

Agenda

Naples City Planning and Zoning Commission

April 20, 2023 at 7:30 p.m.
Naples City Council Room
1420 East 2850 South
Naples, Utah 84078

THIS IS A REGULARLY SCHEDULED PLANNING AND LAND USE MEETING

OPENING CEREMONIES

STANDING BUSINESS

- Verification of Full Quorum & Designation of Voting Members:

<u>Commissioner</u>	<u>Voting</u>	<u>Commissioner</u>	<u>Voting</u>
Chris Clark (Chairman)	Y N	Scott Major	Y N
Scott Adams (Vice-Chairman)	Y N	Kevin Hiatt (A)	Y N
Andrew Bentley	Y N	Brock Arnold (A)	Y N
Jessy McKee	Y N		

- Approval of Agenda – April 20, 2023
- Disclosures
- Approval of Minutes – March 16, 2023

PUBLIC HEARING

1. 02-15 OffStreet Parking Regulations
 - Public Hearing, Discussion

PLANNING/DISCUSSION

2. Brad Walker- Proposed Ordinance Change
 - Discussion
3. Cliff Grua- The Farm Subdivision 2014 Phase 5
 - Concept Plan
4. Cliff Grua- The Farm Subdivision Roundabout
 - Discussion
5. Commercial Building
 - Proposed site plan

ITEMS FOR FUTURE DISCUSSION

- Highway 40 Rezone

ADJOURN

The next Planning and Zoning meeting will tentatively be held on May 18, 2023

All persons residing within the area served by City of Naples are HEREBY NOTIFIED that the Naples Planning and Zoning Commission will meet on the 3rd Thursday of each month at 7:30pm. All persons concerned with any matter before the Naples Planning and Zoning Commission are invited to attend. If possible, call to get on the agenda, 435-789-9090 NOTE: In compliance with the Americans with Disabilities Act, Individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the Land Use Administrator at 435-789-9090 at the Naples City Office, 1420 East 2850 South, Naples, Utah 84078 at least three days prior to the meeting.

Naples Planning and Land Use
Public Meeting
March 16, 2023

Commission Present: Chris Clark, Jessy McKee, Kevin Hiatt, Scott Adams, Scott Major, Andrew Bentley, Brock Arnold

Commission Absent:

Others Present: Gwen Harrison, Mike Davis, Dean Baker, Stephanie Adams

Opening Ceremonies

Verification of full Quorum Chris Clark verified a full quorum. All Commissioners will be voting in the meeting, Kevin Hiatt and Brock Arnold will not be voting but will participate in the discussion.

Approval of Agenda Scott Major motions to approve the agenda. Scott Adams seconds the motion.

All in favor:

Andrew Bentley	Aye
Chris Clark	Aye
Jessy McKee	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

Disclosures **None**

Approval of Minutes Scott Major motions to approve the February 16, 2023 minutes. Jessy McKee seconds the motion.

All in favor:

Andrew Bentley	Aye
Chris Clark	Aye
Jessy McKee	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

PLANNING/DISCUSSION

**O'Reilly Auto Parts Site Plan
Preliminary Site Plan**

Mike Davis presented the O'Reilly Auto Parts preliminary site plan. Andrew Bentley asked if there was a private drive being built between the site and Microtel. Mike Davis stated no, they will be using the thoroughfare in the subdivision, as dedicated to the city. Andrew Bentley questioned if they were planning on getting semis to deliver product. Chris Clark stated he believes they will not be receiving more than what can fit in a box truck. Scott Major stated the plans state the plants shall be according to the American Nurseryman Standards. Gwen Harrison confirmed that this is correct and all plants listed conform to standards. Chris Clark stated plants and trees are good for this area. Chris Clark stated the building exterior is stucco or brick, and what the colors were. Gwen Harrison stated the exterior is brick and stucco and the colors do match the earthen tone, as required. Andrew Bentley stated the parking lot would flow better if there was an entrance from 1000 South. Mike Davis stated it was communicated but they did not want one at this time.

Commissioner Clark asks for a motion on the O'Reilly preliminary site plan.

Scott Adams motions to accept the preliminary site plan approval for O'Reilly Auto. Andrew Bentley seconds the motion.

All in favor:

Andrew Bentley	Aye
Chris Clark	Aye
Jessy McKee	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

O'Reilly Auto Parts Site Plan Final Site Plan

Andrew Bentley motions to approve the site plan final. Second by Scott Major.

All in favor:

Andrew Bentley	Aye
Chris Clark	Aye
Jessy McKee	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

OffStreet Parking Regulations 02-15

Gwen Harrison presented proposed changes to the OffStreet Parking Regulations. Andrew Bentley questioned if a statement should be added about adding electric vehicle charging stations. Planning Commission directed staff do complete research. Chris Clark directed staff to check that the commercial zone requires pavement, as we don't want gravel in a commercial zone, and add a statement referencing that in this chapter. Gwen Harrison suggested removing the requirement for 10-foot landscaping strip, and referring to the zone in which the parking will be located. Andrew Bentley questioned if the 10-foot landscaping was a previous requirement. Scott Major suggested taking out the 5-foot perimeter requirement. Kevin Hiatt questioned if that would be addressed in the commercial zone. Chris Clark stated this would be a good item to reference in the zone. Chris Clark suggested a statement be added that even if Planning Commission approves a fence within 25-feet of the front property line, that it can't be over 4-feet to prevent obscuring visibility and clear view triangles. Chris Clark directed staff to make changes and bring back for a public hearing.

Rezone Highway 40 to Commercial

Mike Davis presented the Planning Commission with a map of current properties on Highway 40. Andrew Bentley questioned if the properties currently zoned industrial, if they will have to repave. Chris Clark stated the only trigger they would have to update is if the property is developed or a major remodel. Brock Arnold questioned what the negative impact would be to change properties to commercial. Gwen Harrison stated the buildings are built as industrial and industrial uses. Scott Major stated the change would show that we want more commercial businesses on our main thoroughfare. Andrew Bentley stated the down side is it might box in the buildings now should they decide they want to do something industrial later on. Gwen Harrison stated there is an option to grandfather the property and building with a non-conforming/non-complying use with the understanding they would always be industrial until the time they ever change the use to commercial. Jessy McKee stated this would take care of his concerns, as long as we work with the property owners. Gwen Harrison stated this would be something that could be filed with the County Recorder so that it is searchable on the property, including when a title search is done. Mayor Baker stated this is really the only area for commercial to be in the city, there is really no other area to go. Gwen Harrison stated the non-conforming use could specifically list that as long as the building is used for industrial use, they would be able to operate fully as-is, but once the use changes to commercial, it would change the use to commercial going forward. Kevin Hiatt questioned if that would limit add or removing

buildings in the industrial zone. Gwen Harrison stated no, that as long as it is stated in the conforming use document, they would be able to operate as normal. Andrew Bentley stated we are about to do something pretty big that for a lot of these people, won't be able to be undone and we want everyone to do it with their eyes open and knowing what they are committing to. Scott Major stated he likes the idea.

ITEMS FOR FUTURE DISCUSSION

ADJOURN

Commissioner Clark asks for a motion to adjourn.

Scott Adams motions to adjourn, Andrew Bentley seconds the motion.

All in favor:

Andrew Bentley	Aye
Chris Clark	Aye
Scott Adams	Aye
Scott Major	Aye

All Opposed

Jessy McKee	Aye
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Motion carried with majority voting Aye.

The next Planning and Zoning meeting will tentatively be held April 20, 2023 in the Naples City Council Chambers @ 7:30 P.M.



Item No: 1

MEMO TO: Planning Commission FROM: Staff Date: April 20, 2023	Subject: 02-15 OffStreet Parking Regulations Proposed Ordinance Change
Staff Recommendation: Approve proposed ordinance changes	
Background: Proposed changes for the OffStreet Parking Regulations.	
Options: _____ Approve the proposed ordinance changes _____ Reject the proposed ordinance changes _____ Table the proposed ordinance changes and bring back for further discussion	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

CHAPTER 02-15 OFFSTREET PARKING REQUIREMENTS

Section 02-15-001	Purpose
Section 02-15-002	General Provisions for Off street Parking and Loading
Section 02-15-003	Site Plan Required
Section 02-15-004	Computation of Off street Parking Spaces
Section 02-15-005	Design Standards for Off Street Parking and Loading Spaces
Section 02-15-006	Parking Lot Access
Section 02-15-007	Stacking
Section 02-15-008	Parking Lot Layout
Section 02-15-009	Compact Car Design
Section 02-15-010	Handicapped Parking
Section 02-15-011	Landscaping and Screening
Section 02-15-012	Lighting
Section 02-15-013	Surfacing
Section 02-15-014	Grading
Section 02-15-015	Storage
Section 02-15-016	Off street Loading Space Design Standards

02-15-001 PURPOSE

The purpose of these off-street parking requirements is to reduce congestion and traffic hazards in the City by incorporating adequate, attractively designed off street parking and loading facilities for various land uses. Parking areas shall be designed in such a manner that they will result in maximum efficiency, protection of public safety, provide for the special needs of ~~persons with disabilities the handicapped~~, and where appropriate, insulate surrounding land uses from adverse impacts created by such parking.

02-15-002 GENERAL PROVISIONS FOR OFFSTREET PARKING AND LOADING

At the time any new building is constructed, structure additions or enlargements to an existing building, -or use is changed such that there is an increase in the capacity or intensity of the use, off street parking shall be provided as required in compliance with this Chapter. All off street parking and loading facilities within the City shall comply with all of the standards prescribed in this Chapter, and shall be permanently maintained in good condition for the duration of the use or uses served by the facility. All paved areas shall be maintained in good repair without broken parts, potholes, or litter.

For all uses permitted in a residential zone, only fifty (50) percent of the front yard area required by the respective zones shall be used for parking. All home occupations shall abide by parking standards set in Chapter 02-13 Home Occupation.

Required off-street parking spaces shall not be used for the repair of motor vehicles, or the display or sale of goods and services of any kind, unless authorized by a land use application approval.

Off-street parking is prohibited in all access ways, fire lanes, or similar areas not designated for parking purposes. These are shall be posted with "No Parking" signs and/or other means as required.

It is unlawful for any owner of any building or use to discontinue or dispense with the required vehicle parking facilities without providing some other vehicle parking area which meets the requirements of this chapter. Failure to maintain required parking and landscaping in a condition substantially similar to its original approved condition shall be issued a citation by the Code Enforcement Officer ~~a class "B" misdemeanor~~ and shall be cause for suspension of a business license if, within ~~thirty (30)~~ days after the mailing of a violation notice, the violation is not brought into compliance. If, due to cold weather or other environmental condition, the violation cannot be brought into compliance within ~~thirty ten (3010)~~ days, the Planning ~~and Land Use~~ Commission shall consider such conditions and impose a reasonable extension of time for compliance.

02-15-003 SITE PLAN REQUIRED

All applications for a building permit shall be accompanied by a detailed site plan as required in the Design and Development Plan Review chapter of this Title showing the required off street parking spaces. ~~The site plan shall clearly indicate the proposed development, including location, size, shape, design, curb cuts, lighting, landscaping, and other features and appurtenances of the proposed parking area.~~

02-15-004 COMPUTATION OF OFFSTREET PARKING SPACES

The matrix on the following pages contains the minimum parking requirements for specific uses. ~~—The maximum percentage allowed for compact spaces is -25% of the total number of parking spacesalso given.~~ Special requirements for each use are provided under the "Notes" column, where appropriate.

If, in the application of the requirements of this Title, a fractional number is obtained, one parking space or loading space shall be required for each fraction.

If more than one use is located on a site, the number of off street parking and loading spaces to be provided shall be equal to the sum of the requirements of each use.

The number of parking spaces required by these schedules may be reduced or increased as a condition of the development review by the Planning Commission if it can be demonstrated through a parking study that the proposed use(s) would have a parking demand less than or in excess of the requirements stated in this Chapter.

The parking requirements for land uses which are not specified in this chapter shall be recommended by the Land Use Administrator. The determination shall be based upon the requirements for the most comparable use specified herein.

~~(See chart on next page)~~

Off Street Parking Requirements

<u>Use</u>	<u>Minimum Off-street Parking Requirements</u>	<u>Maximum % Compact Spaces Allowed</u>	<u>Notes</u>
Residential RESIDENTIAL			
1. Single Family Dwelling Two Family Dwelling Three Family Dwelling Four Family Dwelling Multiple Family Dwelling	2 spaces per unit	None	Parking one behind the other arrangements for all required parking is prohibited. Minimum off-street parking shall not be located within the minimum required front yard setback. If any dwelling unit is increased by occupant use after the original building permit is issued, the parking requirements shall reflect that increase. No compact parking spaces allowed
2. Multiple Family Units: Studio Units One Bedroom Units Two Bedroom Units Three Bedroom Units	1.3 spaces per unit 1.5 spaces per unit 1.75 spaces per unit 2.0 spaces per unit	25%	If the Planning Commission finds that reducing the two parking spaces per unit ratio is not detrimental to the surrounding area and will enhance the proposed development, it may reduce the parking ratio to these minimums. If any dwelling unit is increased by occupant use after the original building permit is issued, the parking requirements shall reflect that increase.
3. Mobile Home Dwelling Mobile Home Parks	2 spaces per unit	None	Parking one behind the other is permitted provided sufficient visitor parking is located within the park. No compact park spaces allowed.

4. Handicapped or Group Home Housing	A minimum of 2 parking spaces plus 1 parking space for every 4 handicapped persons	None	The Planning Commission may vary off street parking needs in relation to the number of staff/employees required and the special needs of the residents. No compact parking spaces allowed
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~~Health Services~~ HEALTH SERVICES

5. Nursing Homes	1 space per 2.5 beds for nursing and convalescent homes	None	No compact parking spaces allowed
6. Hospitals	2 spaces per bed in the total facility	25%	
7. Medical, Dental Offices and Clinics	1 space per 200 square foot of gross floor area	25%	
8. Veterinarians and Veterinary Hospitals	1 space per 200 square feet of gross floor area	25%	

9. Churches, Auditoriums, Assembly Halls, Mortuaries and other places of public assembly	1 space for each 61/2 feet of linear pew or 31/2 seats in an auditorium provided, however, that where a church building is designed or intended to be used by 2 congregations at the same time, 11/2 parking spaces shall be provided for each 31/2 seats in the auditorium	25%	
10. Day Care, Preschool and Nursery Schools	1 space per 300 square feet of gross floor area	25%	If drop off facilities are contemplated, it shall be designed to provide a continuous flow of vehicles to safely load and unload children without stacking on public streets.
11. Professional Business or Trade Schools	1 space per 75 square feet of gross classroom area plus 1	25%	A parking study may be required by the Planning Commission

	space for each 250 square feet of office area.		
Entertainment and Recreation ENTERTAINMENT AND RECREATION			
12. Amusement Center (Arcade)	1 space per 100 square feet of floor space		
13. Bowling Alleys and Billiard Halls	5 parking spaces per alley and 2 spaces per billiard table	25%	Ancillary uses such as restaurants shall comply with the specific requirements outlined in this chapter
14. Commercial Riding Stables	1 space per 5 horses boarded on site	None	No compact parking spaces allowed
15. Golf Courses Miniature Golf Courses Driving Ranges	6 spaces per hole 3 spaces per hole 1 space per tee	25%	Ancillary uses such as commercial pro shops and restaurants shall provide sufficient parking as required in this chapter
16. Tennis, Handball and Racquetball Facilities	3 spaces per court	25%	Ancillary uses to provide sufficient additional parking as required by this chapter.
17. Movie Theaters	1 space per 3 seats	25%	
18. Health Spas and Sports Complexes	1 space per 200 square feet of gross floor area	25%	Ancillary uses such as restaurants to provide parking as required by this chapter.

Commercial COMMERCIAL			
19. Auto Repair, Service and Auto	3 spaces for each service bay plus 1	25%	If towing service is provided, sufficient area shall be located

Parts Sales	space for every 300 square feet of retail sales area		onsite for temporary storage of vehicles and the tow truck.
20. Auto Sales	1 customer parking space per 400 square feet of gross floor area in the automobile sales area or 5 parking spaces, whichever requirement is greater	25%	
21. Hotels and Motels	1 parking space per guest room, plus 3 parking spaces.	25%	Ancillary uses such as restaurants or retail shops shall provide additional parking as identified for the specific use as required by this chapter.
22. Lumber Yards and Plant Nurseries	1 space per 300 square feet of indoor floor sales area	25%	
23. Professional Offices and Banks	1 space per 250 square feet of gross floor area	25%	Drive up windows shall provide sufficient stacking room and sufficient area for 4 spaces from teller window
24. Restaurants and Fast Food Establishments	1 space per 100 square feet of gross floor area or 1 space for each 2 seats, whichever is greater, plus .5 space for each employee on the highest employment shift with a minimum of 5 spaces for employee parking.	25%	Drive up windows shall provide sufficient stacking room and sufficient area for 4 spaces from place of order and 4 spaces from pickup window
25. Intensive Retail, General Merchandising which is not located in a shopping center	1 space per 250 square feet of gross floor area	25%	
26. Less Intensive Retail	1 space per 300	25%	

Furniture, Carpet	square feet of gross floor area		
27. Shopping Centers	1 space per 250 square feet of gross floor area	25%	The following additional parking spaces are required where those described uses are located in shopping centers. Cinemas for cinemas occupying over 10% of the total gross floor area in a center with less than 100,000 square feet, add 3 additional parking spaces for every 100 cinema seats.
28. Sports Stadiums and Arenas, Auditoriums (including school auditoriums), other places of public assembly and clubs and lodges having no sleeping facilities	1 space for every 4 seats and/or 1.3 spaces for each 100 square feet of gross floor area used for assembly and not containing fixed seats	25%	
29. Swimming Pools (Commercial and Public)	1 space for each 10 persons based on capacity load	15%	Maximum 15% compact parking spaces allowed.
31. Research and Development	1 space per 350 square feet of gross floor area plus the required parking for business vehicles	30%	Maximum 30% compact parking spaces allowed.
Industrial INDUSTRIAL			
32. Truck Transfer Companies	1 space for each 2 employees plus parking for each truck associated with the business		
33. Warehousing	1 space per 1,000 square feet of gross floor area for the first 20,000 square feet devoted to warehouse plus the required parking for square footage		No conversions of any portion of a warehouse use to any other use shall be permitted unless the parking requirement for such other uses are met.

	devoted to other uses 1 space per 2,000 square feet for the second 20,000 square feet 1 space per 2,500 square feet of floor area in excess of 40,000 square feet		
34. Open Storage Uses in an approved industrial area	1 space per 5,000 sq feet of open area being utilized for storage exclusive of access, landscaping, etc.		
35. Parking Spaces for Uses Not Specified	The number of parking spaces for uses not specified herein shall be determined by the Land Use Administrator being guided, where appropriate, by the requirements set forth herein for uses which are similar to the use not specified.		

Appeals to the decision of the Land Use Administrator are made to the Appeals or Variance Authority as designated in Section 02-06.

02-15-005 DESIGN STANDARDS FOR OFFSTREET PARKING AND LOADING SPACES

All parking spaces shall be accessible from a street, provided that no parking space shall be designed to require vehicles to back onto a street except of parking spaces that serve a one or two-family dwelling. All parking areas shall be designed to allow vehicles to enter, exit, and travel the aisles in a forward motion. Dead end parking aisles must have a hammerhead type turn-around to allow vehicles to back out of the parking space and travel the aisle in a forward motion.

02-15-006 PARKING LOT ACCESS

Entrances and exits for parking facilities shall be designed to reduce traffic congestion on public streets and minimize conflicts with neighboring uses. Adequate ingress and egress to the parking facilities shall be provided as follows:

Access drives for one and two-family dwellings shall be a minimum of ten (10) feet wide and maximum of twenty (20) feet at the property line. On corner lots, the access to the property shall be setback a minimum of fifty (50) feet from the point of intersection curb lines.

Access drives for multiple-family dwellings, commercial and industrial uses shall generally be a maximum of thirty (30) feet wide at the property line and shall conform to the standards outlined in each zone.

The Land Use Administrator ~~or his designee~~ may allow an increase in driveway width if sufficient proof is provided that the increase will be necessary for traffic movement. The maximum driveway width shall be fifty (50) feet.

02-15-007 STACKING

Adequate stacking or waiting lanes for those uses requiring such stacking areas shall be designed so that no obstruction shall occur at the public right-of-way. A 72-foot minimum stacking area from the service point shall be provided for waiting areas which do not conflict with access to other required facilities.

02-15-008 PARKING LOT LAYOUT

Parking lots shall be designed to provide for internal circulation so that each parking space is accessible to all other parking spaces without using a public street. All properties shall provide attractive, direct and safe pedestrian access to parking. The layout of the parking areas shall relate to building entrances. The following tables shall be used to provide the minimum design standards for parking lot layout:

<u>Standard Vehicle</u> Minimum Dimensional Requirements Width 10'9" Depth 20'18"					
A Parking Angle	B Stall Width	C Stall Length	D Aisle Width	E Stall to Curb	F Curb to Curb
0 Degree	11'9"	22'	*12'	10'	32'
30 Degree	10'9"	20'18"	*15'	18'-19'	51'
45 Degree	10'9"	20'18"	*15'	22'4"	57'
60 Degree	10'9"	20'18"	*20'	22'	64'
90 Degree	10'9"	20'18"	24'	20'18"	60'

* One Way Traffic Only

Width 9' Depth 16'		<u>Compact Vehicle</u>			
A	B	C	D	E	F
0 Degree	10'	20'	*12'	10'	32'
30 Degree	9'	16'	*15'	15'	45'
45 Degree	9'	16'	*15'	17'	49'
60 Degree	9'	16'	*20'	18'	56'
90 Degree	9'	16'	24'	16'	5
* One Way Traffic Only					

PARKING LOT REQUIREMENTS

- ~~_____~~ A = Parking Angle
- ~~_____~~ B = Stall Width
- ~~_____~~ C = Stall Length
- ~~_____~~ D = Aisle Width
- ~~_____~~ E = Stall to Curb
- ~~_____~~ F = Curb to Curb

02-15-009 COMPACT CAR DESIGN

-Each compact space approved herein shall be individually designated as a compact space with either signage or painted letters on pavement of at least 12 inches high and seven inches wide stating "Compact". All compact parking spaces shall be approved by the City and shall be located throughout the required parking lot areas in groups as to allow appropriate design, **and not to exceed a maximum of twenty-five (25) percent of total stalls. Compact car parking stall shall be no smaller than 9'x18'. -**

02-15-010 ~~HANDICAPPED~~ PARKING FOR PERSONS WITH DISABILITY

~~Handicapped~~-**Accessible** parking spaces shall be provided in off street parking lots and shall count towards fulfilling the minimum automobile required parking. The number of ~~handicapped~~-**accessible** parking spaces required shall **meet the requirements and specifications of the Americans with Disabilities Act. be one space per each 60 parking spaces up to 300 parking spaces. One additional handicapped parking space shall be designated for each 200 additional parking spaces within the parking lot. Wherever the number of spaces required is a fraction, one handicapped space shall be added if the fraction is .5 or greater.**

~~Physically handicapped parking spaces shall be located as near as practical to a primary building entrance with access ramps negotiable for all handicapped equipment. Each parking space shall be identified by a permanently affixed reflectorized sign and/or surface identification painting depicting the standard symbol for handicap parking.~~

02-15-011 LANDSCAPING AND SCREENING

Parking lots with five or more spaces must have a ~~minimum of a 10foot wide landscape strip adjacent to any street, per zone requirements . Exterior perimeters of the parking lot shall have a minimum of a five foot wide landscaping strip.~~ Parking lots with more ~~than~~ **then** twenty spaces must have a minimum of five percent interior landscaping. All landscaped areas shall consist of live plant materials and be serviced by a permanent underground water system. Trees shall be planted in the landscape **per zone requirements. areas at a ratio of one tree per 300 square feet of gross landscape area.** Parking lots of five or more spaces shall provide a ~~masonry wall six foot high~~ **feet in height aesthetically pleasing, sight obscuring wall or fence of a neutral color provided by**

the owner of the business when parking lots are adjacent to a residential use. The fence shall provide, a minimum 90% fill to afford privacy for the residential dwelling. This solid barrier shall be maintained in good condition without any advertising thereon.

No fence shall be located within 25 feet of the front property line or of any street right of way, unless specifically approved by the Planning Commission. In the event a fence shall be approved closer than 25 feet from the property line, the fence shall not be higher than 4 feet and shall not impede clear view triangle.

02-15-012 LIGHTING

Lighting used to illuminate any off street parking area shall be arranged as to reflect the light away from ~~form~~ adjacent properties and street traffic.

02-15-13 SURFACING

All off street parking spaces and maneuvering area shall be paved and permanently maintained with asphalt, concrete or an alternative all weather dustless hard surface may be used, to prevent tracking mud from business property to the city street. ~~any other all weather dustless surface as approved by the Land Use Administrator of Naples City -~~

Agricultural and heavy equipment uses will be evaluated as to their impact on City streets with appropriate surfacing to be determined by the Land Use Administrator.

02-15-014 GRADING

Parking lots shall be properly graded to allow for drainage of surface water in an approved manner to keep the parking area free of water and ice. Drainage plans are to be approved by the Land Use Administrator prior to issuance of a building permit.

02-15-015 STORAGE

All areas designated for off street parking, maneuvering, loading or site landscaping shall not be used for outdoor storage of materials. Businesses must not use the public right-of-way for parking equipment, storage bin storage, employee parking, and/or doing business.

02-15-016 OFFSTREET LOADING SPACE DESIGN STANDARDS

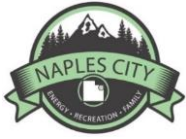
Where necessary, there shall be provided and maintained adequate space for loading and unloading services. All loading areas or docks shall be located so that no vehicle shall be parked, or require maneuvering room within a public street.

Each loading facility shall not be less than 45 feet in length and 12 feet in width and shall have an overhead clearance of not less than 14 feet.

Sufficient room for turning and maneuvering vehicles shall be provided on the site.

Off street loading facilities for one use shall not be considered as providing required off-street loading or parking facilities for any other use.

All truck loading spaces shall be separated from adjoining residential zones by a ~~masonry wall not less than 6 foot high feet in height.~~ aesthetically pleasing, sight obscuring wall or fence of a neutral color provided by the owner of the business. The fence shall provide, a minimum 90% fill to afford privacy for the residential dwelling.



Item No: **2**

MEMO TO: Planning Commission FROM: Staff Date: April 20, 2023	Subject: Brad Walker Proposed Ordinance Change
Staff Recommendation:	
Background: Brad Walker reached out to the City to propose changes to an ordinance.	
Options: _____ Reject the proposed ordinance changes _____ Accept the proposed ordinance changes and bring back for further discussion _____ Table and bring back at a future date	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

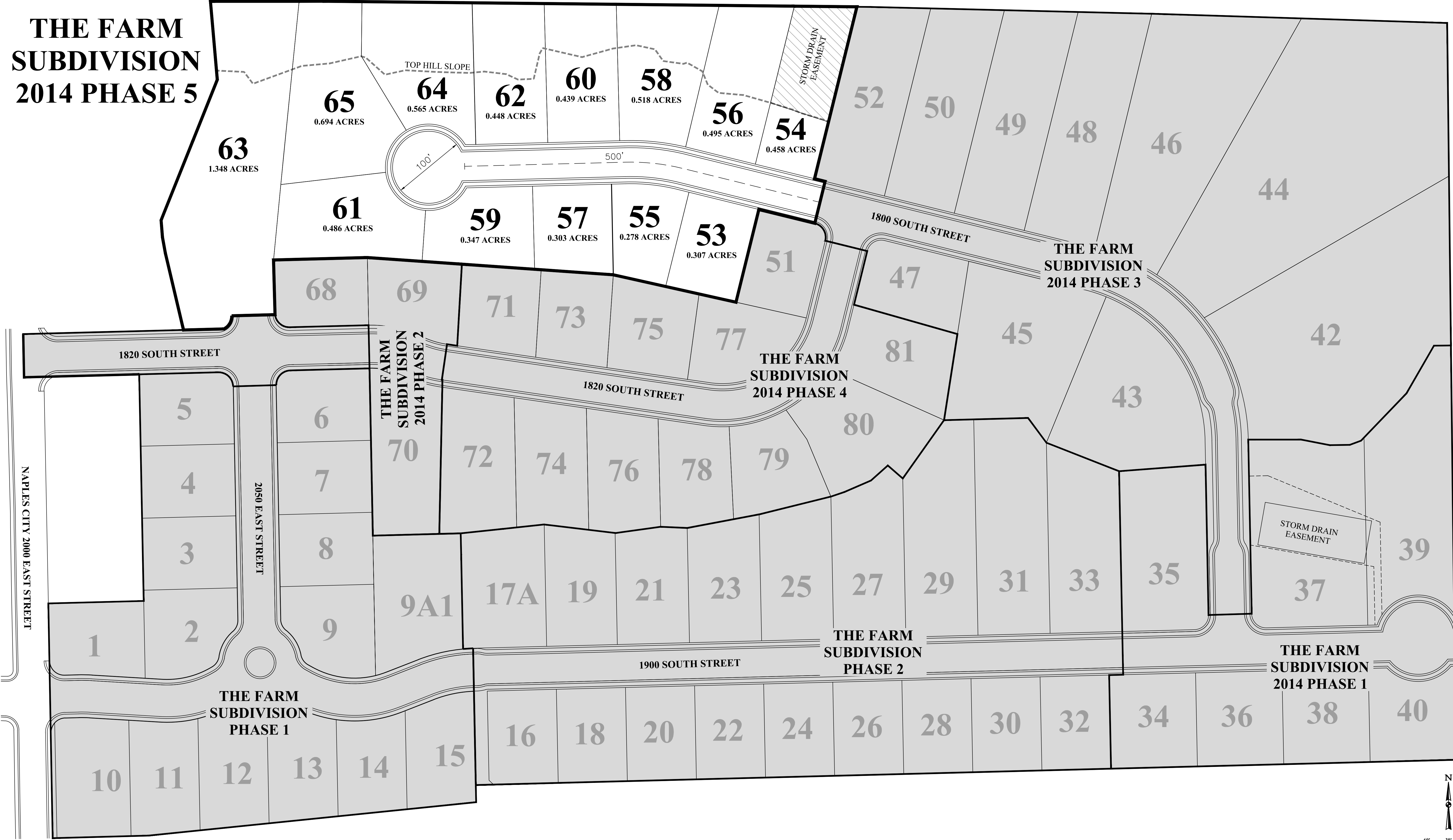


Item No: 3

MEMO TO: Planning Commission FROM: Staff Date: April 20, 2023	Subject: The Farm Subdivision 2014 Phase 5
Staff Recommendation:	
Background: Concept plan for The Farm Subdivision 2014 Phase 5.	
Options: _____ Bring back for further discussion _____ Table and bring back at a future date	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

THE FARM
SUBDIVISION
2014 PHASE 5



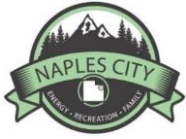
NOTE: THIS CONCEPT PLAN IS NOT A PLAT AND SHOULD NOT BE RECORDED. 17 MARCH 2023 SCALE



Item No: 4

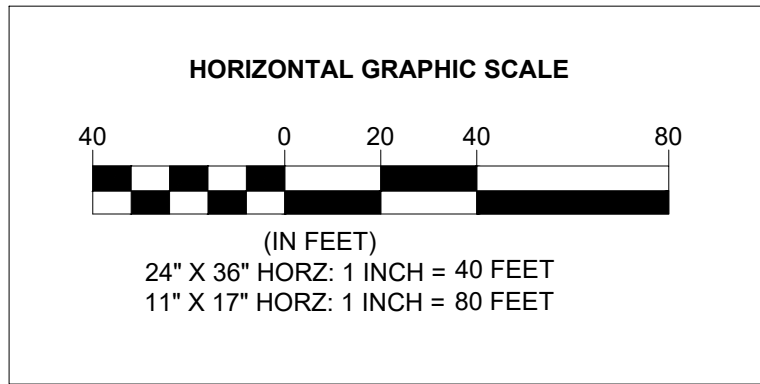
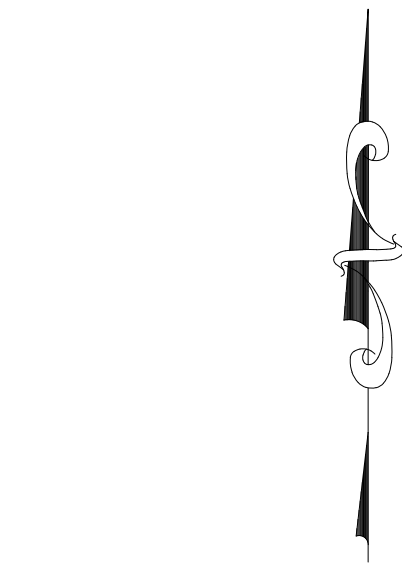
MEMO TO: Planning Commission FROM: Staff Date: April 20, 2023	Subject: The Farm Subdivision- Roundabout Cliff Grua
Staff Recommendation:	
Background:	
Options: _____ Bring back for further discussion _____ Table and bring back at a future date	

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Item No: 5

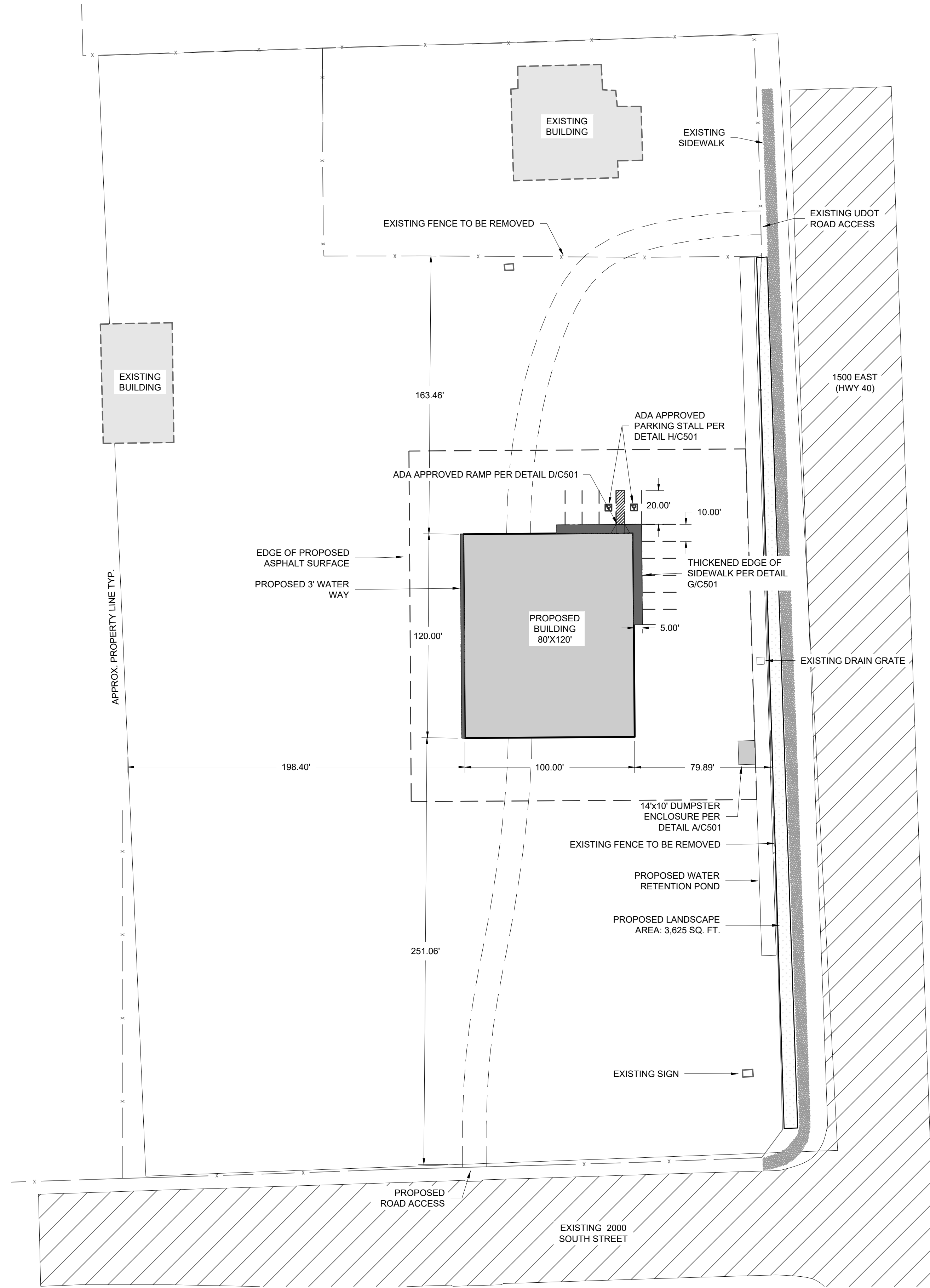
MEMO TO: Planning Commission FROM: Staff Date: April 20, 2023	Subject: Commercial Building Concept Plan
Staff Recommendation:	
Background: Concept Plan has been submitted for a proposed site plan for a commercial building to be built at the 1884 South Highway 40 property.	
Options: _____ Bring back for further discussion	



- LEGEND**
- GRAVEL PARKING AREA
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - EXISTING SIDEWALK
 - PROPOSED CURB GUTTER AND SIDEWALK
 - EXISTING PARKING
 - PROPOSED PARKING
 - EXISTING FENCE
 - PROPOSED FENCE



KNOW WHAT'S BELOW CALL BEFORE YOU DIG.
ANY EXISTING UTILITIES SHOWN ARE FOR REFERENCE ONLY.
CONTRACTORS SHALL CALL BLUE STAKES BEFORE DIGGING.



CLIENT INFO:
TONY IVE

PHONE: 435-828-2613
DRAWN BY: JGC
PROJECT MANAGER: CMM
CHECKED BY: CKR

**COMMERCIAL TIRE
STEEL BUILDING**
1884 SOUTH HWY 40
NAPLES, UTAH 84078

**SITE DIMENSION
PLAN**

C101

Wednesday, April 19, 2023 3:52:02 PM S:\ENGINEERING PROJECTS\23-0326 COMMERCIAL TIRE BUILDING\DWG\CIVIL_3D\SOUTH ENTRANCE 2.DWG



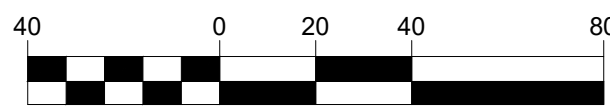
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Storm Water Retention Calculations							
Project:		Project Number: 16-0124					
Client:		Date: January 9, 2017					
Location:		By: C. Murray					
Project Area Classifications							
Area Calculations				Area Runoff Coefficients			
	Area (ft ²)	(Acres)		Cp :	0.90		32%
Hardscape Area:	31,005	0.71		Cr :	0.85		13%
Roof Area:	12,000	0.28		Cl :	0.15		55%
Landscape Area:	52,525	1.21		WEIGHTED C:	0.48		
TOTAL AREA:	95,530	2.19					
Runoff Calculations							
100 Year 24 Hour Storm Event							
				Allowable Runoff		0 cfs/ac	
				Total allowable runoff		0.081 cfs	
Time (min)	C*A	Precep. Intensity (in/hr)	Time (sec)	Cumulative Runoff (ft ³)	Allowed Runoff (ft ³)	Storage (ft ³)	
5	1.06	5.4	300	1,710	24	1,686	
10	1.06	4.11	600	2,603	49	2,555	
15	1.06	3.4	900	3,230	73	3,157	
30	1.06	2.29	1,800	4,351	146	4,206	
60	1.06	1.42	3,600	5,396	291	5,105	
120	1.06	0.78	7,200	5,928	582	5,346	
180	1.06	0.53	10,800	6,042	873	5,169	
360	1.06	0.29	21,600	6,612	1,747	4,866	
720	1.06	0.16	43,200	7,297	3,494	3,803	
1,440	1.06	0.1	86,400	9,121	6,987	2,134	
				STORAGE REQUIRED :		5,346	
				STORAGE PROVIDED :		5,341	
1 - Percolation rate assumed of				0.081 CFS/AC			
2 - Storage		Required		5,346 Cu.Ft.			
		Surface Pond		5,341 Cu.Ft.			
		Gravel Sump		0 Cu.Ft.			
		Manhole		0 Cu.Ft.			
		Pipe (Horizontal)		0 Cu.Ft.			
		Excess Volume Provided:		-6 Cu.Ft.			

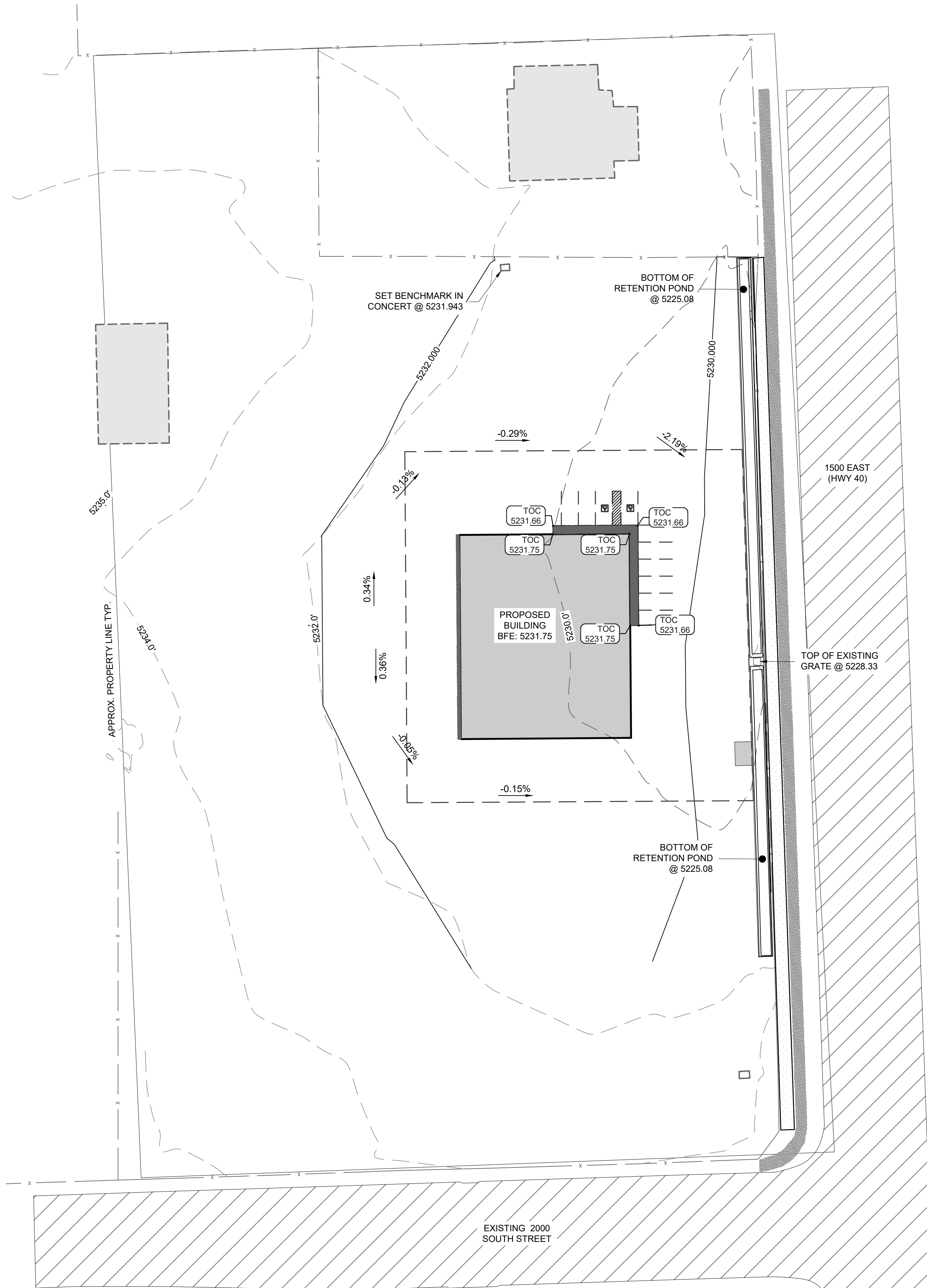
LEGEND

- XXX EXISTING SPOT ELEVATION
- XXX PROPOSED SPOT ELEVATION
- SLOPE % PROPOSED SLOPE MAGNITUDE & DIRECTION
- EXISTING SIDEWALK HATCH
- PROPOSED CURB GUTTER AND SIDEWALK
- EXISTING MINOR CONTOURS 1' INCREMENT
- EXISTING MAJOR CONTOURS 5' INCREMENT
- PROPOSED MINOR CONTOURS 1' INCREMENT
- PROPOSED MAJOR CONTOURS 5' INCREMENT

HORIZONTAL GRAPHIC SCALE



(IN FEET)
24" X 36" HORIZ: 1 INCH = 40 FEET
11" X 17" HORIZ: 1 INCH = 80 FEET



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COMMERCIAL TIRE
STEEL BUILDING
1884 SOUTH HWY 40
NAPLES, UTAH 84078

SITE GRADING
AND DRAINAGE
PLAN

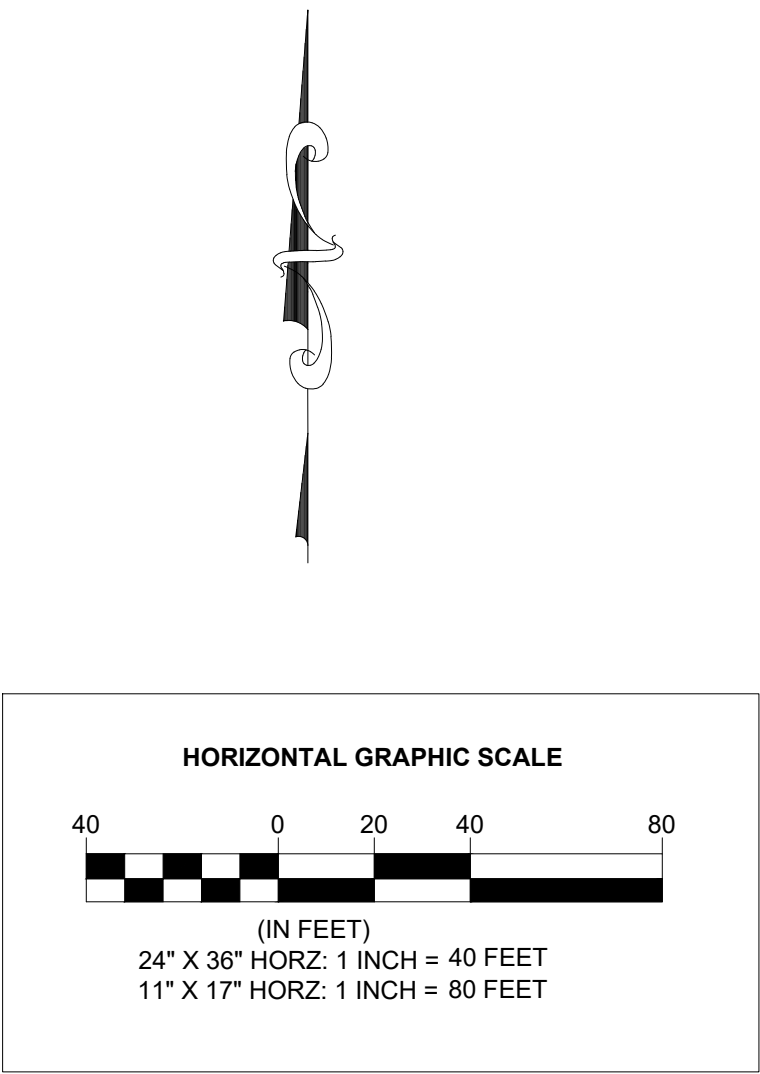
C102

R METER
VALVE
R VALVE
DRANT
HYDRANT

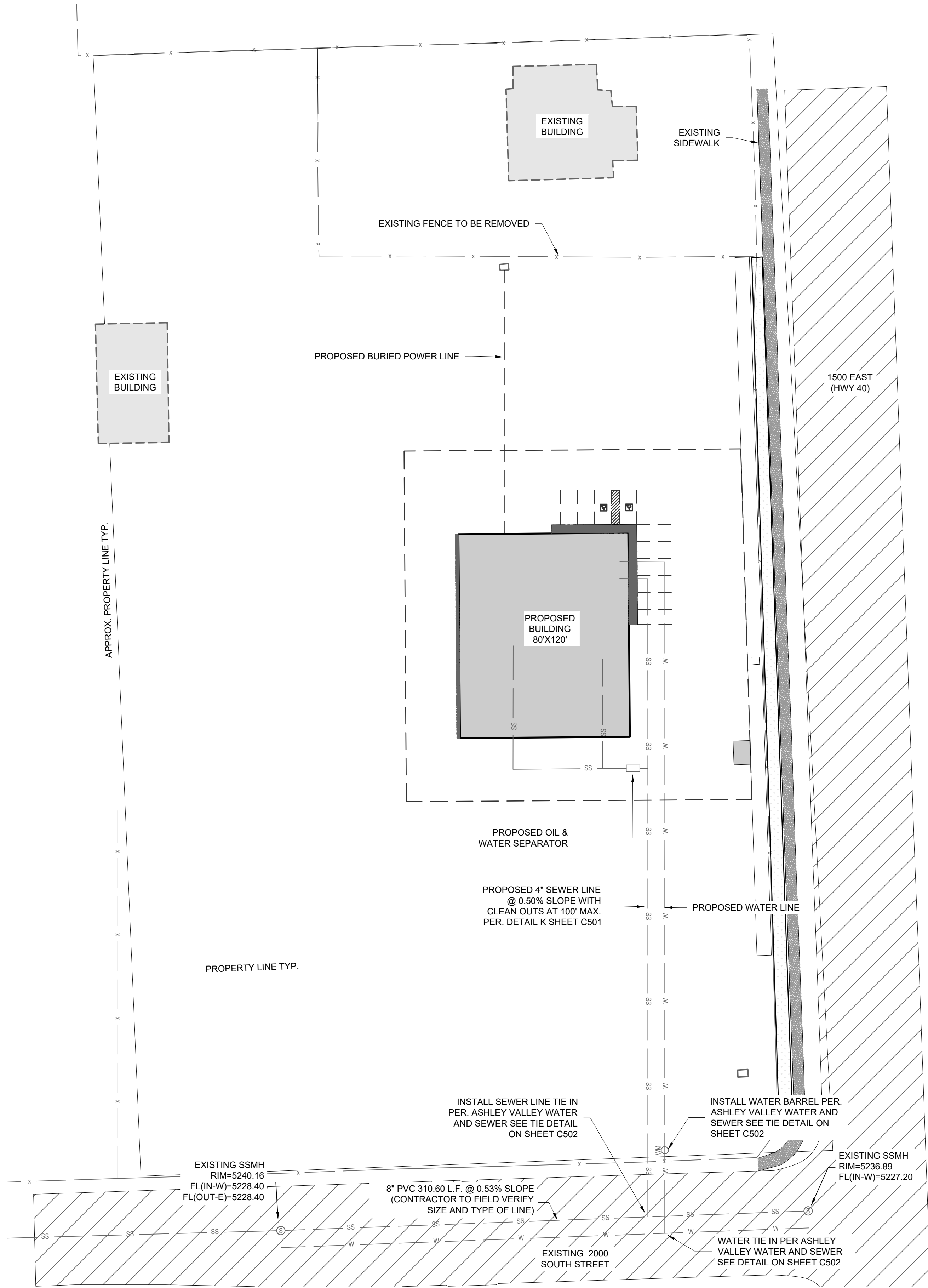
RY SEWER MANHOLE
M DRAIN SUMP
DRAIN CATCH BASIN
M DRAIN CATCH BASIN
POLE

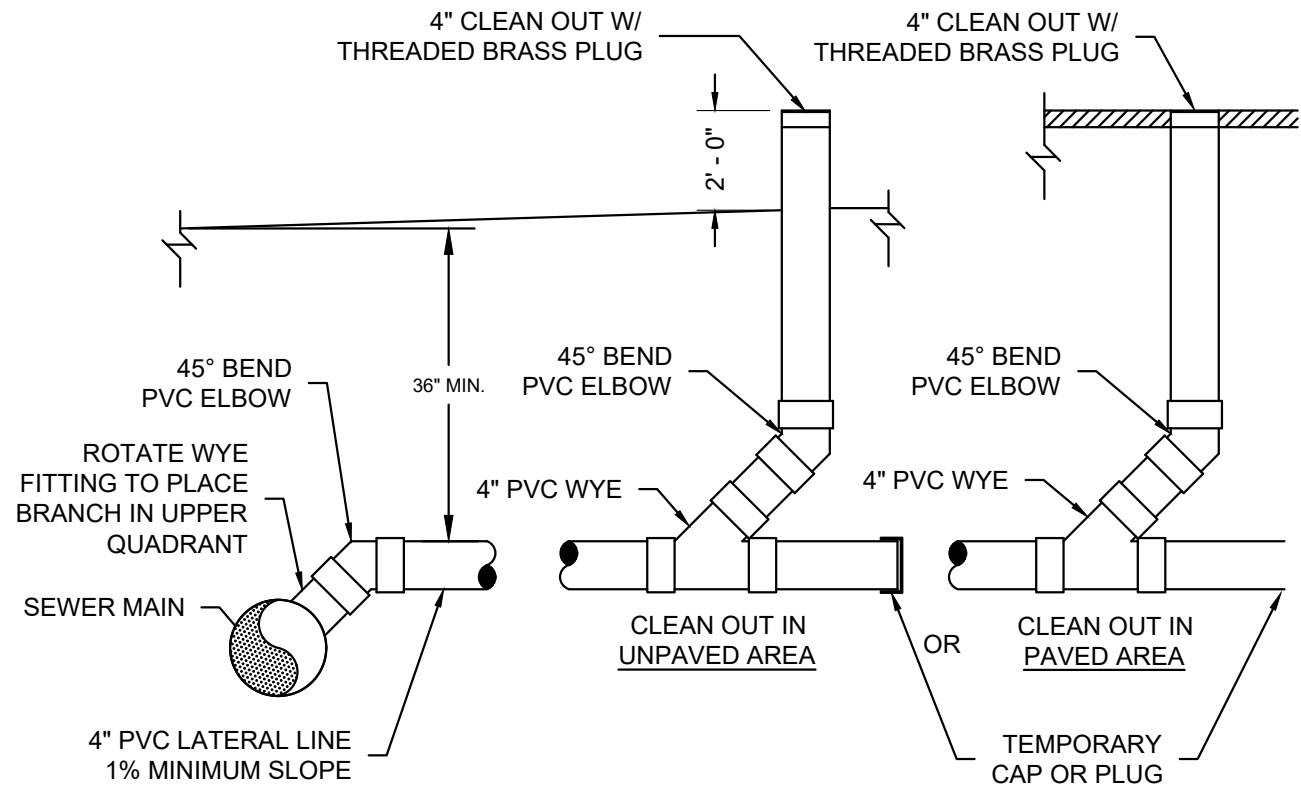
T
AREA
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ING
LK
GUTTER AND SIDEWALK
IE

RY SEWER
ARY SEWER
RY WATER LINE
IARY WATER LINE

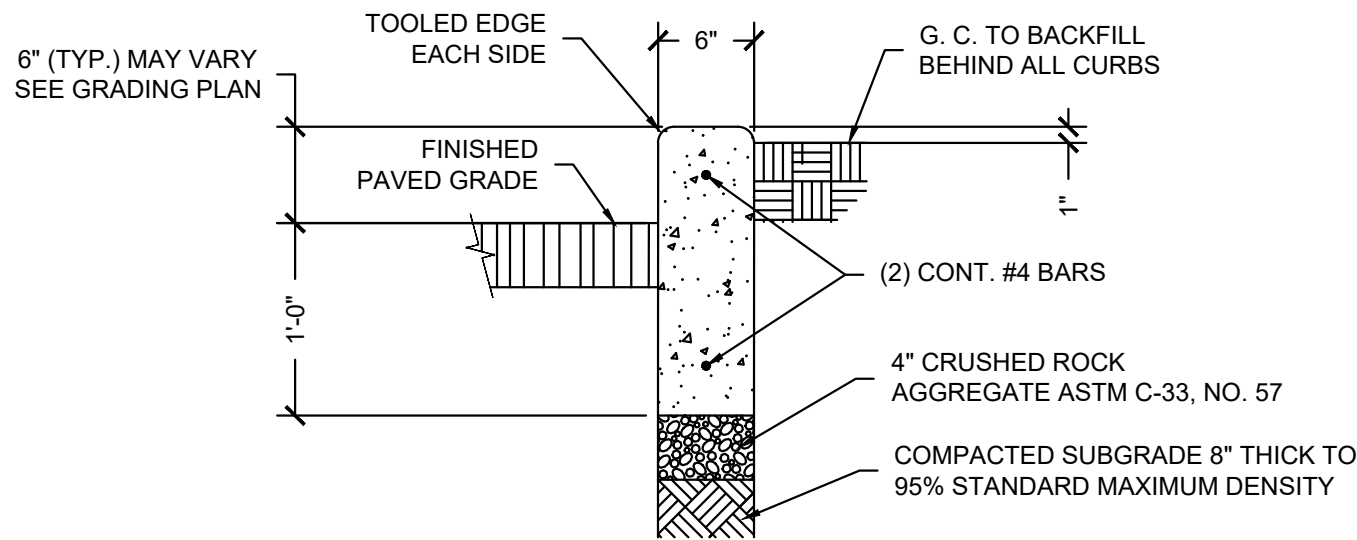


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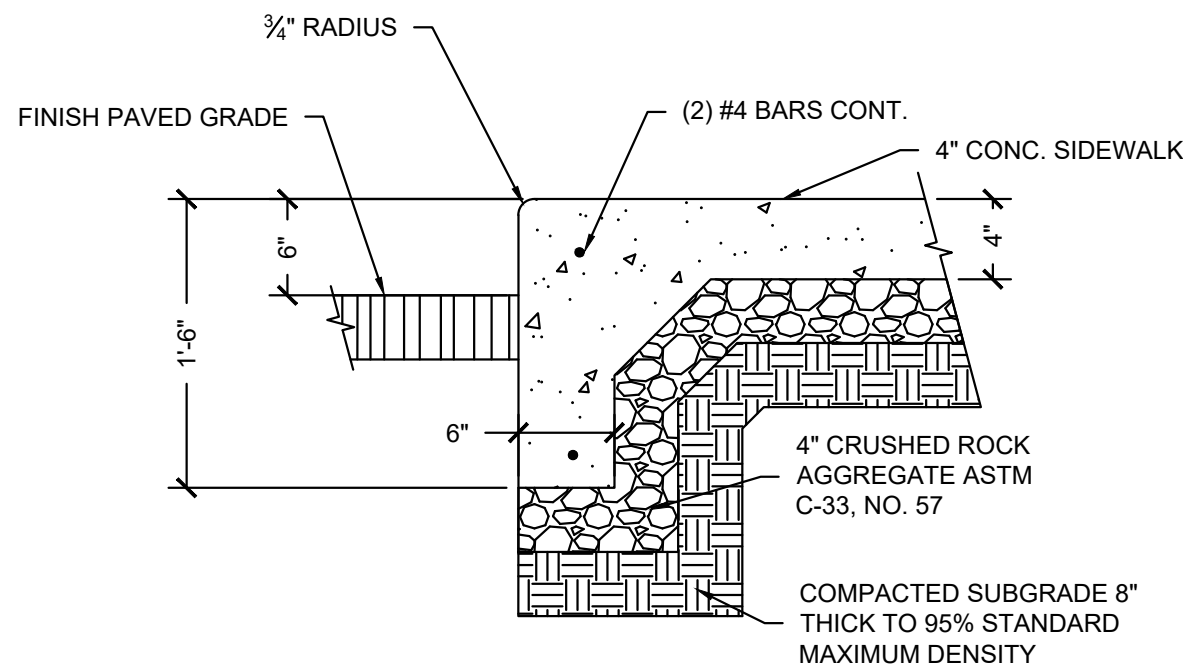




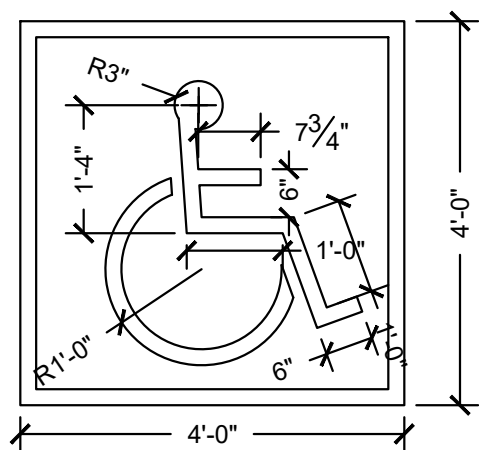
K TYPICAL CLEAN OUT DETAIL
C501 SCALE:NTS



F TYP. 6"x18" VERTICAL CURB
C501 SCALE:NTS

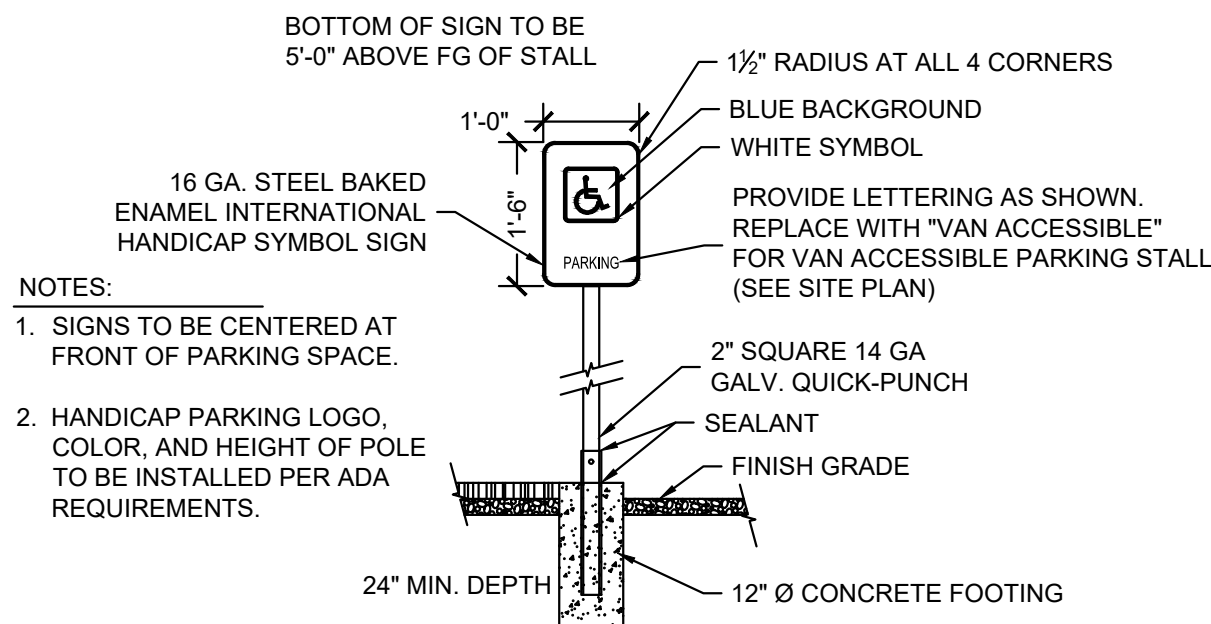


G TYP. MONOLTHIC CURB/SIDEWALK
C501 SCALE:NTS

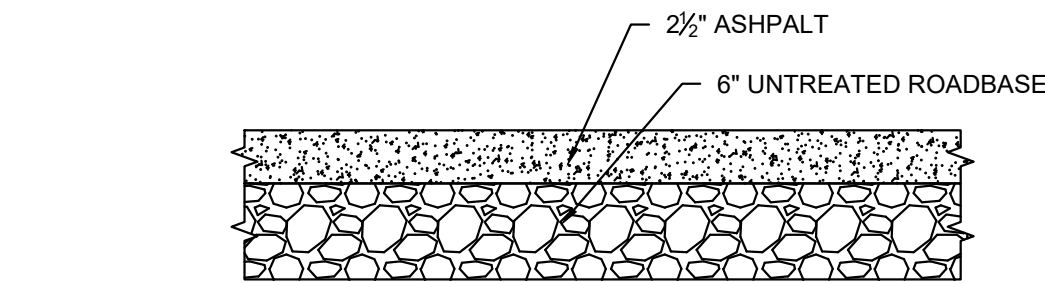


- NOTES:
1. INTERNATIONAL PICTOGRAPH SYMBOL WHITE FED. STD. 17875.
 2. 4"-BORDER-WHITE FED. STD. 17875.
 3. BACKGROUND-BLUE FED. STD. 15180.

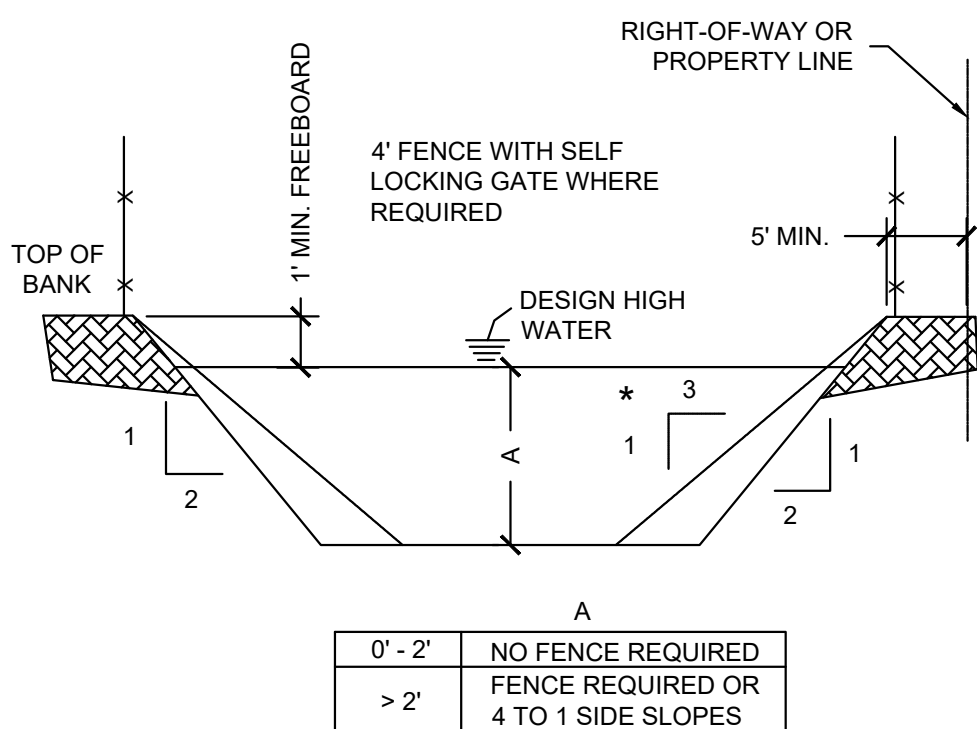
H ADA STALL PAVEMENT MARKING
C501 SCALE:NTS



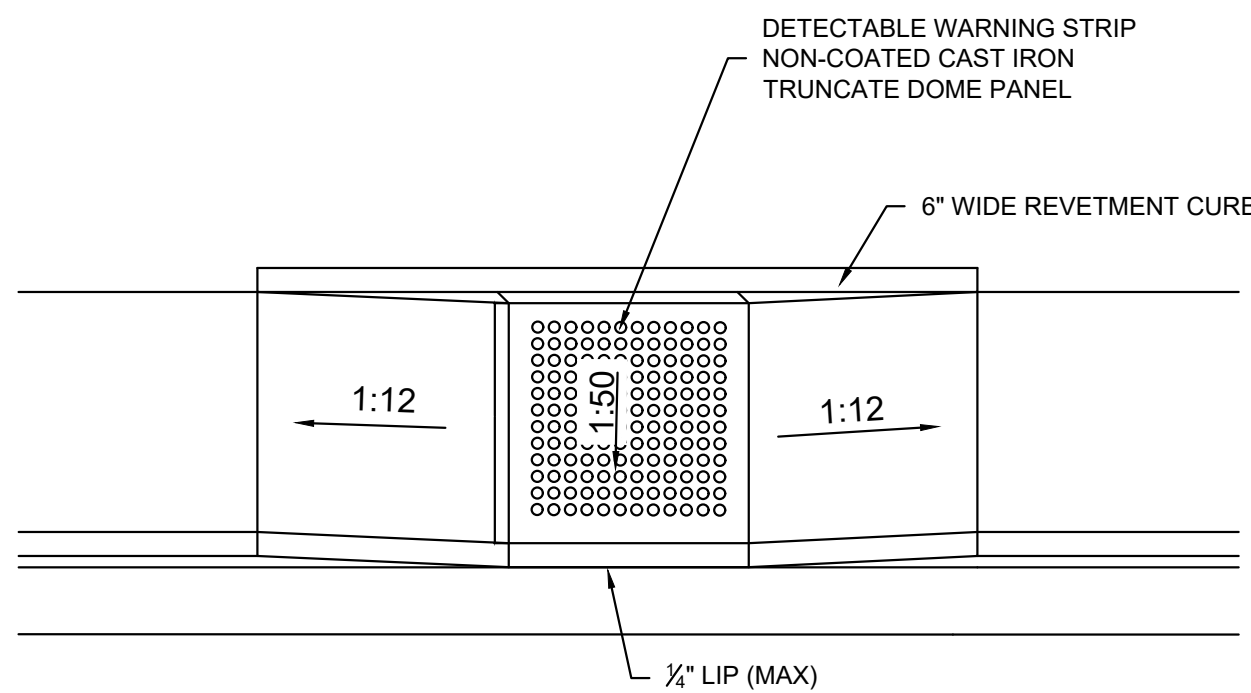
J ADA ACCESSIBLE PARKING SIGN
C501 SCALE:NTS



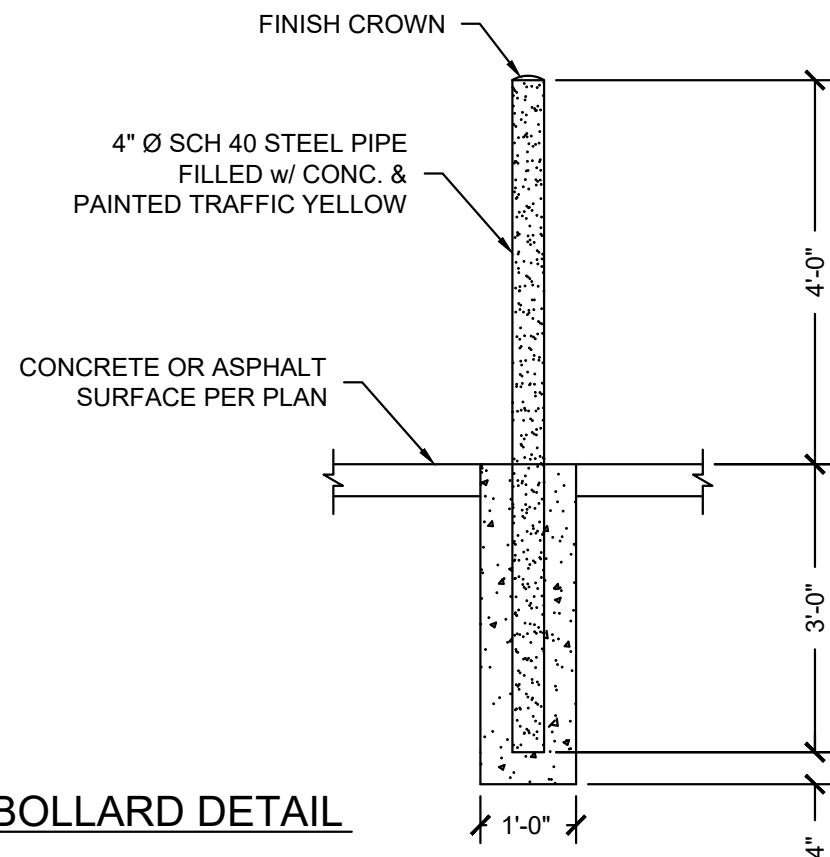
B PARKING LOT CROSS SECTION
C501 SCALE:NTS



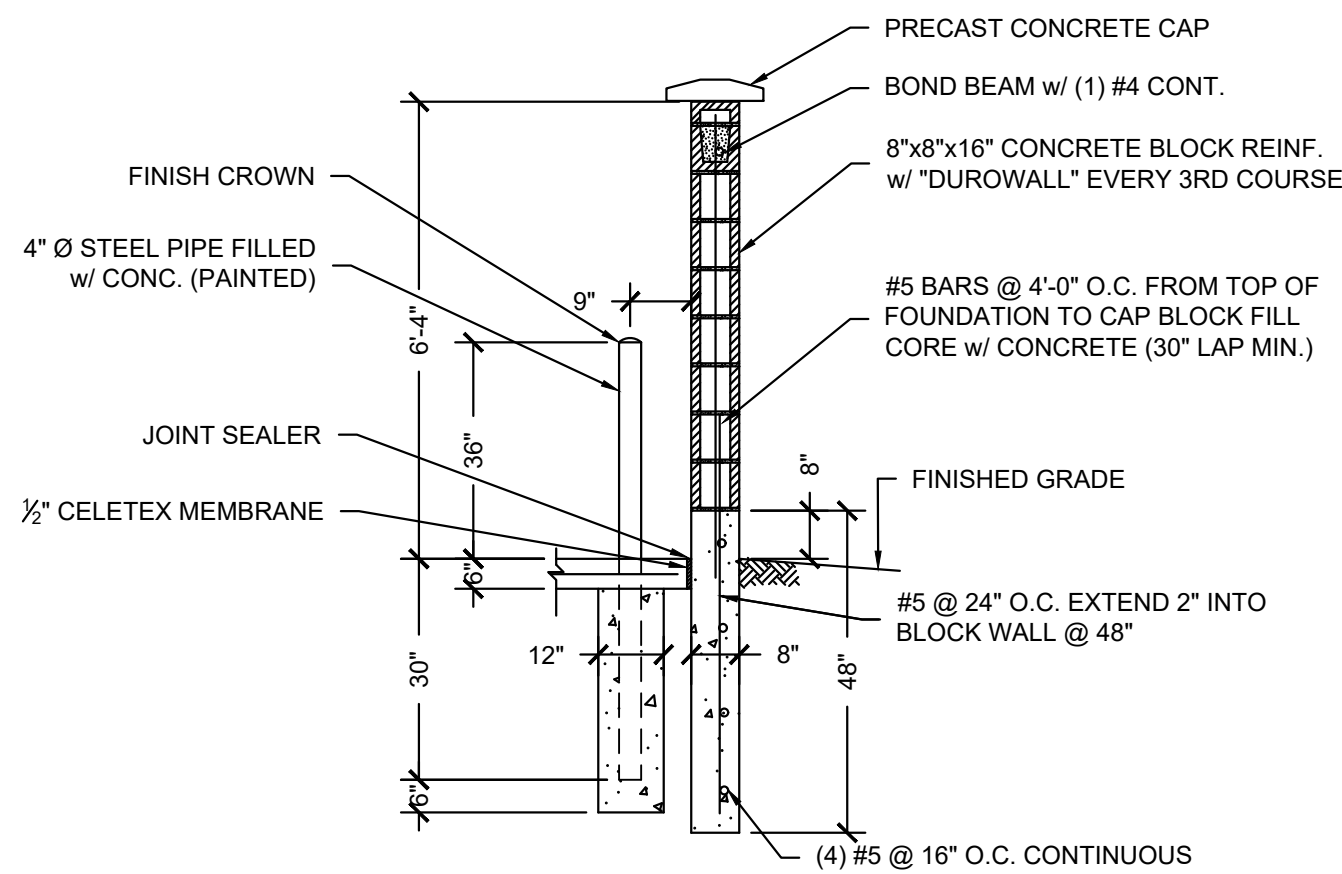
C STORM WATER RETENTION POND
C501 SCALE:NTS



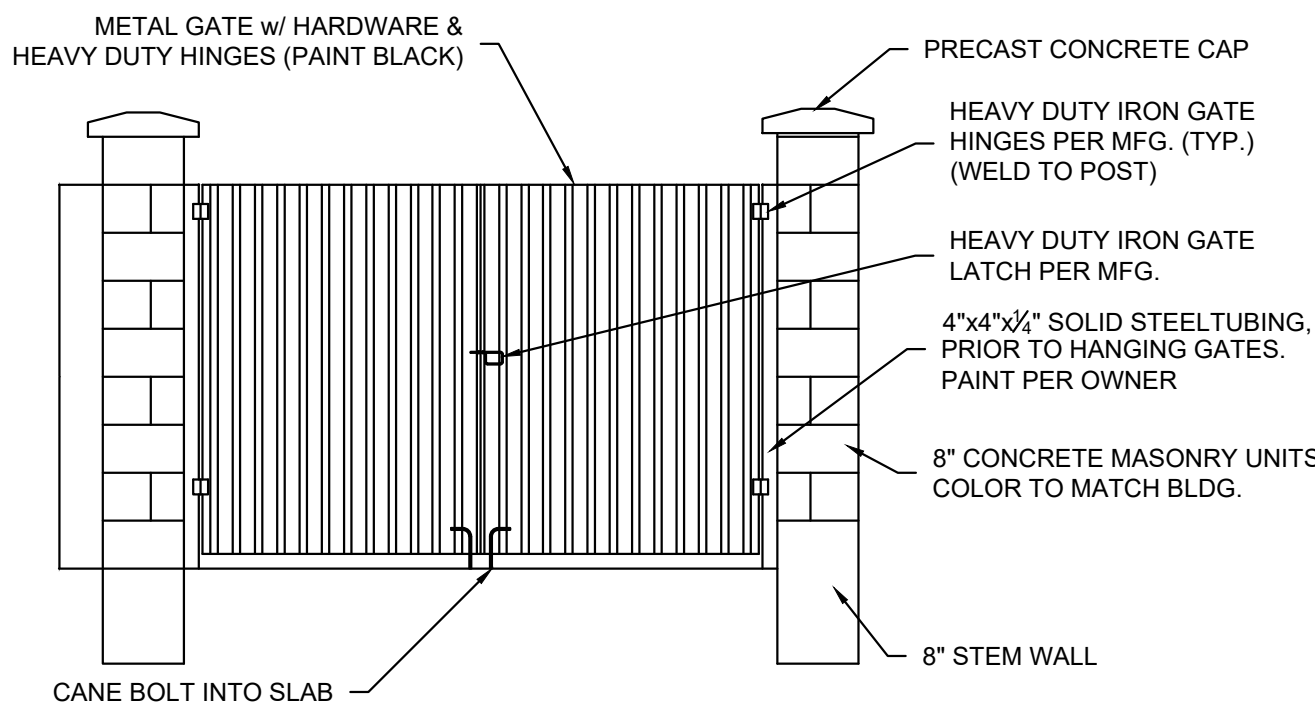
D ADA SIDEWALK ACCESS RAMP
C501 SCALE:NTS



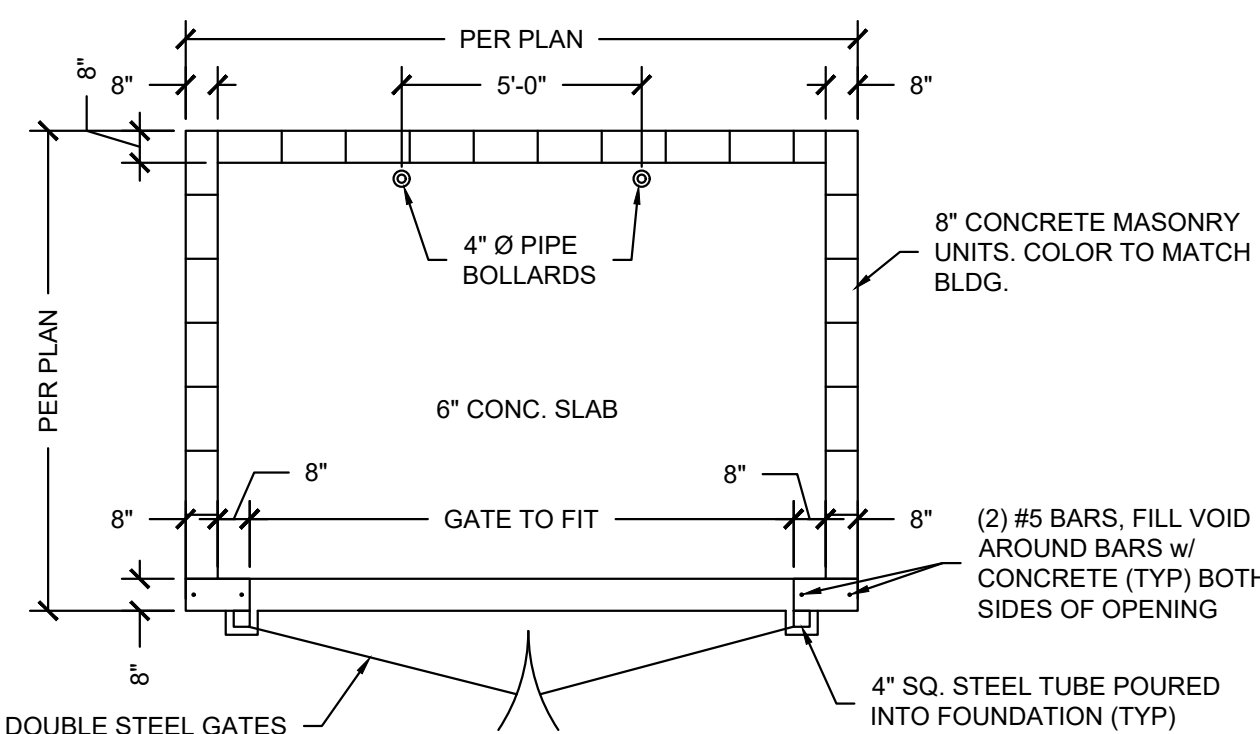
E TYP. PIPE BOLLARD DETAIL
C501 SCALE:NTS



SECTION VIEW



FRONT VIEW



PLAN VIEW

A TRASH ENCLOSURE DETAIL
C501 SCALE:NTS

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STEEL BUILDING**
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NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

**SITE
DETAILS**

C501

