20°31'36"E 210.12 FT, N06°14'01"W 109.53 FT; THENCE THE FOLLOWING (2) CALLS ALONG THE SAID EXISTING E-W FENCE LINE TO THE NORTHWEST CORNER OF LOT 52 OF THE FARM SUBDIVISION – 2014 PHASE 5: N88°43'01"E 155.72 FT, N89°19'37"E 742.26 FT; THENCE S12°35'40"W 246.05 FT; THENCE S77°24'20"E 15.19 FT; THENCE S12°35'40"W 60.00 FT; THENCE N77°24'20"W 80.00 FT; THENCE S12°35'27"W 132.66 FT; THENCE N78°40'01"W 174.58 FT; THENCE N87°16'13"W 210.84 FT; THENCE N87°15'23"W 131.60 FT; THENCE S87°15'21"W 130.33 FT; THENCE S02°44'39"E 73.99 FT; THENCE S87°15'21"W 60.00 FT; THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 20.00 FT, AN ARC LENGTH OF 31.42 FT, A DELTA ANGLE OF 90°00'00" AND A CHORD DIRECTION OF S42°15'21"W 28.28 FT; THENCE S87°15'21"W 47.57 FT TO THE POINT OF BEGINNING. CONTAINS ±7.623 ACRES MORE OR LESS.

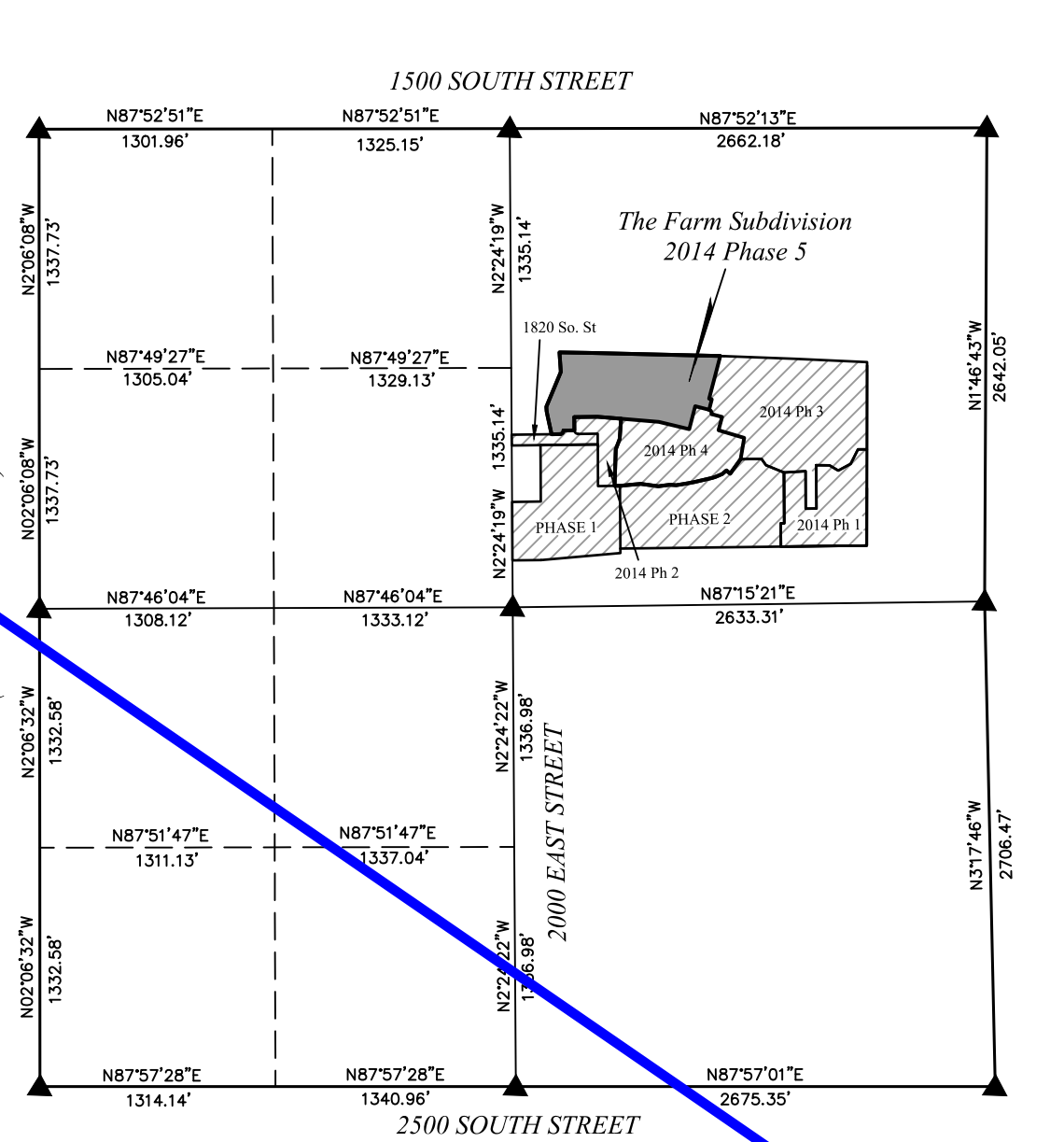
SUMMARY STATEMENT

THE FARM SUBDIVISION – 2014 PHASE 5 CONTAINS ±7.623 ACRES MORE OR LESS. THERE ARE 13 RESIDENTIAL LOTS THAT MAKE UP THE SAID PHASE. ASSUMING ALL 13 LOTS WILL CONTAIN A RESIDENTIAL DWELLING, THE ESTIMATED TOTAL PEAK INDOOR WATER DEMAND WILL BE 10,400 GALLONS/DAY ERC (800 GAL/DAY * 13 DWELLING UNITS = 10,400 GAL/DAY) & THE ESTIMATED TOTAL PEAK OUTDOOR WATER DEMAND WILL BE 6,177 GAL/DAY ERC (1/3 ACRE (BUILDABLE) * 25% LANDSCAPE * 5702 GAL/DAY * 13 DWELLING UNITS = 6,177 GAL/DAY). PER FEMA FLOOD PLAIN MAP PANEL #49047C06900 THERE ARE 100 YEAR FLOOD WATERS THAT AFFECT SOME LOTS OF SAID PHASE OF THE FARM SUBDIVISION AS SHOWN ON THIS PLAT.

UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHALL BE WITHIN THE RIGHT OF WAY OF THE PROPOSED STREET AND 10 FEET ALONG THE STREET FRONTAGE OF EACH LOT AS SHOWN.

ALSO, A STORM DRAINAGE EASEMENT ON A PORTION OF LOT 54 OF THE FARM SUBDIVISION – 2014 PHASE 5, LOCATED IN THE NE 1/4 OF SECTION 31, T4S, R22E, S.L.B.&M., THE BOUNDARY OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST PROPERTY CORNER OF SAID LOT 54; THENCE N02°44'49"W ALONG THE WEST LINE OF SAID LOT 54 220.21 FT TO THE NORTHWEST CORNER OF SAID LOT 54; THENCE N89°19'37"E ALONG THE NORTH LINE OF SAID LOT 54 146.77 FT TO THE NORTHEAST CORNER OF SAID LOT 54; THENCE S12°35'40"W ALONG THE EAST LINE OF SAID LOT 54 164.80 FT; THENCE N73°16'49"W 98.71 FT; THENCE S02°44'49"E 91.60 FT TO THE SOUTH LINE OF SAID LOT 54; THENCE N77°27'29"W ALONG THE SOUTH LINE OF SAID LOT 54 10.37 FT TO THE POINT OF BEGINNING, BASIS OF BEARING BEING THE WEST LINE OF THE NE 1/4 OF SAID SECTION 31 WHICH BEARS N02°24'19"W. PARCEL CONTAINS ±0.443 ACRES MORE OR LESS.

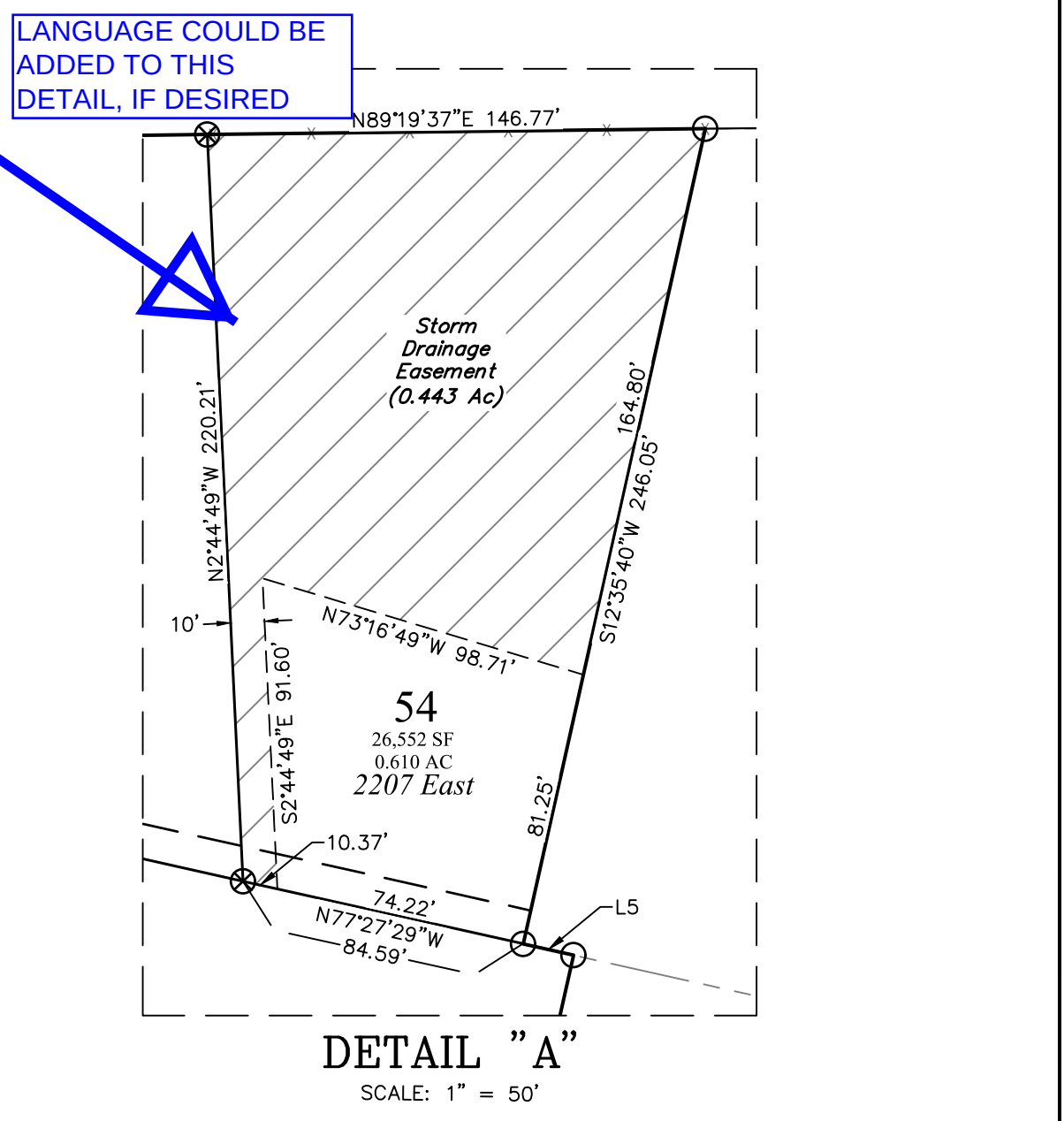


SEC 31, T4S, R22E, S.L.B.&M.

SCALE: 1" = 1000'

CURVE	RADIUS	ARC LENGTH	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	20.00 FT	31.42 FT	90°00'00"	S42°15'21"W	28.28 FT
C2	330.00 FT	3.00 FT	0°31'13"	N77°39'57"W	3.00 FT
C3	330.00 FT	85.36 FT	14°49'15"	N85°20'11"W	85.12 FT
C4	60.00 FT	93.83 FT	89°36'07"	N77°38'17"W	84.56 FT
C5	60.00 FT	68.57 FT	65°28'51"	S24°49'14"W	64.90 FT
C6	60.00 FT	83.08 FT	79°20'12"	S47°35'18"E	76.60 FT
C7	60.00 FT	68.68 FT	65°34'49"	N59°57'12"E	64.99 FT
C8	270.00 FT	72.29 FT	15°20'28"	N85°04'34"W	72.08 FT

LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	N11°17'08"W	22.15'	L11	N87°16'13"W	9.09'	L21	S87°15'11"W	100.00'
L2	N05°55'08"W	23.72'	L12	N87°15'23"W	55.41'	L22	N87°15'11"E	14.35'
L3	N88°43'01"E	32.56'	L13	N87°15'23"W	76.19'	L23	N04°26'11"E	76.05'
L4	N89°19'37"E	61.55'	L14	S02°44'39"E	73.99'	L24	N02°44'36"E	71.08'
L5	S77°24'20"E	15.19'	L15	S87°15'21"W	60.00'	L25	S87°15'11"W	91.50'
L6	S12°35'40"W	60.00'	L16	S87°15'21"W	47.57'	L26	S87°17'45"W	109.77'
L7	N77°24'20"W	80.00'	L17	N77°27'29"W	84.59'	L27	S87°15'11"W	19.89'
L8	N78°40'01"W	52.58'	L18	N77°21'35"W	96.73'	L28	N77°24'20"W	16.51'
L9	N78°40'01"W	47.45'	L19	N87°15'11"E	6.90'	L29	N12°35'36"E	134.95'
L10	N78°40'01"W	74.55'	L20	S87°15'11"W	100.00'	L30	N77°21'46"W	100.03'



OWNER'S DEDICATION

THE UNDERSIGNED OWNER(S) DO HEREBY CERTIFY THAT THEY ARE ALL OF THE OWNERS (OR HAVE LEGAL AUTHORITY, WHICH IS ATTACHED TO THIS INSTRUMENT ON BEHALF OF THE OWNERS) OF THE FOREGOING DESCRIBED TRACTS OF LAND, AND DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, BLOCKS, AND UTILITY EASEMENTS AS SHOWN ON THIS PLAT THEREOF, WHICH IS HEREBY MADE A PART HEREOF, AND ASSIGN TO THE LANDS INCLUDED IN SAID PLAT OF THE NAME OF "THE FARM SUBDIVISION-2014 PHASE 5" SUBDIVISION.

THE UNDERSIGNED OWNER(S) FURTHER HEREBY DEDICATE, GRANT AND CONVEY TO NAPLES CITY ALL THOSE PARTS OR PORTIONS OF SAID TRACTS OF LAND DESIGNATED ON THIS PLAT AS RIGHT-OF-WAYS AND/OR STREETS (1800 SOUTH STREET), THE SAME TO BE USED AS PUBLIC THOROUGHFARES, FOREVER AND GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER AND UNDER THE LAND DESIGNATED ON THE PLAT AS PUBLIC UTILITY EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AS MAY BE AUTHORIZED BY NAPLES CITY.

DATED THIS _____ DAY OF _____, 20____.

SIGNATURE: _____

NAME _____

TITLE _____

NASH FAMILY, LLC

STATE OF _____

COUNTY OF _____,SS:

ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME,

_____, WHO BEING BY ME DULY SWORN DID SAY THAT HE/SHE IS/ARE THE

MANAGING MEMBER OF _____

_____, LLC AND THAT THE FOREGOING INSTRUMENT WAS DULY AUTHORIZED BY THE

LLC AT A LAWFUL MEETING HELD OR BY AUTHORITY OF ITS OPERATING AGREEMENT AND SIGNED IN BEHALF OF SAID LLC.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

RESIDING AT: _____.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

THE NAPLES CITY PLANNING COMMISSION HEREBY CERTIFIES THAT THE FOREGOING PLAT AND DEDICATION OF "THE FARM SUBDIVISION-2014 PHASE 5", WAS APPROVED BY SAID COMMISSION.

THIS _____ DAY OF _____, 20____.

CHAIRMAN, NAPLES CITY PLANNING COMMISSION _____

MAYOR AND CITY COUNCIL APPROVAL AND ACCEPTANCE

THIS IS TO CERTIFY THAT THIS PLAN AND DEDICATION OF "THE FARM SUBDIVISION – 2014 PHASE 5" SUBDIVISION IN NAPLES CITY WERE DULY APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF NAPLES CITY ON _____

THIS _____ DAY OF _____, 20____.

MAYOR _____ ATTEST: _____

CITY RECORDER _____

CITY LAND USE ADMINISTRATOR APPROVAL

I HAVE EXAMINED THE PROPOSED PLAT AND IN MY OPINION IT CONFORMS WITH THE NAPLES CITY ORDINANCES APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

DATED THIS _____ DAY OF _____, 20____.

NAPLES CITY LAND USE ADMINISTRATOR _____

ASHLEY VALLEY WATER & SEWER CERTIFICATE OF APPROVAL

I HAVE EXAMINED THE PROPOSED PLAT AND IN MY OPINION THEY CONFORM WITH ASHLEY VALLEY WATER & SEWER STANDARDS APPLICABLE THERETO AND NOW IN FORCE AND EFFECT. SEWER & WATER WILL BE MADE AVAILABLE ONCE CONDITIONS ARE MET.

DATED THIS _____ DAY OF _____, 20____.

ASHLEY VALLEY WATER & SEWER _____

CITY ATTORNEY APPROVAL

I HAVE EXAMINED THE PROPOSED PLAT AND IN MY OPINION IT CONFORMS WITH THE NAPLES CITY ORDINANCES APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

DATED THIS _____ DAY OF _____, 20____.

CITY ATTORNEY _____

UINTAH COUNTY FIRE MARSHALL CERTIFICATE OF APPROVAL

I, _____, HAVE EXAMINED THE PROPOSED "THE FARM SUBDIVISION – 2014 PHASE 5" AND IN MY OPINION IT CONFORMS WITH ORDINANCES APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

DATED THIS _____ DAY OF _____, 20____.

UINTAH COUNTY FIRE MARSHALL _____

CERTIFICATE OF SURVEY

I, HAROLD N. MARSHALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PLAT HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE FOREGOING DESCRIPTION OF LANDS INCLUDED IN SAID SUBDIVISION, BASED ON DATA COMPILED FROM THE RECORDS OF THE UTAH COUNTY RECORDER'S OFFICE AND OF A SURVEY MADE ON THE GROUND. I HAVE READ THE CURRENT ZONE REQUIREMENTS, IN MY PROFESSIONAL OPINION THE LOTS DESCRIBED HEREON COMPLY WITH THE CURRENT ZONE, AND ALL INFORMATION REQUIRED BY ORDINANCE OR STATE LAW TO BE INCLUDED ON THE PLAT IS DULY AND ACCURATELY SHOW THEREON AND THAT ALL MEASUREMENTS HAVE BEEN VERIFIED AND MONUMENTS PLACED AS SHOWN THEREON.

DATED THIS _____ DAY OF _____, 20____.

ISSUED FOR REVIEW

SURVEYOR UTAH LICENSE NUMBER: 179869

CERTIFICATE OF ENGINEERING

I, HAROLD N. MARSHALL, A REGISTERED PROFESSIONAL, CERTIFY THAT I HAVE CAREFULLY INVESTIGATED THE NAPLES LAND DEVELOPMENT ORDINANCE AND THAT THE DETAILS AND CONSTRUCTION DRAWINGS COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY'S ORDINANCE.

DATED THIS _____ DAY OF _____, 20____.

ISSUED FOR REVIEW

REGISTERED CIVIL ENGINEER

UTAH LICENSE NUMBER: 179869

SIGNATURE PLAT

UINTAH ENGINEERING & LAND SURVEYING

PHONE: (435) 789-1017

85 SOUTH 200 EAST – VERNAL, UTAH 84078

SCALE: 1"=100'

REV DATE BY DESCRIPTION

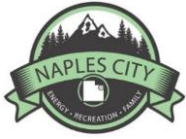
SURVEYED BY: K.J.B., H.N.M, PH

SHEET: _____

SHEET 1 OF 1

DRAWN BY: CC

FILE: THE FARM SUBDIVISION 2 5 4 1 1



Item No: 2

MEMO TO: Planning Commission FROM: Staff Date: July 20, 2023	Subject: Water Connection Discussion
Staff Recommendation:	
Background: Ashley Valley Water & Sewer has issued a moratorium on culinary water connections. Staff to discuss with Planning Commission how they see The City moving forward with this.	
Options: ____ Bring back for further discussion ____ Accept proposed changed ____ Reject proposed changes	

v

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.



Item No: 2

MEMO TO: Planning Commission

FROM: Staff

Date: July 20, 2023

Subject:

R3 Zone Changes

Staff Recommendation:

Background:

Ken McBride originally proposed that changes be made to the R3 zone. In discussion during Planning Commission Meetings and within the office, it was proposed by Staff that changes to the R3 zone be made.

Options:

_____ Bring back for further discussion

_____ Accept proposed changes

_____ Reject proposed changes

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

CHAPTER 02-11 R-3 RESIDENTIAL ZONE R-3

Section	02-11-001	Purpose and Intent
Section	02-11-002	Permitted Uses
Section	02-11-003	Use Regulations
Section	02-11-004	Minimum Lot Area Requirements
Section	02-11-005	Minimum Width Requirements
Section	02-11-006	Off-street Parking Requirements
Section	02-11-007	Height Requirements
Section	02-11-008	Locations Requirements
Section	02-11-009	Special Provisions
Section	02-11-010	Open Space

02-11-001 PURPOSE AND INTENT

The R-3 Residential Zone has been established as a zone for family residential purposes with a higher density than both the R-1 and R-2 zones, to provide a setting for medium density residential living by commingling single-family homes, twin homes, duplexes, and multi-family dwellings, plus parks, playgrounds, schools, churches, and other community facilities to serve the residents of the zone..

This zone is characterized by more compact development and should be designed to include neighborhoods that incorporate open space with convenient pedestrian and bicycle access, which maintains connectivity between adjoining property, among residential, office, and recreational areas of the City. Industrial uses are not permitted in this zone.

Additionally, the zone has been established to promote the following:

1. High quality, innovative and creative development that includes a mixture of uses, heights and setbacks, varying densities and lot sizes and sufficient diversity of housing types to meet the full life cycle of housing needs for residents within the City of Naples;
 2. Promote useable recreation areas, parks, trails, and open space. ~~Preservation of open space;~~
 3. Recreational uses that meet or exceed the needs of the residents;
 4. A pedestrian environment which encourages transit and bicycle usage; and
 5. A desirable living environment with unique identity and character.
- ~~5.6. Provide increased density of up to 12 units per acre.~~

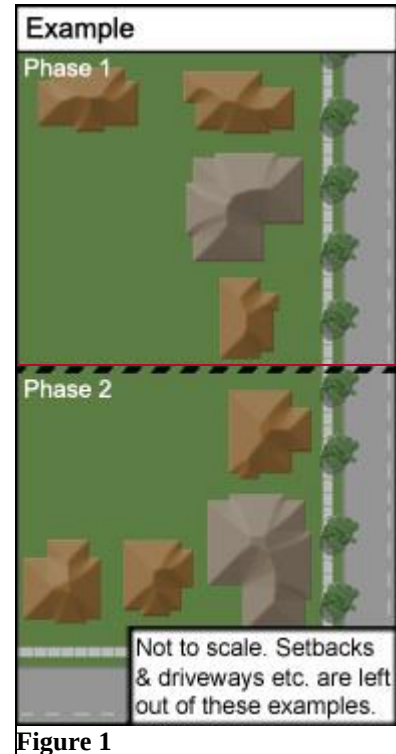
~~The R-3 zone will be designed to include neighborhoods, that incorporate open space with convenient pedestrian and bicycle access, which maintains connectivity between adjoining property, among residential, commercial, office, retail and recreational areas of the City.~~

In order to accomplish the objectives and purposes of this ordinance, and to stabilize and protect the essential characteristics of the zone, the following regulations shall apply in the R-3 Residential Zone:

02-11-002 PERMITTED USES

The following buildings, structures, and uses of land shall be permitted, upon compliance with the requirements set forth in this ordinance:

1. Single family detached dwelling
2. Multi-family dwellings containing duplex, triplex, fourplex, and/or row housing containing no more than six (6) dwelling units. ~~containing four (4) or less dwelling units placed at a ratio of not more than one multi-family unit to three (3) single family units. In a multi-phase development, this ratio shall never exceed 1:3 in a single phase. See Figure 1 to the right for an example.~~
3. Churches;
- ~~4. Government buildings or uses, non-industrial;~~
- ~~5.4.~~ Parks, trails and/or playgrounds;
- ~~6.5.~~ Recreation Centers;
- ~~7.6.~~ Schools;
- ~~8.7.~~ Temporary building for uses incidental to construction work. Such shall be removed upon the completion of the construction;
- ~~9. Public utility stations~~
- ~~10. Day-care nurseries, which have been approved by the appropriate state and local agencies. Day-cares permitting more than 8 children are prohibited.~~
- ~~11.8.~~ Home occupations, in accordance with Chapter 13 this ordinance.
- ~~12.9.~~ Home gardens
10. Accessory buildings such as garages and sheds.



02-11-003 USE REGULATIONS

Uses may be conducted in the R-3 Zone only in accordance with the following regulations:

1. Multi-family dwellings units shall be attached horizontally, and shall not exceed 6 attached units per building.
2. Multi-family projects shall include a variety of unit sizes and shall include a variety of building colors and materials.
3. The maximum area of any lot that may be covered by structures is seventy-five (75) percent.

- ~~1.4.~~ There shall be no open storage of trash, debris, used materials or commercial goods or wrecked or neglected materials, equipment or vehicles in the Zone. No commercial materials, inventory, or equipment may be stored in the open.
- ~~2.5.~~ It shall be unlawful to park, store, ~~or~~ leave, or to permit the parking, storing, or leaving of any vehicle of any kind or part(s) thereof, which is in a wrecked, junked, dismantled, inoperative or abandoned condition, whether attended or not, upon any private or public property within the Zone for longer than seventy-two (72) hours, except that up to two such vehicles or parts thereof may be stored completely within an enclosed building.
- ~~3.6.~~ No commercial vehicle or commercial earth moving or material handling equipment shall be parked or stored on any lot or parcel in the Zone except in conjunction with temporary development or construction activities on the lot. Commercial vehicles shall include semi-trucks and trailers, trucks and trailers equaling or exceeding 12,000 lb. curb weight, delivery vehicles, dump trucks, back hoes, graders, loaders, farm implements, cement trucks, bulldozers, belly dumps and scrapers, forklifts or any similar vehicle or apparatus.

02-11-004 MINIMUM LOT AREA REQUIREMENTS

1. The minimum lot area for a single-family dwelling is ~~7~~6,000 square feet.
2. ~~The minimum lot area for a two-family dwelling is 8,000 square feet. The~~ minimum lot area for duplex or twin home is 9,000 square feet, plus 1,500 additional square feet of lot area for each additional dwelling unit above 2 units, with a maximum of 6 units per building.
- ~~3. The minimum lot area for a three-family dwelling is 9,000 square feet.~~
- ~~4. The minimum lot area for a four-family dwelling is 10,000 square feet.~~
- ~~5.3.~~ The minimum lot area for a church, school, ~~or government building~~ is 20,000 square feet.
4. The minimum lot area for any other permitted use is 10,000 square feet.
- ~~6.5.~~ In no case shall there be more than 12 units per acre.

02-11-005 MINIMUM WIDTH REQUIREMENTS (MEASURED AT BOTH FRONT ¹ROAD RIGHT-OF-WAY AND SETBACK LINES)

1. The minimum lot width for a single-family dwelling is ~~60~~80 feet.
2. The minimum lot width for a two-family dwelling is 90 feet.

¹ Amended Feb 25, 2021

3. ~~The minimum lot width for a three- or four-family dwelling is 100 feet.~~
- 3.4. The minimum lot width for any multi-unit dwelling is 60 feet per unit at front property line.
- 4.5. The minimum lot width for any other permitted use shall be 100 feet.

02-11-006 OFF-STREET PARKING REQUIREMENTS

1. A minimum of ~~two (2)~~ **three (3)** off-street parking places shall be provided for each dwelling unit. Driveways must be a minimum of thirty (30) feet long in order to keep sidewalks and streets clear of larger vehicles. See Chapter 02-15 Off-street Parking Regulations for more information on parking regulations.
2. Guest parking shall be provided at a ratio of 0.25 stalls per unit.
3. Guest parking shall be located within 200 ft of the dwelling unit.
4. Driveways shall not be counted towards the guest parking requirements.
5. Accessible parking spaces shall be provided in off-street parking areas and shall count towards fulfilling the minimum requirements for guest parking.
6. All landscaped areas abutting any paved surface shall be curbed. Boundary landscaping around the perimeter of the parking areas shall be separated by concrete curbs six inches higher than the parking surface.
- 1.7. Clear Sight Triangle 02-14-20

02-11-007 HEIGHT REQUIREMENTS

~~Minimum – None~~

Maximum – Thirty-five (35) feet above grade. Church steeples are exempt from this requirement.

02-11-008 LOCATION REQUIREMENTS

MINIMUM SETBACKS FROM ²ROAD RIGHT-OF-WAY LINES:

1. Main buildings on INTERIOR (non-corner) LOTS:
 - Front: 24 feet
 - Side: 8 feet (20 feet minimum for both sides combined)
 - Rear: 20 feet
2. Main buildings on CORNER LOTS:
 - Front: 24 feet
 - Side: 20 feet on street-side, and 8 feet on interior side
 - Rear: 20 feet (8 feet for dwellings with attached garage or carport)
3. Main buildings on CUL-DE-SAC LOTS:

² Amended Feb 25, 2021

Front: 24 feet measured perpendicular to a straight line between the front lot corners, and no less than 20 feet from the turn-around or cul-de-sac right-of-way.

Side: 8 feet

Rear: 20 feet measured perpendicular from the rear wall of the home to the lot line. In no case shall any part of the home be closer than 5 feet to any lot line, and in no case shall any two homes on adjacent lots be closer than 10 feet.

4. Accessory buildings³:

Front: 24 feet

Side: 3 feet unless the accessory building is located within 5 feet of the rear of the main building, then the side setback is the same as the main building.

Rear: 3 feet.

One story detached accessory structures located 5 or more feet behind the main building are exempt from permit and location requirements provided that the floor area does not exceed 200 square feet.

Setbacks are measure from either the property line or the back of curb or sidewalk, whichever is furthest from public right-of-way. Porches may not be built in the setback area, but steps leading up to porches may be built in the setback area.

Regardless of orientation, the closest a main building may be to any property line is 8 feet.

Each dwelling unit shall front upon an access road whether it be a city or private road, and shall have a front and rear yard. .

02-11-009 SPECIAL PROVISIONS

1. Plans showing proposed off-street parking layout and landscaping for ~~the development churches and schools~~ shall be submitted to and approved by the city ~~Planning Commission building official~~ prior to the issuance of a building permit. Said plans shall provide that all land not covered by buildings or by off-street parking space shall be landscaped as lawn, trees, shrubs, gardens, or ground cover and otherwise landscaped and maintained in accordance with good landscaping practice.
2. A bond or other financial guarantee shall be required, guaranteeing landscaping, ~~streets, sidewalk, curb, gutter, lighting~~, and other improvements

³ Amended Feb 24, 2022

within a year of occupancy. See 02-31 Subdivisions for the procedures of bonds.

~~3.— At least eighty percent of the lot area not covered by buildings or parking shall be maintained as landscaped area and shall be kept free from refuse and debris.~~

4. All residential dwellings shall be connected to a public sewer system.
5. The design for curb and gutter shall be either high back or modified high back according to UDOT standards.
6. All dwellings shall be supplied with culinary water, and plumbed in accordance with the current edition of International Plumbing Code in Utah.

7. All new residential developments shall have curb, gutter, and a minimum 5 foot wide sidewalk, all of which adhere to ADA standards. ~~A minimum 4 foot wide green strip is required between the sidewalk and the street. The green strip shall be maintained by the developer and/or property owner. Naples City may plow snow into piles on the green strip on occasion in order to keep the streets clear of snow.~~

8. Street lights and street signs shall be located in the green strip and not in the sidewalk.
9. A six-foot-high sight obscuring fence/wall shall be installed for all dwellings, which extends directly from the unit enclosing the entire back yard from each adjoining lot or dwelling unit, to delineate between common and private space. Fencing shall be uniform in design and construction.
10. Clustering of dwelling units is encouraged to allow for larger open spaces. Housing units and open space should be distributed in a manner that does not unduly separate the usable open space from residents.
11. The Land Use Authority may approve variation from applicable development standards of the Naples City Land Use Ordinances, if found that the following conditions are met:
 - a. The granting of the variation will not adversely affect the rights of adjacent landowners or residents.
 - b. The variation desired will not adversely affect the public health, safety, or general welfare; and
 - ~~a.~~c. The granting of the variation will not be opposed to the general spirit and intent of the subdivision code.

02-11-010 OPEN SPACE

Permanent Open Space shall be landscaped and shall ~~or natural area or farmland which is established to~~ provide and preserve recreational, agricultural or other uses in the R-3 Zone as approved by the City. The development as a whole shall include a minimum 20% open space. Recreation/Open Space will be recorded as a lot or lots in subdivisions or as common areas ~~on in condominium~~ plats and shall be located according to environmental conditions and infrastructure needs. All open spaces shall be maintained with perpetual open space or conservation easements. Privately owned open space shall be preserved and properly maintained by the owners ~~or through taxing districts,~~ owners' associations with power to assess and collect fees for maintenance or other assessment and maintenance mechanisms acceptable to the City Council. Open space may not include private lot or individually owned yard areas. ~~Park strips located within city right of ways are permitted as open space.~~ All privately owned open spaces which are accessible to the public either free of charge or through payment of a fee may be included in the required open space of the Zone.

1. Open space may include parks, playgrounds, sidewalks, non-motorized pathways, trails, and outdoor amenities may be computed into the open space requirement.
2. Open space excludes private balconies, decks, patio areas, recreation buildings, indoor amenities, vehicle parking, street, and streetscape sidewalks.
3. Open space should be clustered to create the most beneficial and efficient use of space.