

Agenda

Naples City Planning and Zoning Commission

March 16, 2023 at 7:30 p.m.
Naples City Council Room
1420 East 2850 South
Naples, Utah 84078

THIS IS A REGULARLY SCHEDULED PLANNING AND LAND USE MEETING

OPENING CEREMONIES

STANDING BUSINESS

- Verification of Full Quorum & Designation of Voting Members:

<u>Commissioner</u>	<u>Voting</u>	<u>Commissioner</u>	<u>Voting</u>
Chris Clark (Chairman)	Y N	Scott Major	Y N
Scott Adams (Vice-Chairman)	Y N	Kevin Hiatt (A)	Y N
Andrew Bentley	Y N	Brock Arnold (A)	Y N
Jessy McKee	Y N		

- Approval of Agenda – March 16, 2023
- Disclosures
- Approval of Minutes – February 16, 2023

PLANNING/DISCUSSION

1. O'Reilly Auto Parts Site Plan
 - Preliminary Plan Approval
2. O'Reilly Auto Parts Site Plan
 - Final Plan Approval
3. OffStreet Parking Regulations 02-15
 - Discussion
4. Rezone Highway 40 to Commercial
 - Discussion

ITEMS FOR FUTURE DISCUSSION

ADJOURN

The next Planning and Zoning meeting will tentatively be held on April 20, 2023

All persons residing within the area served by City of Naples are HEREBY NOTIFIED that the Naples Planning and Zoning Commission will meet on the 3rd Thursday of each month at 7:30pm. All persons concerned with any matter before the Naples Planning and Zoning Commission are invited to attend. If possible, call to get on the agenda, 435-789-9090 NOTE: In compliance with the Americans with Disabilities Act, Individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the Land Use Administrator at 435-789-9090 at the Naples City Office, 1420 East 2850 South, Naples, Utah 84078 at least three days prior to the meeting.

Naples Planning and Land Use
Public Meeting
February 16, 2023

Commission Present: Chris Clark, Jessie McKee, Kevin Hiatt, Scott Adams, Scott Major

Commission Absent: Andrew Bentley,

Others Present: Gwen Harrison, Mike Davis, Dean Baker, Ken Reynolds, Brock Slaugh, Stephanie Adams, Daren Anderson, Brock Arnold

Opening Ceremonies

Verification of full Quorum Chris Clark verified a full quorum. All Commissioners will be voting in the meeting.

Approval of Agenda Scott Adams motions to approve the agenda. Scott Major seconds the motion.

All in favor:

Andrew Bentley	Absent
Chris Clark	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

Disclosures **None**

Approval of Minutes Scott Major motions to approve the January 19, 2023 minutes. Jessie McKee seconds the motion.

All in favor:

Andrew Bentley	Absent
Chris Clark	Aye
Jessy McKee	Aye
Kevin Hiatt	Aye
Scott Adams	Aye
Scott Major	Aye

Motion carried with all voting Aye. None opposed.

**Introduction of new Planning
Commission Alternate**

Mayor Baker introduced Brock Arnold. Chris Clark invited Mr. Arnold to participate in the discussion, but will not be voting.

**Recognition of Commission
Member**

Chris Clark recognized Jacob Harrison for serving on the Planning Commission and thank him for his time spent.

PLANNING/DISCUSSION

Montgomery Subdivision Amendment

Brock Slaugh and Daren Anderson presented the proposed area to be vacated from the Montgomery Subdivision. Mr. Slaugh stated the cul-de-sac does not currently meet the requirements for the 500' length. But it would improve the problem. Mike Davis stated the cul-de-sac meets the diameter required by the zone. The cul-de-sac should stay there, but we could probably waive the 500 feet requirement. Chris Clark questioned if it was currently dedicated to the City. Mike Davis confirmed that it was. Chris Clark questioned how to the Ufford property to the north would be able to access the property. Mr. Anderson stated the Ufford property extends

to the east beyond the property in question to a dedicated road. Chris Clark stated this would be the time to correct any issues with access. Mr. Slauch stated they are not wanting to spend more time and effort on this project, if the City is not willing to entertain the idea of moving forward. Chris Clark stated as long as the cul-de-sac meets the fire code, he doesn't see a problem with it. Mayor Baker stated the subdivision was approved by the County before Naples City existed, and it changed anyhow.

OffStreet Parking Regulations 02-15

Gwen Harrison presented proposed changes to the OffStreet Parking Regulations. Scott Major suggested changing verbiage to Persons with Disabilities to be more politically correct. Chris Clark stated the 5-foot landscaping strip around the entire property would be difficult in an industrial setting. Scott Major stated it could be changed to public access parking lots, so that where the public is, would be hard surface. Brock Arnold questioned how we would enforce residential parking issues. Gwen Harrison stated it would be handled through a complaint and the City's Building Inspector. Chris Clark stated changing the standard parking space size to 10'x20' and compact car spaces to be 9'x18'. Kevin Hiatt suggested adjusting titles in the charts to make it more user friendly. Scott Major stated the wall referenced should match verbiage to the screening section.

OPMA Training

The Planning Commission participates in the Open Public Meeting Act.

ITEMS FOR FUTURE DISCUSSION

Highway 40 Rezone

O'Reilly Auto Parts preliminary and final approval.

ADJOURN

Commissioner Clark asks for a motion to adjourn.

Scott Adams motions to adjourn, Scott Major seconds the motion.

All in favor:

**Andrew Bentley
Chris Clark
Kevin Hiatt
Scott Adams
Scott Major**

**Absent
Aye
Aye
Aye
Aye**

All Opposed

Jessy McKee

Aye

Motion carried with majority voting Aye.

**The next Planning and Zoning meeting will tentatively be held March 16, 2023 in the Naples City Council
Chambers @ 7:30 P.M.**



Item No: 1

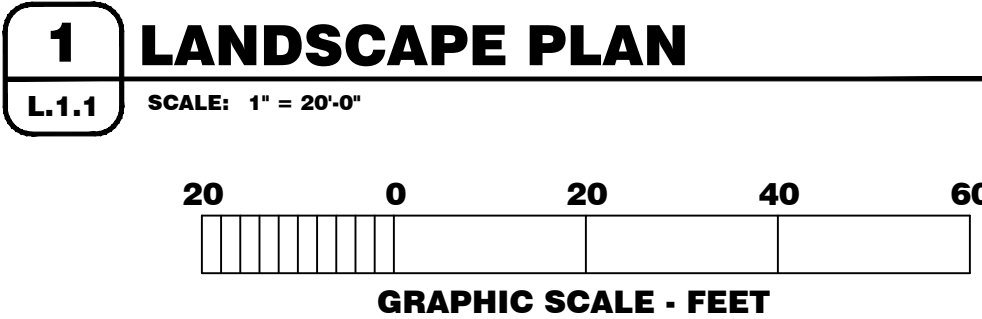
MEMO TO: Planning Commission FROM: Staff Date: March 16, 2023	Subject: O'Reilly Auto Parts Site Plan Preliminary Plan Approval
Staff Recommendation: Approve Preliminary Site Plan	
Background: An Auto Parts Store is looking to build at 1101 South 1500 East. The property is currently zoned as commercial. The auto parts store is a permitted use for the zone. Land Use Staff has been in discussion with the business owners and believe they intend to meet all requirements for the zone and that it would be beneficial to the city. O'Reilly Auto Parts submitted changes to Staff. The preliminary plan meets requirements.	
Options: ☐ Approve the preliminary site plan ☐ Reject preliminary site plan and send back for further comment	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

1. CONTRACTOR SHALL REPORT TO DESIGN PROFESSIONAL ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTION SHALL BE MADE WITHOUT THE DESIGN PROFESSIONAL'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAINAGE.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION START-UP.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANT MATERIALS FOUND DEAD OR NOT IN A HEALTHY CONDITION 2" MINUS BARK MULCH, SUBMIT SAMPLE FOR APPROVAL.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL AND REFINISH TO A MINIMUM 18" DEPTH OF TOPSOIL.
12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRICIFORM' PLANTING TABLETS, QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAY ADJACENT SURFACES TO TOPSOIL TO PREVENT TOPSOIL SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF BOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST / ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS REQUIRED. IMPORTED TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL, AND A HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR SHALL SUBMIT TO EITHER:
 - A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE DESIGN PROFESSIONAL.
15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATERIALS CAPABLE OF INHIBITING PLANT GROWTH.
 - A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - B) REPRESENTATIVE SAMPLES TESTED FOR TOXICITY, PLANT GROWTH, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE.
 - C) CONTRACTOR'S SUPPLY OF TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION, ACIDITY/ALKALINITY RANGE - PH 5.5 TO 7.6.
16. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
17. ANY PERENNIAL TREES OR PLANTS THAT WILL EXTEND ROOTS DEEPER THAN 4" SHALL BE PROHIBITED OVER AND UNDERGROUND SEEPAGE BEDS, IRRIGATION FACILITIES OR PAVED SYSTEMS.
18. SEEPAGE BEDS AND OTHER DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

1. TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
2. TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FLIABLE, NATURAL LOAM, SURFACE SOIL, FREE OF SUBSIL, CLAY LUMPS, BRUSH, BRUSHES AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
3. TOPSOIL APPLICATION: TOPSOIL SHALL BE APPLIED FOR SOIL ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECTS FOR REVIEW BY THE GRANTING AGENCY. TOPSOIL APPLICATION SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MOIST CONDITION.
4. PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
5. COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
 - a. LAWN AREAS: 9 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
 - b. PLANTER BEDS: 18 INCHES MINIMUM.
6. FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVED AREAS.
7. TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
8. ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS, TO GRAVEL OR ROCK. STOCKPILES SHALL BE COVERED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

1. ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE NEED ABATEMENT OPERATIONS PERFORMED ON THEIR PRIOR TO PLANTING OR HYDROSEEDING.
2. CONTRACTOR SHALL SPRAY ALL EXPOSED NEEDS WITH GROUND-UPS (CONTACT HERBICIDE) OR APPROVED EQUAL.
3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED NEED FROM THE SITE.
4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
5. A REAPPLICATION OF NEEDS SHALL BE REQUIRED IF EXPOSED NEEDS APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE NEEDS FROM THE SITE.
6. IF ANY SENSATION OF NEEDS REGENERATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
7. AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE KEPT FREE.



2. LIMIT TURF GRADE PREPARATION TO AREAS TO BE PLANTED.
 - A. NEWLY SUBGRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE ALL STONES, ROCKS, LIMESTONE, ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - B. SPREAD FINISH GRADE PLANTING MIX IN AREAS 16 INCHES AND 16 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY OR OTHERWISE EXCESSIVELY WET.
 - C. SPREAD PLANTING SOIL OVER LOOSENED SUBGRADE.
 - D. REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOD OR SEED.
3. UNCHANGED SUBGRADES: IF TURF IS TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY FINISH GRADES, GRAD, OR SUBGRADES, SURFACE SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
 - A. REMOVE EXCESS GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - B. LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE. APPLY SOIL AMENDMENTS AND FERTILIZERS TO SURFACE SOIL. SOIL MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - C. APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - D. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, TRASH, AND OTHER EXTRANEOUS MATTER.
 - E. LEGALLY DISPOSE OF ALL EXCESSIVE SOIL INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.

AREA PROVIDED
3,903 S.F.

- 1 VISION TRIANGLE
- 2 TRASH ENCLOSURE
- 3 LOADING AREA
- 4 MONUMENT SIGN
- 5 EXISTING LANDSCAPE TO REMAIN SAVE AND PROTECT

PLANT SCHEDULE						
SYM.	QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS SHADE TREES						
	1	KC	Koeleruteria paniculata 'Coral Sun'	Coral Sun Golden Rain Tree	2" Cal. B&B	50'H X 40"W
ORNAMENTAL TREES						
	4	MC	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal. B&B	25'H X 25"W
SHRUBS/PERENNIALS/ORNAMENTAL GRASSES/VINES						
	8	BA	Berberis thunbergii 'Atropurpurea'	Red Leaf Japanese Barberry	#5	6'H X 5'W
	3	CA	Calamagrostis x acutiflora	Feather Reed Grass	#1	6'H X 3'W
	6	PA	Perovskia abrotanoides	Russian Sage	#1	3'H X 3'W
	5	PL	Philadelphus microphyllus	Littleleaf Mockorange	#5	6'H X 6'W
	6	PJ	Pinus mugo pumilio 'Compact Select'	Compact Mugo Pine	#5	6'H X 5'W
	11	RS	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#5	3'H X 8'W

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT

LANDSCAPE PLAN

COMM #	4667
DATE:	02-03-23
REVISION	
DATE:	03-01-23

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DRIP IRRIGATION NOTES

- ALL PLANTER BEDS SHALL BE IRRIGATED WITH AN INLINE EMITTER DRIP LINE IRRIGATION SYSTEM, HUNTER HDL OR APPROVED EQUAL. ALL TREES IN THE NOTED AREA ARE TO BE IRRIGATED AS PER DETAIL. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE DRIP SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS AND THE FOLLOWING REQUIREMENTS:
 - AN INLINE EMITTER DRIP LINE TUBING SHALL BE USED. THE EMITTER SPACING SHALL BE TWELVE INCHES (12") AND THE EMITTER FLOWS ARE TO BE 0.6 G.P.H. LATERALS SHALL BE SPACED AT TWELVE INCHES (12") IN SHRUB BEDS AND TWELVE INCHES (12") IN TURF AREAS.
 - A MANUAL BASKET FILTER SHALL BE INSTALLED ON EACH ZONE SEE LEGEND FOR MODEL NUMBER. THE FILTER SHALL BE INSTALLED IN CONJUNCTION WITH AN ELECTRIC REMOTE CONTROL VALVE AS SPECIFIED (SIZE AS NOTED ON SCHEDULE). THE FILTER SHALL INCLUDE A 200 MESH STAINLESS STEEL SCREEN. SEE DETAIL.
 - ALL ZONES SHALL BE INSTALLED WITH A MANUAL LINE FLUSHING VALVE. INSTALL WITH COLLAR. SEE DETAIL.
 - ALL TUBING SHALL BE STAKED DOWN WITH TL56 SIX INCH (6") SOIL STAPLES EVERY 3'-5' PLUS TWO ON EACH TEE, ELBOW OR CROSS.
- THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A MEETING WITH THE DESIGN PROFESSIONAL AND THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH ANY IRRIGATION INSTALLATION IN ORDER TO REVIEW WORK TO BE DONE. NO CHANGES IN MATERIAL SPECIFIED OR TO THE DESIGN OF THE SYSTEM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PVC LATERAL LINES FROM VALVES TO HEADERS ARE TO BE BURIED AT MINIMUM DEPTH OF TWELVE (12") INCHES (12") SIZE AS NECESSARY. (SEE PIPE SIZING NOTES ON THIS SHEET)
- AFTER INSTALLATION OF THE IRRIGATION SYSTEM THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AND INSTRUCTIONS FOR MAINTENANCE OF THE DRIP SYSTEM. PROVIDE DRIP LINE TO BURIE EACH SHRUB AND TREE RECEIVES ADEQUATE IRRIGATION SO THAT THE OPTIMUM AMOUNT OF WATER IS APPLIED TO ENSURE THE HEALTH OF ALL PLANT MATERIAL. BURY DRIP LINE BELOW GRADE. SEE DETAILS 11 AND 12/L2.5. LOCATE DRIP LINE TO OBTAIN COMPLETE COVERAGE OF PLANTER AREAS. SEE DETAIL 12/L2.5. REFER TO NOTES, SPECIFICATIONS, AND DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

IRRIGATION NOTES

- SYSTEM DESIGN BASED ON THE ASSUMPTION OF THE AVAILABILITY OF 31.5 G.P.M. WITH 45 P.S.I. AT THE SOURCE AND 30 P.S.I. AT THE HEADS.
- ALL LATERAL LINES THAT ARE NOT LABELED SHALL BE 3/4" DIAMETER.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, MECHANICAL, AND ELECTRICAL ENGINEERING SHEETS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION CONDUIT AND SLEEVES UNDER HARD SURFACES WITH RESPECTIVE CONTRACTORS.
- ALL SLEEVES SHALL BE INSTALLED AS PART OF IRRIGATION CONTRACT. APPROXIMATE LOCATIONS OF SLEEVES ARE SHOWN ON THE IRRIGATION PLAN. FIELD VERIFY LOCATION. ALL ENDS OF SLEEVES SHALL BE TAPED OR CAPPED AND MARKED WITH A 2" X 4" PAINTED STAKE EXTENDING TO 24" ABOVE GRADE. STAKES SHALL NOT BE REMOVED UNTIL THE IRRIGATION SYSTEM IS COMPLETE. ALL SLEEVES SHALL EXTEND A MINIMUM OF 18" BEYOND BACK OF CURB OR EDGE OF PAVEMENT. PROVIDE COMPACTED BACKFILL AS NECESSARY AT HARD SURFACE LOCATIONS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- IRRIGATION CONTROLLER(S) ARE TO BE LOCATED AS SHOWN ON THE PLAN. CONTROLLERS SHALL BE WIRED TO POWER SUPPLY BY A LICENSED ELECTRICIAN PER LOCAL CODES. IRRIGATION CONTRACTOR TO PROVIDE ALL REQUIRED CONNECTIONS TO 24 VOLT IRRIGATION CONTROL WIRE INSIDE THE BUILDING THROUGH APPROPRIATE SIZED CONDUIT.
- ALL HEADS ARE TO BE 4" POP-UP IN LAWN AREAS. IRRIGATED AREAS CONTAINING VEGETATION WHICH POTENTIALLY MAY IMPIDE PERFORMANCE OF A 4" POP-UP TO BE REPLACED WITH A 12" HIGH POP-UP SPRINKLER.
- ALL ELECTRICAL WORK TO MEET OR EXCEED N.E.C., STATE CODES, LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL 24 VOLT POWER WIRES SHALL BE #14 AWG SOLID COPPER. ALL ABOVE GROUND 120 VOLT AND 24 VOLT WIRE SHALL BE IN PVC CONDUIT. ALL 24 VOLT CONTROL WIRES SHALL BE LOCATED IN A 3/4" CONDUIT.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- IRRIGATION CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT DRAWING IN PDF FORMAT UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
- THE ENTIRE SYSTEM SHALL BE GUARANTEED TO BE COMPLETE AND PERFECT IN EVERY DETAIL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE; REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT ONE YEAR SHALL BE FREE OF EXPENSE TO THE OWNER.
- AS PART OF THIS CONTRACT, PERFORM AT NO EXTRA COST WINTERIZATION AND SPRING START UP OF THE SYSTEM DURING THE GUARANTEE PERIOD (1 YEAR).
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER OR DESIGN PROFESSIONAL.
- IRRIGATION CONTRACTOR SHALL MAKE NECESSARY MINOR FIELD ADJUSTMENTS TO SPRINKLER NOZZLES, SPRINKLERS, PIPE, AND OTHER IRRIGATION EQUIPMENT LOCATIONS TO FIT THE AS-BUILT SITE. ADJUST HEAD AND PIPE LOCATIONS AS REQUIRED TO AVOID DAMAGING EXISTING TREE ROOTS. ADJUSTMENTS SHALL ENSURE HEAD TO HEAD COVERAGE AND NOT OVER SPRAY THE BUILDING OR OTHER IMPROVEMENTS.
- IRRIGATION PIPING LAYOUT IS SCHEMATIC. WHERE LINES ARE SHOWN BELOW PAVEMENT ADJACENT TO LANDSCAPE AREAS, THEY SHALL BE LOCATED IN THE LANDSCAPE AREA UNLESS SHOWN WITH A SLEEVE SYMBOL.
- BASE PLAN AND LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC. IN NATURE, FIELD VERIFY ALL BASE AND EXISTING IRRIGATION ELEMENTS AND CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE NECESSARY ADJUSTMENTS.
- IRRIGATION CONTRACTOR SHALL USE THE MANUFACTURER'S APPROVED PRESSURE REGULATING MODULE AS SPECIFIED TO ADJUST ZONE OPERATING PRESSURES TO AN AVERAGE OF 30 P.S.I. IN SPRAY ZONES AND 45 P.S.I. IN ROTOR ZONES.
- ALL MAIN LINE FITTINGS SHALL BE SCHEDULE 40 SOLVENT WELD TYPE UNLESS NOTED FOR LATERAL SERVICE.
- IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE CERTIFICATE OF COMPLETION IRRIGATION SCHEDULING, LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULES, IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS.

SYSTEM OPERATIONAL NOTES

SYSTEM OPERATION:

(BASED ON HISTORICAL CLIMATE)

CONTROLLER SETUP:

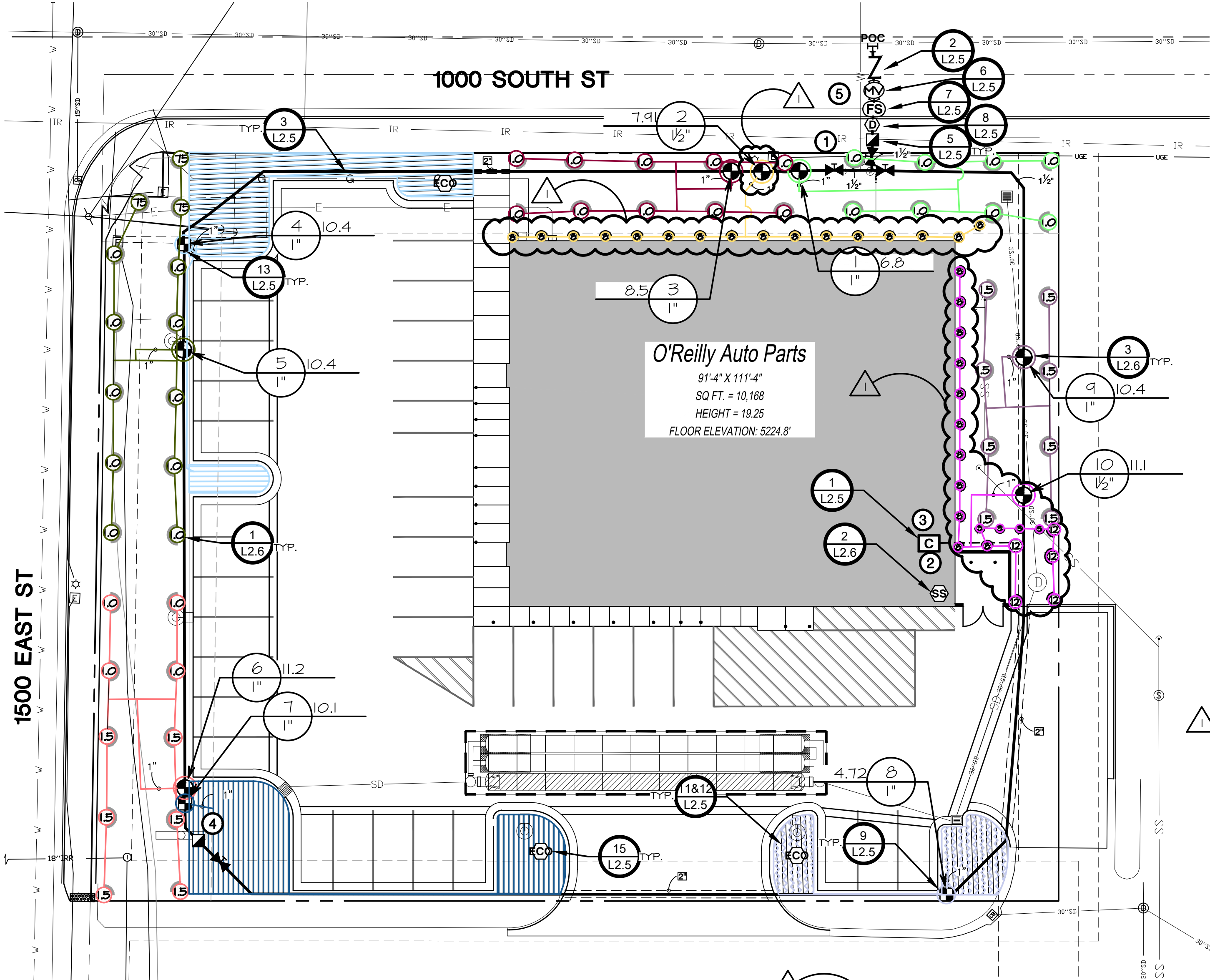
A CYCLING TECHNIQUE WILL BE USED FOR APPLICATION OF WATER. EACH STATION RUN TIME WILL BE APPLIED WITH THREE (3) DIFFERENT START TIMES. THEREFORE STATION RUN TIMES REFLECT ONE THIRD (1/3) THE TOTAL APPLICATION. PEAK WATER APPLICATION WILL REQUIRE IRRIGATION EVERY NIGHT. SET CONTROLLERS FOR START TIME #1 AT 7:30P.M., START TIME #2 AT 12:00A.M., AND START TIME #3 AT 5:30A.M. EXTEND WATER WINDOW IF REQUIRED TO MEET PEAK WATER REQUIREMENTS.

INITIAL STATION RUN TIMES:

DRIP ZONES: SHRUBS - 10 MINUTE CYCLES. (8 CYCLES MINIMUM SPACED EVENLY THROUGHOUT WATER WINDOW AS NOTED ABOVE)
ROTOR ZONES: TURF - 15 MINUTE CYCLES.

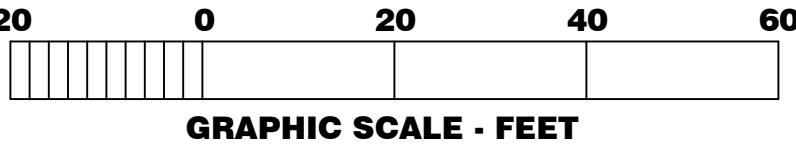
SYSTEM BALANCING:

AS THE SYSTEM OPERATES, SOME ZONES WILL BE WET WHILE OTHERS ARE DRY. ADJUST ONLY THOSE STATIONS WHICH REQUIRE ADDITIONAL OR LESS WATER. FOR EXAMPLE, IF STATION T51, A 15' TURF SPRAY ZONE IS ALWAYS DRY, CHANGE THE STATION T51 RUN TIME FROM FIFTEEN (15) MINUTES TO SIXTEEN (16) MINUTES. CONTINUE MAKING ADJUSTMENTS UNTIL THE ZONE MOISTURE CONTENT IS ACCEPTABLE. USE NOZZLE CHANGES OR NOZZLE SCREEN ADJUSTMENTS TO ADJUST WET AND DRY AREAS WITHIN A ZONE.

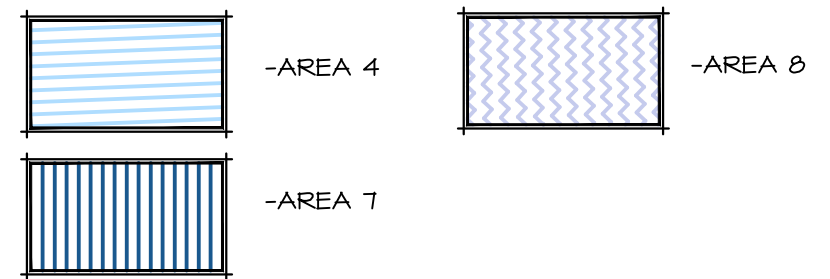


1 IRRIGATION PLAN

L2.1 SCALE: 1" = 20'-0"



DRIP MATERIAL LEGEND



PRESSURE ANALYSIS

P.O.C. NUMBER: 01	
Water Source Information:	
FLOW AVAILABLE	
Point of Connection Size:	1"
Flow Available:	19.62 GPM
PRESSURE AVAILABLE	
Static Pressure at P.O.C.:	45 PSI
Pressure Available:	45 PSI
DESIGN ANALYSIS	
Maximum Multi-valve Flow:	19.62 GPM
Flow Available at P.O.C.:	19.62 GPM
Residual Flow Available:	0 GPM
Critical Station:	
Design Pressure:	6
Friction Loss:	30 PSI
Fittings Loss:	1.26 PSI
Elevation Loss:	0.13 PSI
Loss through Valve:	0 PSI
Pressure Req. at Critical Station:	3 PSI
Loss for Fittings:	34.4 PSI
Loss for Main Line:	0.16 PSI
Loss for POC to Valve Elevation:	1.57 PSI
Loss for Backflow:	0 PSI
Loss for Master Valve:	0 PSI
Critical Station Pressure at P.O.C.:	9 PSI
Pressure Available:	34.1 PSI
Residual Pressure Available:	45 PSI
	5.9 PSI

CALLOUT LEGEND

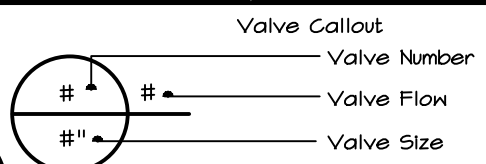
- CONNECT NEW 1/2" MAINLINE TO PROPOSED 1" IRRIGATION STUB IN THIS APPROXIMATE LOCATION. (FIELD VERIFY). SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 2" WIRE SLEEVE. ROUTE TO CONTROLLER LOCATION PER LOCAL CODES AS REQUIRED.
- INDOOR WALL MOUNT IRRIGATION CONTROLLER IN THIS APPROXIMATE LOCATION AS REQUIRED. CONNECT 120 VOLT AS REQUIRED. ALL ABOVE GRADE WIRES SHALL BE LOCATED IN APPROPRIATELY SIZED CONDUIT (2" MINIMUM). IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH CERTIFIED ELECTRICAL CONTRACTOR FOR ALL ELECTRICAL CONNECTIONS. IRRIGATION CONTRACTOR SHALL ENSURE ALL CONTROLLER OPTIONS AND ZONES ARE FULLY OPERATIONAL AFTER TRENCHING HAS FINISHED. CONTROLLER LOCATION TO BE OWNER APPROVED. REVISE LOCATION AS REQUIRED FOR OWNER APPROVAL.
- EXTEND EXTRA WIRES TO THIS POINT. COIL APPROXIMATELY 24" LENGTH OF EXTRA WIRES IN SEPARATE VALVE BOX AT THIS LOCATION.
- MAINLINE AND ASSOCIATED IRRIGATION MATERIALS SHOWN IN HARDSCAPE AREAS IS FOR GRAPHIC CLARITY ONLY AND SHALL BE LOCATED IN ADJACENT LANDSCAPE AREA. REFER TO IRRIGATION SLEEVE LOCATIONS FOR ACTUAL HARDSCAPE PIPE CROSSINGS.

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Hunter ICV-6-F5	1"	Turf Rotor	6.8
2	Hunter ICV-6-F5	1-1/2"	Turf Spray	7.41
3	Hunter ICV-6-F5	1"	Turf Rotor	6.8
4	Hunter ICZ-101-25	1"	Area for Drip	10.42
5	Hunter ICV-6-F5	1"	Turf Rotor	10.42
6	Hunter ICV-6-F5	1"	Turf Rotor	11.2
7	Hunter ICZ-101-25	1"	Area for Drip	10.11
8	Hunter ICZ-101-25	1"	Area for Drip	4.12
9	Hunter ICV-6-F5	1"	Turf Rotor	10.4
10	Hunter ICV-6-F5	1-1/2"	Turf Spray	11.05

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊙	Hunter P&J-04-V .75, 1.0, 1.5 Turf Rotor, 4in. Pop-Up, Adjustable and Full Circle. With Drain Check Valve. See detail 1/L2.6
⊠	Hunter ICZ-101-25 Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen. See detail 4/L2.5
ECO	Hunter ECO-ID ECO-ID: 1/2in. FPT connection with 12 psi-10 psi operating pressure. Specify with Hunter 51 swing joint. See detail 15/L2.5
See drip material legend	Area to Receive Dripline Hunter HDL-06-12-PC HDL-06-12-PC: Hunter Dripline with 0.6 GPH Flow. Light brown tubing with gray striping. Emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings. See details 12 and 14/L2.5
⊕	Hunter ICV-6-F5 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry. See detail 3/L2.6
⊠	Hunter HQ-SLRK Quick coupler valve, yellow locking rubber cover, red brass and stainless steel, with 1in. NPT inlet, 1-piece body. See detail 5/L2.5
⊠	Isolation Valve, Mueller' Brass Valve or approved equal. See detail 4/L2.5
⊕	Hunter ICV-6-F5 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry. See detail 6/L2.5
⊕	Drain Valve. See detail 8/L2.5
Z	Zurn 350 1" 3/4in. - 2in. Double Check Valve Assembly Backflow Preventer w/ EZswap. See detail 2/L2.5
C	Hunter HSC-1600-F 16 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen & one ICM-800 Module. Commercial Use. Plastic Cabinet. See detail 1/L2.5
SS	Hunter W55 Wireless solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gitter mount bracket. See detail 2/L2.6
FS	Hunter HC-100-FLOW 1in. Flow meter for use with Hydrowise enabled controller to monitor flow and provide system alerts. Also functions as stand alone flow totalizer/56 meter on any residential or commercial irrigation system. See detail 1/L2.5
POC	Point of Connection 1"
---	Schedule 40 PVC for electrical control wires, size as indicated on plans. Coordinate with Electrical.
---	Irrigation Lateral Line: PVC Schedule 40 Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4"
---	1/2" Irrigation Mainline: PVC Schedule 40
---	Pipe Sleeve: PVC Schedule 40



Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS
IN ADVANCE BEFORE
YOU DIG, GRADE, OR
EXCAVATE FOR THE
MARKING OF
UNDERGROUND
MEMBER UTILITIES

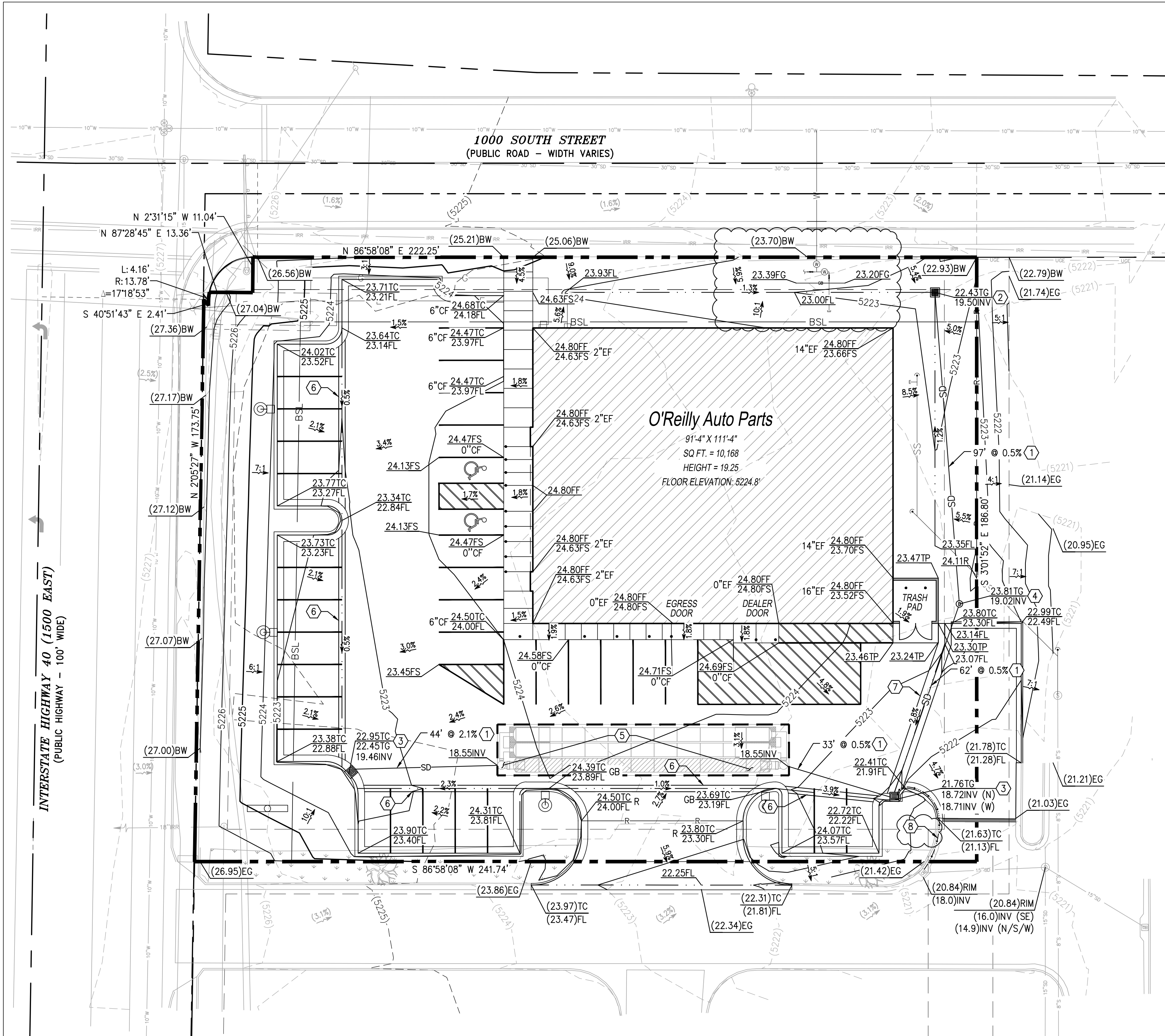
CRAIG A. SCHNEIDER, AIA
ARCHITECT

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Fax: 417.862.3265
e-mail: architect@esterlyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT
IRRIGATION PLAN

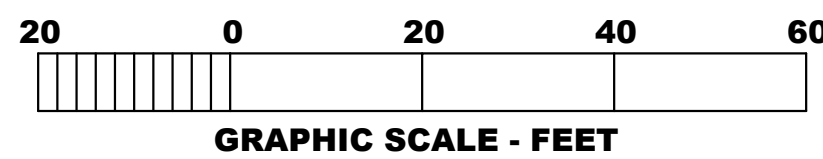
O'Reilly AUTO PARTS
CORPORATE OFFICES
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(417) 862-2674 TELEPHONE

CONM # 4667
DATE: 02.03.23
REVISION
DATE: 03.01.23



1 SITE GRADING PLAN

C1.1 SCALE: 1" = 20'-0"



UNDERGROUND RETENTION SYSTEM

ADS STORMTECH SC-740 SYSTEM (REFER TO ADS CONSTRUCTION DRAWINGS ON SHEETS C1.4-C1.5 FOR ADDITIONAL DETAILS)

NORTH SYSTEM
ROWS: 3 (INCLUDING ISOLATOR ROW)
CHAMBERS: 33
END CAPS: 6
REQUIRED RETENTION VOLUME: 2,738 CF
PROVIDED RETENTION VOLUME: 2,899 CF
TOP OF SC-740 CHAMBER: 5221.05
BOTTOM OF SC-740 CHAMBER: 5218.55

UNDERGROUND ADS STORMTECH SC-740 RETENTION SYSTEM TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND DETAILS AS SPECIFIED BY ADS - ADVANCED DRAINAGE SYSTEMS, INC. (MANUFACTURER).

ADA NOTE

- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
 - LONGITUDINAL SLOPE NOT TO EXCEED 5%
 - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
 - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
 - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

BENCHMARK

PER ALTA SURVEY BY DOMINION ENGINEERING ASSOCIATES, LC
REVISED 11/14/22.

VERTICAL DATUM: THE ELEVATIONS ARE BASED UPON 5290.50 FEET MEASURED AT THE NGS MONUMENT DESIGNATED AS PID No. IN0509.

SITE BENCHMARK LOCATION: CONTROL POINT IS A NAIL LOCATED OFF-SITE NEAR THE END OF CURB AND GUTTER AT THE NORTHWEST CORNER OF THE OFF-SITE PARKING LOT TO THE EAST OF THE SITE (NORTH OF MICROTEL). THE CONTROL POINT IS AT AN ELEVATION OF 5221.68 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 5,200 FEET.

KEY NOTES

- PROPOSED 10" ADS N-12 HDPE STORM DRAIN PIPE.
- PROPOSED 24" HEAVY DUTY NYLOPLAST DRAIN BASIN WITH 24" STANDARD SLOTTED GRATE (H-20 TRAFFIC RATED). REFER TO SHEET C1.3 FOR DETAILS.
- PROPOSED 24" HEAVY DUTY NYLOPLAST DRAIN BASIN WITH 24"x24" CURB INLET STANDARD GRATE WITH HOOD (H-20 TRAFFIC RATED). REFER TO SHEET C1.3 FOR DETAILS.
- PROPOSED 24" NYLOPLAST DRAIN BASIN WITH 24" SOLID GRATE (H-20 TRAFFIC RATED). REFER TO SHEET C1.3 FOR DETAILS.
- PROPOSED ADS UNDERGROUND STORMTECH SC-740 SYSTEM. REFER TO SHEETS C1.4 & C1.5 FOR DETAILS.
- PROPOSED 2" CONCRETE V-GUTTER. REFER TO DETAIL 8/C2.2.
- PROPOSED 4" CONCRETE V-GUTTER. REFER TO DETAIL 8/C2.2.
- OVERFLOW PATH TO EXISTING CATCH BASIN.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 01°52'43" EAST 2700.15 FEET MEASURED BETWEEN THE CENTER AND SOUTH QUARTER CORNER OF SECTION 30, T4S, R22E, SLB&M.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

(384.00)XX	EXISTING ELEV.
384.00XX	PROPOSED ELEV.
(700)	EXISTING CONTOURS
700	PROPOSED CONTOURS
1.6%	PROPOSED FLOW ARROW
(1.2%)	EXISTING FLOW ARROW
---	EASEMENT LINE
---	BUILDING/LANDSCAPE SETBACK LINE
---	PROPERTY LINE/ RIGHT OF WAY
---	NEW BUILDING CONSTRUCTION
---	NEW CONCRETE PARKING BLOCK
---	ADJACENT PROPERTY LINE
---	PROPOSED SWALE IN PAVEMENT/LANDSCAPE
---	OVERFLOW PATH

GENERAL NOTES

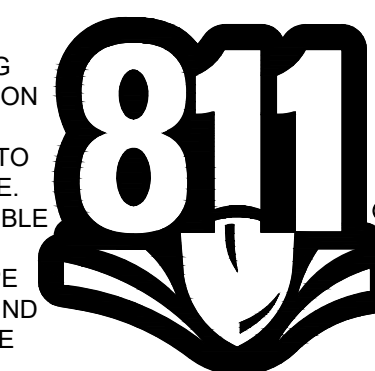
- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ENGINEER IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. NOTIFY ENGINEER IF EXISTING CONDITIONS REQUIRE REVISED FINISH FLOOR ELEVATION TO PROVIDE PROPER DRAINAGE.
- ACCESSIBLE PARKING AREAS TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. DESIGNATED ACCESSIBLE ROUTE TO SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.

SITE EXCAVATION REQUIREMENTS

- A GEOTECHNICAL REPORT HAS BEEN PERFORMED ON THIS SITE BY TERRACON DATED 01-25-2023. REFER TO PROJECT MANUAL.
- FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

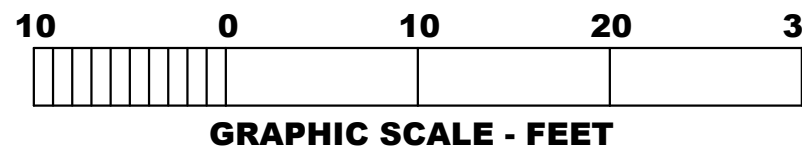
LIST	
BUILDING SETBACK LINE	BSL
BACK OF WALK	BW
CURB FACE	CF
EXPOSED FOUNDATION	EF
EXISTING GROUND	EG
FINISHED FLOOR ELEVATION	FF/FFE
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
INVERT	INV
RIDGE	R
STORM DRAIN	SD
TOP OF CURB	TC
TOP OF GRATE	TG
TRASH PAD	TP

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



2 ADA GRADING DETAIL

C1.1 SCALE: 1" = 10'-0"



PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT
SITE GRADING PLAN

O'Reilly **AUTO PARTS**
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4667
DATE: 02-03-23
REVISION
DATE: 03-01-23

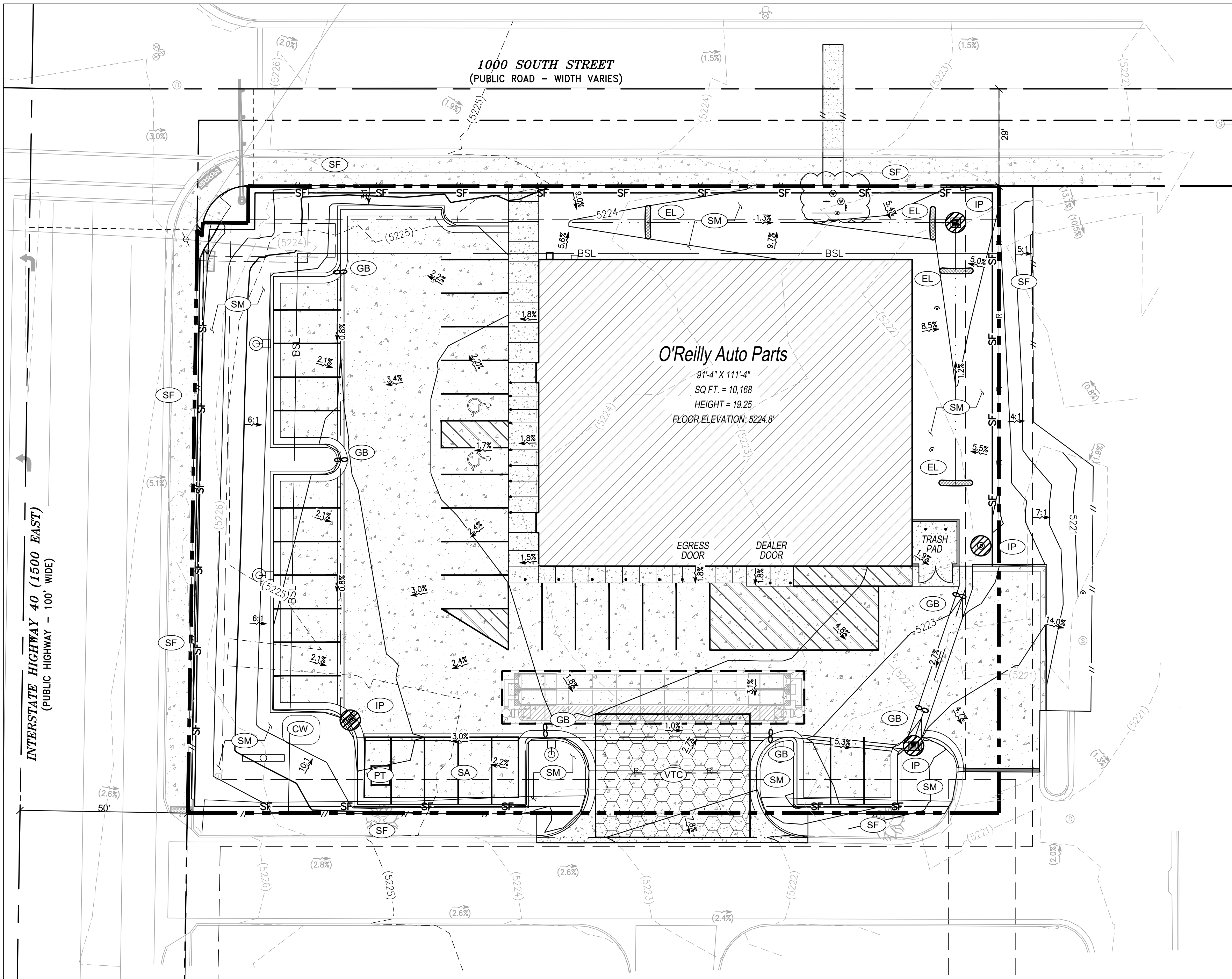
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PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

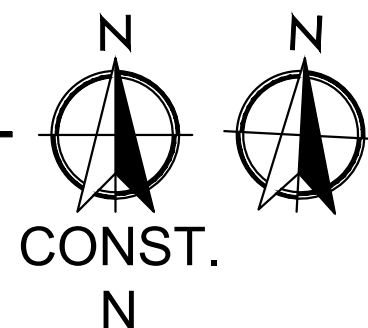
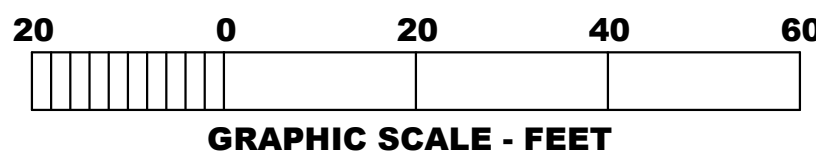
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Fax: 417.862.3265
e-mail: architect@esterlyschneider.com



1 SITE EROSION CONTROL PLAN
C1.2 SCALE: 1" = 20'-0"



EROSION CONTROL & MAINTENANCE PLAN NOTES

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CODE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO SITE DETAILS FOR SILT FENCE CONSTRUCTION.
7. REFER TO UTAH DEPARTMENT OF TRANSPORTATION STORMWATER QUALITY DESIGN MANUAL DURING CONSTRUCTION FIELD GUIDE FOR BEST MANAGEMENT PRACTICES DURING CONSTRUCTION.
8. REFUELING AND MAINTENANCE OPERATIONS SHALL TAKE PLACE IN THE DESIGNATED STABILIZED STAGING AREA.

CONSTRUCTION EGRESS NOTES

1. AGGREGATE BASED CONSTRUCTION EGRESS SHALL BE 12" MINIMUM AND 35' LENGTH WITH A 6" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER CITY OR STATE REQUIREMENTS.

SITE EXCAVATION REQUIREMENTS

- (A) A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- (B) FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- (C) REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

EROSION CONTROL PLAN KEYNOTES

TITLE	KEY	SYMBOL
CONCRETE WASHOUT	CW	
PORTABLE TOILET	PT	
VEHICLE TRACKING CONTROL	VTC	
GRAVEL BAG	GB	
DRAIN INLET PROTECTION	IP	
PARKING PAD	PP	
SILT FENCE	SF	
EROSION LOG	EL	
SEEDING AND MULCHING	SM	

STAGE OF CONSTRUCTION NOTES

- PHASE 1:(PRE-CONSTRUCTION)
1. INSTALLATION OF EROSION CONTROL SILT FENCE.
 2. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
 3. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
- VEHICLE TRACKING CONTROL
-SANITARY FACILITIES
-GRAVEL BAGS
- PHASE 2:(DURING GRADING, AND PAVING)
4. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
 5. ROUGH GRADING.
 6. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
 7. FINAL GRADING.
- CONCRETE WASHOUT AREA
-PRIOR TO ANY CONCRETE WORK
-INLET PROTECTION FOR PROPOSED ONCE INSTALLED
- PHASE 3:(POST PAVING)
8. PLACEMENT OF FINAL LANDSCAPING ITEMS.
 9. REMOVAL OF EROSION CONTROL FENCE.
- FINAL LANDSCAPE INSTALLATION PER LANDSCAPE PLANS
-REMOVE REMAINING EROSION CONTROL BMP'S ONCE STABILIZED

SITE LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- NEW BUILDING CONSTRUCTION
- AREA OF CONCRETE
- NEW CONCRETE PAVING BLOCK
- O'REILLY PROPERTY LINE
- CENTER LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED SAWCUT
- PROPOSED RIDGE LINE
- PROPOSED FLOW LINE
- LIMITS OF DISTURBANCE
- NEW POLE SIGN LOCATION
- NEW BOLLARD
- PROPOSED CLEANOUT
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTOR

UNDERGROUND RETENTION SYSTEM

ADS STORMTECH SC-740 SYSTEM (REFER TO ADS CONSTRUCTION DRAWINGS ON SHEETS C1.4-C1.5 FOR ADDITIONAL DETAILS)

NORTH SYSTEM
ROWS: 3 (INCLUDING ISOLATOR ROW)
CHAMBERS: 33
END CAPS: 6
REQUIRED RETENTION VOLUME: 2,738 CF
PROVIDED RETENTION VOLUME: 2,889 CF
TOP OF SC-740 CHAMBER: 5221.05
BOTTOM OF SC-740 CHAMBER: 5218.55

UNDERGROUND ADS STORMTECH SC-740 RETENTION SYSTEM TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND DETAILS AS SPECIFIED BY ADS - ADVANCED DRAINAGE SYSTEMS, INC. (MANUFACTURER).

CAUTION:
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ARCHITECT

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PROJECT:
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1500 EAST ST.
NAPLES, UT

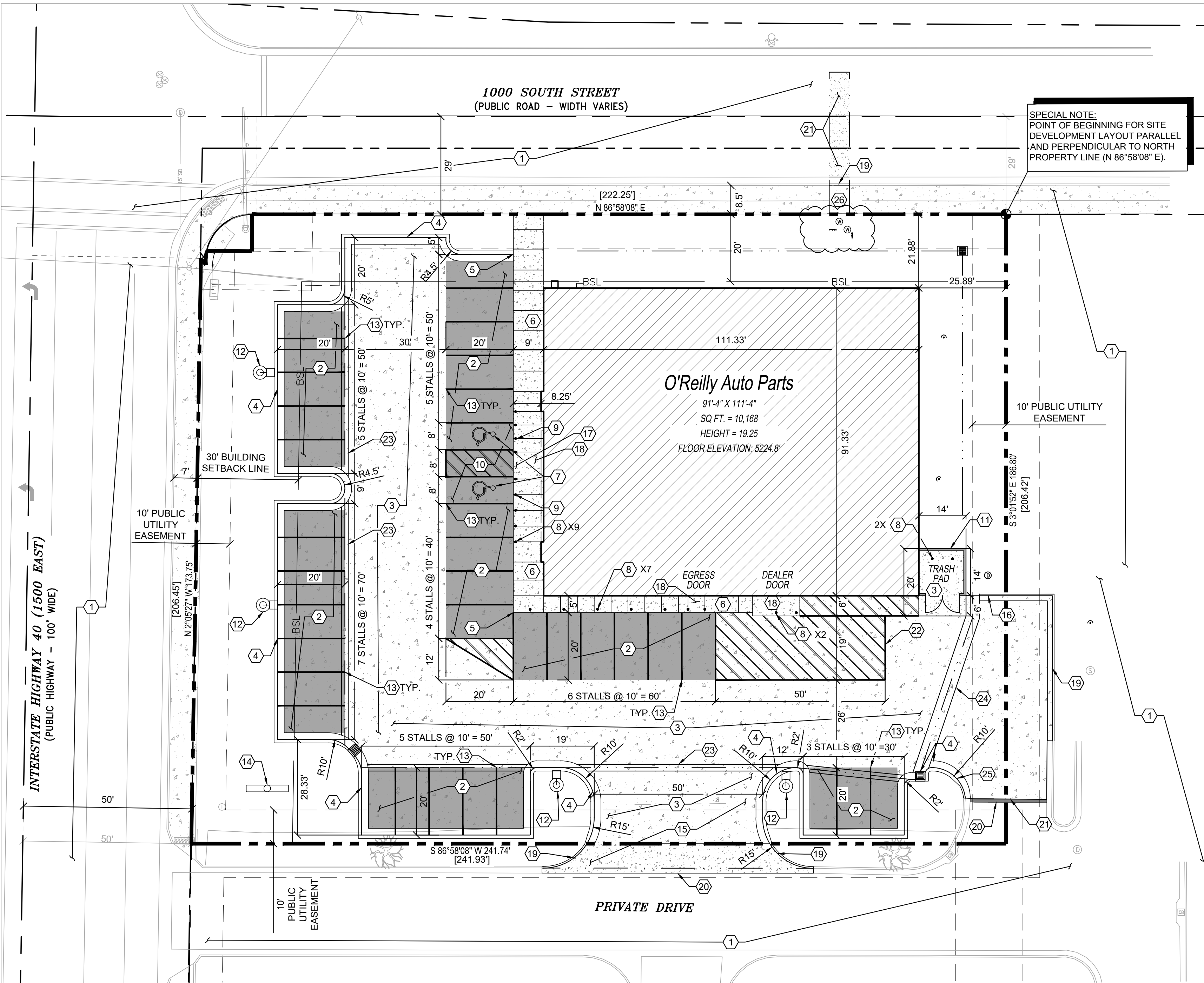
SITE EROSION CONTROL PLAN

O'Reilly AUTO PARTS

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(417) 862-2674 TELEPHONE

COMM # 4667
DATE: 02-03-23
REVISION
DATE: 03-01-23

C1.2



SPECIAL NOTE:
POINT OF BEGINNING FOR SITE
DEVELOPMENT LAYOUT PARALLEL
AND PERPENDICULAR TO NORTH
PROPERTY LINE (N 86°58'08" E).

ZONING CODE

ZONING
CLASSIFICATION:
USE: COMMERCIAL ZONE C
AUTO PARTS RETAIL

LOT COVERAGE
PROPERTY AREA: 44,704 SQ. FT. (1.026 AC)
PAVEMENT AREA: 21,295 SQ. FT.
LANDSCAPE AREA: 13,241 SQ. FT.
ROOF: 10,168 SQ. FT.

PARKING SUMMARY
PARKING FORMULA: GENERAL RETAIL: 1 SP. PER
300 SQ. FT. GFA
WAREHOUSE: 1 SP PER 1000
SQ. FT. GFA

SPACE SIZE:
SPACES REQUIRED: 17
SPACES PROVIDED: 37
H.C. SPACES PROVIDED: 2

KEY NOTES

- PROTECT EXISTING IMPROVEMENTS
- CONCRETE PAVING (LIGHT DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2
- CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA, REFER TO DETAIL 2/C2.2
- CONCRETE CURB, REFER TO DETAIL 3/C2.2
- CONCRETE SIDEWALK CURB. REFER TO DETAIL 9/C2.2
- CONCRETE SIDEWALK. REFER TO DETAIL 4/C2.2 AND STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER.
- ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 5/C2.2
- STEEL BOLLARD. REFER TO DETAIL 6/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, (7) AT EGRESS DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- ACCESSIBLE PARKING SIGN. REFER TO DETAIL 7/C2.2.
- ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- REFUSE ENCLOSURE, REFER TO 1/C2.3.
- PARKING LOT LIGHTING, REFER TO UTILITY SITE PLAN FOR TYPE AND CONSTRUCTION.
- 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- SITE SIGN. REFER TO SHEET SG.1.1 FOR TYPE, CONSTRUCTION AND LOCATION.
- CONCRETE DRIVE APRON TO BE INSTALLED PER CITY OF NAPLES STANDARD DRAWING GW 3B ON SHEET C2.4.
- ROLL DOWN CURB END TRANSITION SLOPING 1:2.
- ACCESSIBLE AISLE TRANSITION. REFER TO 10/C2.2.
- CONCRETE DOOR PAD. REFER TO DETAIL 4/C2.2 AND ARCHITECTURAL DRAWINGS FOR DOOR OPENING LOCATIONS. CONCRETE PAD AT DOOR OPENINGS TO BE FLUSH WITH FINISH FLOOR AND SLOPE 2% MAXIMUM AWAY FROM BUILDING.
- CONCRETE CURB TO MATCH EXISTING CURB TYPE.
- LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL 6" MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- UTILITY TRENCH. REPLACE ASPHALT TO A DEPTH OF 4" PER AVWSID STANDARD DETAIL W10 ON C2.4.
- PROPOSED LOADING ZONE TO BE STRIPED USING 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS) SPACED 2.5' APART.
- PROPOSED 2' CONCRETE V-GUTTER. REFER TO DETAIL 8/C2.2.
- PROPOSED 4' CONCRETE V-GUTTER. REFER TO DETAIL 8/C2.2.
- PROPOSED 5' CURB TRANSITION TO MATCH EXISTING CURB.
- CONCRETE SIDEWALK IN ROW. REFER TO CITY OF NAPLES CURB, GUTTER AND SIDEWALK DETAIL ON SHEET C2.4.

GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

SITE LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

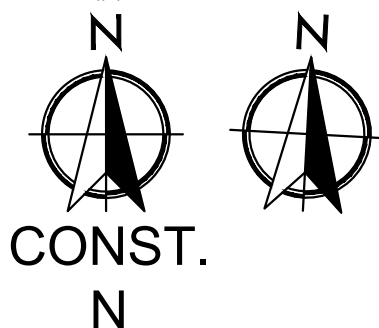
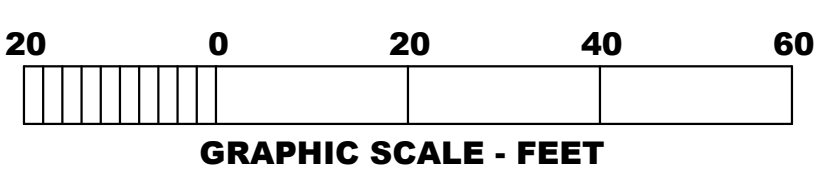
- NEW BUILDING CONSTRUCTION
- AREA OF CONCRETE
- AREA OF LIGHT DUTY CONCRETE
- NEW CONCRETE PAVING BLOCK
- O'REILLY PROPERTY LINE
CENTER LINE
RIGHT-OF-WAY LINE
EASEMENT LINE
BUILDING SETBACK LINE
PROPOSED SAWCUT
- NEW POLE SIGN LOCATION
- NEW BOLLARD
- PROPOSED CLEANOUT
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTOR

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 01°52'43" EAST 2700.15 FEET MEASURED BETWEEN THE CENTER AND SOUTH QUARTER CORNER OF SECTION 30, T4S, R22E, SLB8M.

1 SITE DEVELOPMENT PLAN

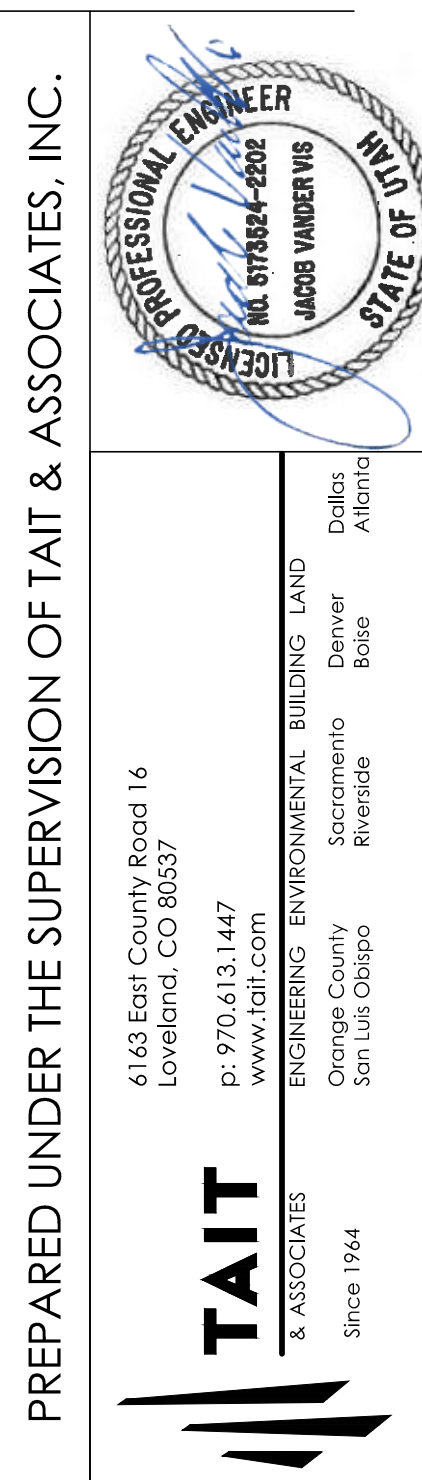
C2.1 SCALE: 1" = 20'-0"



CAUTION:
INFORMATION ON THIS DRAWING
CONCERNING TYPE AND LOCATION
OF UNDERGROUND AND OTHER
UTILITIES IS NOT GUARANTEED TO
BE ACCURATE OR ALL INCLUSIVE.
THE CONTRACTOR IS RESPONSIBLE
FOR MAKING HIS OWN
DETERMINATION AS TO THE TYPE
AND LOCATION OF UNDERGROUND
AND OTHER UTILITIES AS MAY BE
NECESSARY TO AVOID DAMAGE
THERETO.



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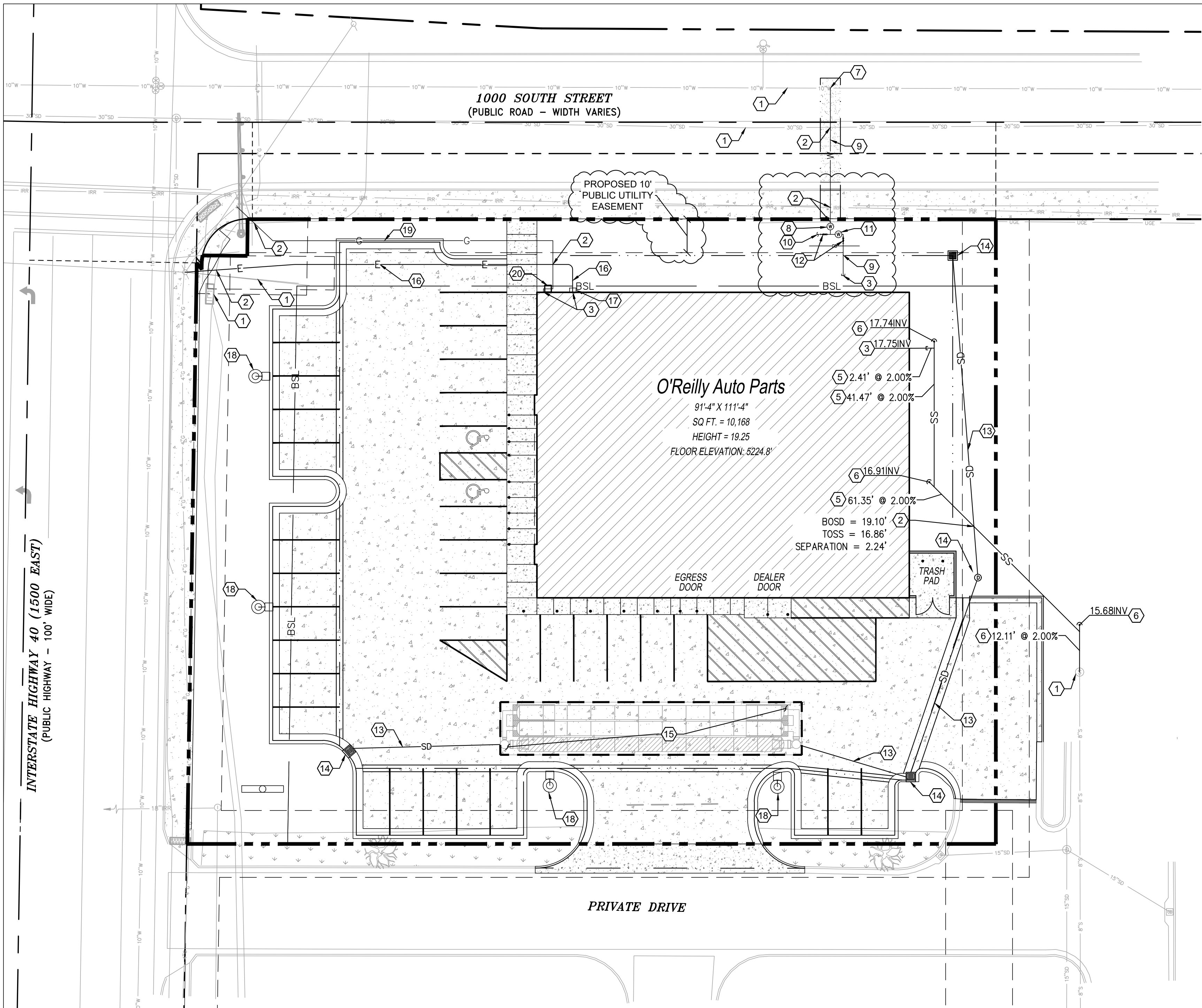
PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

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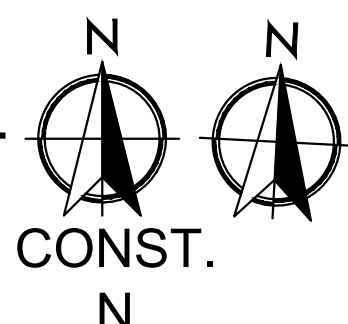
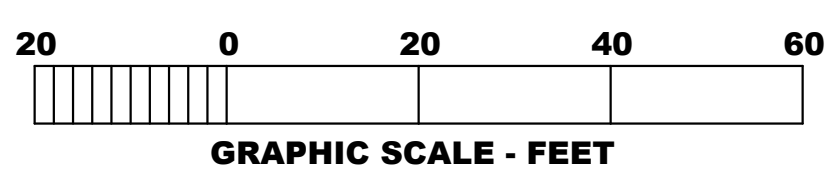
C2.1

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ARCHITECT
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Fax: 417.862.3265
e-mail: architec@esterlyschneider.com



1 SITE UTILITY PLAN

C3.1 SCALE: 1" = 20'-0"



NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- NEW BUILDING CONSTRUCTION
- AREA OF CONCRETE
- NEW CONCRETE PAVING BLOCK
- O'REILLY PROPERTY LINE
- CENTER LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- BSL BUILDING SETBACK LINE
- PROPOSED SAWCUT
- PROPOSED FLOW LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- NEW POLE SIGN LOCATION
- NEW BOLLARD
- PROPOSED CLEANOUT
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTOR

KEY NOTES

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- UTILITY CROSSING. CONTRACTOR TO VERIFY DEPTH AND NOTIFY ENGINEER OF CONFLICT.
- UTILITY CONNECTION TO BUILDING.
- PROPOSED SEWER SERVICE CONNECTION TO MANHOLE. PROVIDE INSIDE DROP MANHOLE CONNECTION. REFER TO ASHLEY VALLEY STANDARD DETAIL S7 ON SHEET C2.4.
- INSTALL 4" SDR-35 PVC SANITARY SEWER AT MINIMUM 2.0% SLOPE AND MINIMUM 4' COVER DEPTH. REFER TO ASHLEY VALLEY STANDARD DETAIL S8 ON SHEET C2.4.
- PROPOSED SANITARY SEWER CLEANOUT. REFER TO ASHLEY VALLEY STANDARD DETAIL S8 ON SHEET C2.4.
- PROPOSED WATER SERVICE CONNECTION TO WATER MAIN. REFER TO ASHLEY VALLEY STANDARD DETAIL W1-C ON SHEET C2.4.
- INSTALL 1" TOTALIZING WATER METER. REFER TO ASHLEY VALLEY STANDARD DETAIL W1 ON SHEET C2.4.
- INSTALL 1" BLUE-POLY CTS WATER SERVICE LINE.
- PROPOSED IRRIGATION SERVICE STUB. REFER TO LANDSCAPE AND IRRIGATION PLANS FOR CONTINUATION.
- INSTALL 1" BUILDING WATER METER. REFER TO ASHLEY VALLEY STANDARD DETAIL W1-C ON SHEET C2.4.
- PROPOSED BACKFLOW PREVENTOR WITH HOT BOX PER ASHLEY VALLEY WATER AND SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS.
- PROPOSED ADS N-12 HDPE STORM DRAIN PIPE. REFER TO C1.1 FOR DETAIL.
- PROPOSED NYLOPLAST DRAIN BASIN. REFER TO C1.1 TO DETAIL.
- PROPOSED ADS UNDERGROUND STORMTECH SC-740 SYSTEM. REFER TO C1.1 FOR DETAIL.
- ELECTRIC SERVICE ALIGNMENT SHOWN FOR REFERENCE. REFER TO US1 FOR DETAIL.
- ELECTRIC METER SHOWN FOR REFERENCE. REFER TO US1 FOR DETAIL.
- PROPOSED LIGHTPOST. REFER TO US1 FOR DETAIL.
- GAS SERVICE ALIGNMENT SHOWN FOR REFERENCE. REFER TO US1 FOR DETAIL.
- GAS METER SHOWN FOR REFERENCE. REFER TO US1 FOR DETAIL.

*NOTE: ASHLEY VALLEY WATER & SEWER IMPROVEMENT DISTRICT WILL INSTALL THE PROPOSED WATER TAP AND WATER SERVICE LINE UP TO AND INCLUDING THE DOMESTIC AND IRRIGATION METERS.

SITE LEGEND

EXISTING UTILITY NOTE

CONTRACTOR TO CONFIRM MINIMUM BURY DEPTH IS MAINTAINED OVER EXISTING UTILITIES.

EXISTING CONDITIONS NOTES

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY RESULTING FROM DAMAGE TO OR MODIFICATIONS OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS / INSTALLATIONS.

UTILITY COMPANY CONTACTS

WATER ASHLEY VALLEY WATER AND SEWER 609 WEST MAIN VERNAL, UT 84078 (435) 789-9400	ELECTRIC ROCKY MOUNTAIN POWER 183 SOUTH 500 EAST VERNAL, UT 84078 (435) 781-5630
STORM NAPLES CITY ROAD DEPARTMENT 1420 WEATHERBY DR VERNAL, UT 84078 (435) 789-9090	CATV/TELEPHONE STRATA NETWORKS 67 NORTH VERNAL AVENUE VERNAL, UT 84078 (435) 622-5322
NATURAL GAS QUESTAR GAS 1601 EAST 1700 SOUTH NAPLES, UT 84078 (435) 781-4071	SANITARY ASHLEY VALLEY WATER AND SEWER 609 WEST MAIN VERNAL, UT 84078 (435) 789-9400

BENCHMARK

PER ALTA SURVEY BY DOMINION ENGINEERING ASSOCIATES, LC
REVISED 11/14/22.

VERTICAL DATUM: THE ELEVATIONS ARE BASED UPON 5290.50 FEET MEASURED AT THE NGS MONUMENT DESIGNATED AS PID No. IN0509.

SITE BENCHMARK LOCATION: CONTROL POINT IS A NAIL LOCATED OFF-SITE NEAR THE END OF CURB AND GUTTER AT THE NORTHWEST CORNER OF THE OFF-SITE PARKING LOT TO THE EAST OF THE SITE (NORTH OF MICROTREL). THE CONTROL POINT IS AT AN ELEVATION OF 5221.68 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 5,200 FEET.

CAUTION:
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PROFESSIONAL ENGINEER
JACOB VANDERVIS
No. 676824-2002
STATE OF COLORADO

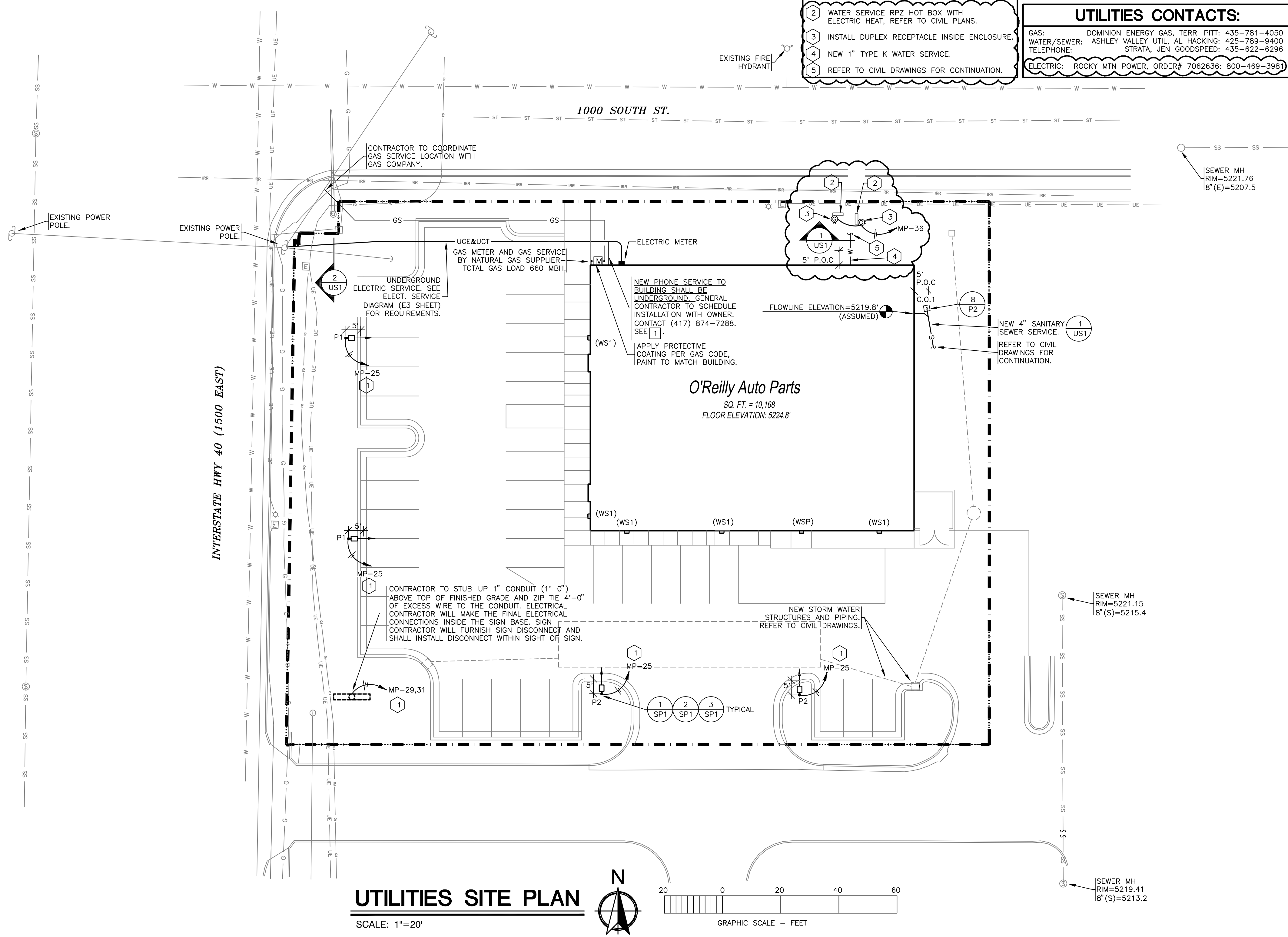
JACOB VANDERVIS PE 5173524-2202

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Fax: 417.862.3265

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT
SITE UTILITY PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM #	4667
DATE:	02-03-23
REVISION	
DATE:	03-01-23



	CONTRACTOR CAUTION!!! VERIFY SEWER LINE ELEVATION BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN. IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #DH152. PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.	EXISTING CONDITIONS NOTES - THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO. - EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED. - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS. - ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES. - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID, NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.	NEW UTILITIES <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 2px;"> </td> <td style="padding: 2px;"> WATER SERVICE IRRIGATION SERVICE UNDERGROUND ELECTRIC UNDERGROUND PHONE SANITARY SEWER OVERHEAD ELECTRIC OVERHEAD PHONE GAS SERVICE (DRY GAS CO.) SAW CUT BORE GRAVEL </td> </tr> </table> ● P.O.C. = POINT OF CONNECTION BETWEEN SITE PILING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00). AS NECESSARY. SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION).	 	WATER SERVICE IRRIGATION SERVICE UNDERGROUND ELECTRIC UNDERGROUND PHONE SANITARY SEWER OVERHEAD ELECTRIC OVERHEAD PHONE GAS SERVICE (DRY GAS CO.) SAW CUT BORE GRAVEL
 	WATER SERVICE IRRIGATION SERVICE UNDERGROUND ELECTRIC UNDERGROUND PHONE SANITARY SEWER OVERHEAD ELECTRIC OVERHEAD PHONE GAS SERVICE (DRY GAS CO.) SAW CUT BORE GRAVEL				
STOP-CALL BEFORE YOU DIG! 8 1 1					



O'REILLY AUTO PARTS

CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

PROJECT:
 NEW O'REILLY AUTO PARTS STORE
 1500 EAST ST.
 NAPLES, UT

UTILITIES SITE PLAN



CRAIG A. SCHNEIDER, AIA
ARCHITECT

1736 East Sunshine, Suite 417
 Springfield, Missouri 65804

417.862.0558
 FAX: 417.862.3245
 e-mail: architect@esterfyschneider.com

COMM # 4667
 DATE: 2-3-23
 REVISION
 DATE: 3-1-23

US1

ALL PANELBOARDS, TRANSFORMERS, TRANSFER SWITCH KIT, ENERGY MANAGEMENT SYSTEM AND DISCONNECTS WILL BE SUPPLIED BY THE OWNER (O'REILLY). ELECTRICAL GEAR SHALL BE DIRECT ORDERED AND/OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR. SEE 'ELECTRIC SERVICE RESPONSIBILITIES' FOR ADDITIONAL CLARIFICATION.

SOURCEONE SOLUTIONS
2081 EXCHANGE DRIVE
ST. CHARLES, MO 63303

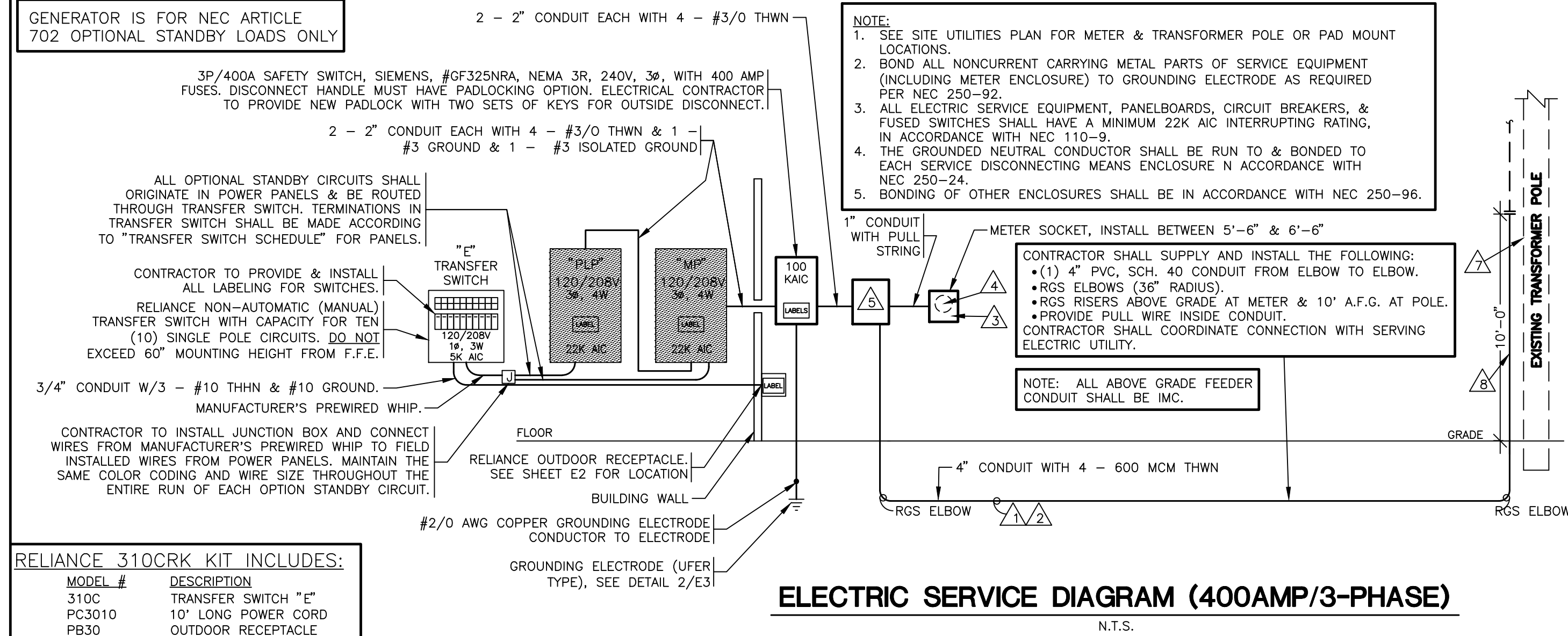
SOURCEONE SOLUTIONS O'REILLY TEAM
EMAIL: noreilly@sourceonesolutions.com
PHONE: 314-499-6400

MP		PANELBOARD SCHEDULE													
MAINS		400A MAIN LUGS ONLY				VOLTAGE		208		ACCESSORIES					
TYPE		SIEMENS, P1X				PHASE		3 Ph, 4W		1 FEED THRU LUGS 2 EQUIPMENT GROUND BAR 2 ISOLATED GROUND BAR					
MOUNTING SURFACE		WIDTH: 20 INCHES				SPACE(S)		42		4 * SIEMENS, #ECPD1, LOCKABLE CLIPS, CKT. #33 5 + MUST BE "BLH" 50 TO 100 AMP BREAKER					
SCCR: 22K AIC		SPACE(S)				42									
CKT	CKT BRK	WIRE	LOAD DESCRIPTION	(KVA)	AKVA	B(KVA)	C(KVA)	(KVA)	LOAD DESCRIPTION	WIRE	CKT BRK	CKT			
1	20A1P	#12s	LIGHTING	1.25	4.03			2.78	RTU-1 5-TON	#8s	45A3P	2			
3	20A1P	#12s	LIGHTING	1.18		3.96		2.78				4			
5	20A1P	#12s	LIGHTING/EX FAN	0.87			3.65	2.78				6			
7	20A1P	#12s	LIGHTING	1.22	4.00			2.78				8			
9	20A1P	#10s	LIGHTING	1.68		4.46		2.78	RTU-2 5-TON	#8s	45A3P	10			
11			SPACE				2.78	2.78				12			
13			SPACE		3.93			3.93	RTU-3 7.5 TON	#8s	+50A3P	14			
15			SPACE			3.93		3.93				16			
17			SPACE				3.93	3.93	RTU-4 7.5 TON	#8s	+50A3P	18			
19			SPACE		3.93			3.93				20			
21			SPACE			3.93		3.93				22			
23	20A1P	#12s	BUILDING LIGHTING	0.27			4.20	3.93				24			
25	20A1P	#12s	SITE LIGHTING	0.55	0.55				SPACE			26			
27			SPACE			0.00			SPACE			28			
29	20A1P	#10s	SITE SIGN	1.30			1.30		SPACE			30			
31	20A1P	#10s	SITE SIGN	1.30	1.30				SPACE			32			
33	*20A1P	#12s	LED SIGN BLDG	1.20		1.20			SPACE			34			
35				0.03			0.43	0.40	HOT BOX	#12s	20A1P	36			
37	20A3P	#12s	GRIDPOINT EC-2000	0.03	0.03				SPACE			38			
39				0.03		0.03			SPACE			40			
41	20A1P	#12s	XFMR J-BOX	0.60			1.20	0.60	LCP-2	#12s	20A1P	42			
TOTAL PHASE A (KVA)		TOTAL PHASE B (KVA)				TOTAL PHASE C (KVA)			TOTAL CONNECTED (KVA)			TOTAL AMPS			
17.77		17.51				17.49			52.77			147			

E	TRANSFER SWITCH SCHEDULE				
POSITION	CIRCUIT BREAKER	LOAD DESCRIPTION	(KVA)	BREAKER	
A	20A/1P	OFFICE COMPUTER	0.36	PLP-36	
B	20A/1P	COUNTER RECEPTACLES	0.36	PLP-36	
C	20A/1P	PRINTER	0.50	PLP-36	
D	20A/1P	TELEPHONE EQUIPMENT/SECURITY	0.90	PLP-40	
E	20A/1P	INSTALLER (ISOLATED GRD RECEPTACLE)	0.36	PLP-17	
F	20A/1P	INSTALLER (RECEPTACLE)	0.18	PLP-19	
G	20A/1P	LIGHTING SECURITY/OFFICE/PA/FOODS (100% ON)	0.87	MP-5	
H	20A/1P	LIGHTING HARD PARTS (DAMAGED TO 40% ON)	0.60	MP-7	
I	20A/1P	LIGHTING HARD PARTS (DAMAGED TO 40% ON)	0.82	MP-9	
J	20A/1P	SPARE	0		
GENERATOR (6,000 WATTS) RATED. MAX KVA=5.0 LOAD			4.95	TOTAL	

DOT-HATCH REPRESENTS CIRCUITS THAT ARE ASSOCIATED WITH OPTIONAL STANDBY GENERATOR CONTROL.

ELECTRIC SERVICE RESPONSIBILITIES				
SEE SITE PLAN FOR UTILITY COMPANY CONTACT.				
ITEM NO.	DESCRIPTION (IF APPLICABLE)	FURNISHED BY	INSTALLED BY	
		UTILITY CO.	CONTRACTOR	UTILITY CO.
1	SERVICE LATERAL		X	X
2	SERVICE LATERAL RACEWAY		X	X
3	METER BASE		X	X
4	METER	X		X
5	CT CABINET		X	X
6	SERVICE RISER @ POLE	EXISTING	EXISTING	EXISTING
7	TRANSFORMER POLE	EXISTING	EXISTING	EXISTING



PLP		PANELBOARD SCHEDULE													
MAINS: 400A MAIN LUGS ONLY				VOLTAGE: 208				ACCESSORIES							
TYPE: SIEMENS, P1X				PHASE: 3 Ph, 4W				1. EQUIPMENT GROUND BAR							
MOUNTING: SURFACE				WIDTH: 20 INCHES				2. ISOLATED GROUND BAR							
SCCR: 22K AIC				SPACE(S): 42				3. * SIEMENS, #ECPD1, LOCKABLE CLIPS, CKT. #31, #33 & #37							
								4. ** SIEMENS, #BF120AH, GFI BREAKER CKT. #16 & #23							
CKT	CKT BRK	WIRE	LOAD DESCRIPTION	(KVA)	A(KVA)	B(KVA)	C(KVA)	LOAD DESCRIPTION	WIRE	CKT BRK	CKT				
1	20A1P	#10s	LATHE	1.70	2.20			0.50	CHECK IN RCPT	#12s	20A1P	2			
3	20A1P	#10s	CUTOFF SAW	1.73		1.91		0.18	BATTERY RACK RCPT	#10s	20A1P	4			
5	20A1P	#12s	CRIMPER	1.77			1.95	0.18	BATTERY RACK RCPT	#10s	20A1P	6			
7	20A1P	#12s	RECEPTACLES	0.54	0.90			0.36	BREAK AREA RCPTS	#12s	20A1P	8			
9	20A1P	#12s	STARTER/ALT TESTER	1.68		1.68			SPARE		20A1P	10			
11	20A1P	#12s	STARTER/ALT TESTER	1.68			2.22	0.54	RTU RECEPTACLES	#12s	20A1P	12			
13	20A1P	#12s	STARTER/ALT TESTER	1.64	2.00			0.36	RECEPTACLES	#12s	20A1P	14			
15	20A1P	#12s	RECEPTACLES	0.36		2.11		1.75	COKE MACHINE	#12s	**20A1P	16			
17	20A1P	#12s	ISO GRND RCPTS	0.72			1.08	0.36	ISO GRND RCPTS	#12s	20A1P	18			
19	20A1P	#12s	RECEPTACLES	0.36	0.72			0.36	ISO GRND RCPTS	#12s	20A1P	20			
21	30A1P	#10s	BATTERY BACKUP IG	3.00		3.36		0.36	ISO GRND RCPTS	#12s	20A1P	22			
23	**20A1P	#12s	WATER COOLER	1.14			1.86	0.72	ISO GRND RCPTS	#12s	20A1P	24			
25	20A1P	#12s	IRR. CNTRL. RECP.	1.00	1.36			0.36	ISO GRND RCPTS	#12s	20A1P	26			
27	20A1P	#12s	ZONE DAMPER	0.10		0.10			SPACE		28				
29			SPACE				0.00		SPACE		30				
31				2.25	2.25				SPACE		32				
33	*30A2P	#10s	TANK WATER HTR	2.25		2.61		0.36	ISO GRND RCPTS	#12s	20A1P	34			
35	20A1P	#12s	ISO GRND RCPTS	0.36			0.72	0.36	ISO GRND RCPTS	#12s	20A1P	36			
37	*20A1P	#12s	FIRE ALARM (IF REQD)	0.30	0.80			0.50	PRINTER RCPT	#12s	20A1P	38			
39			SPACE			0.90		0.90	PHONE EQUIP/SECURITY	#12s	15A1P	40			
41			SPACE				0.90	0.90	RECEPTACLES	#12s	20A1P	42			
TOTAL PHASE A (KVA)				TOTAL PHASE B (KVA)				TOTAL PHASE C (KVA)				TOTAL CONNECTED (KVA)		TOTAL AMPS	
10.23				12.67				8.73				31.63		88	

NOTE:
ALL BRANCH CIRCUITS SHALL HAVE AN EQUIPMENT GROUNDING CONDUCTOR ROUTED WITH THE CIRCUIT CONDUCTORS. THIS MEANS ALL CONDUITS MUST HAVE A GREEN WIRE INSTALLED IN THEM AND SIZED IN ACCORDANCE WITH TABLE 250.122 OF THE N.E.C.

WIRING & LABELING OF EXIT & EMERGENCY LIGHT CIRCUITS

- SEE DETAIL 1/E1 FOR WIRING OF EXIT & EMERGENCY LIGHTS ON THESE CIRCUITS.
- ALL EXIT & EMERGENCY LIGHTING CIRCUITS SHALL BE LABELED BY THE CONTRACTOR ON THE "PANEL DIRECTORY". (SPEC. NEPA 70.408.4 & 700.12.)

EQUIPMENT LABELS CHART

SEE ELECTRICAL SERVICE DIAGRAM.

EQUIPMENT	LABELS				
	SERVICE DISCONNECT	OPTIONAL STANDBY SOURCE	SERIES RATING	GENERATOR POWER INLET	AVAILABLE CURRENT
DISCONNECT	X	X			
MP					
PLP					
E					
GENERATOR POWER INLET				X	
CT CABINET					

SERVICE DISCONNECT LABEL

THE SERVICE DISCONNECTING MEANS SHALL BE PROPERLY MARKED "SERVICE DISCONNECT". REFER TO SPEC SECTION 26 00 20 FOR FURTHER IDENTIFICATION PLATE REQUIREMENTS.

GENERATOR POWER INLET LABEL

PERMANENT LABEL SHALL BE 2 x 3 IN SIZE AND SHALL BE BLUE LETTERING ON A CONTRASTING BACKGROUND. LABEL TO BE PLACED 6 INCHES ABOVE GENERATOR RECEPTACLE.

WARNING:

FOR CONNECTION OF A NONSEPARATELY DERIVED (FLOATING NEUTRAL) SYSTEM ONLY
(MAX. 6,000 WATT GENERATOR)

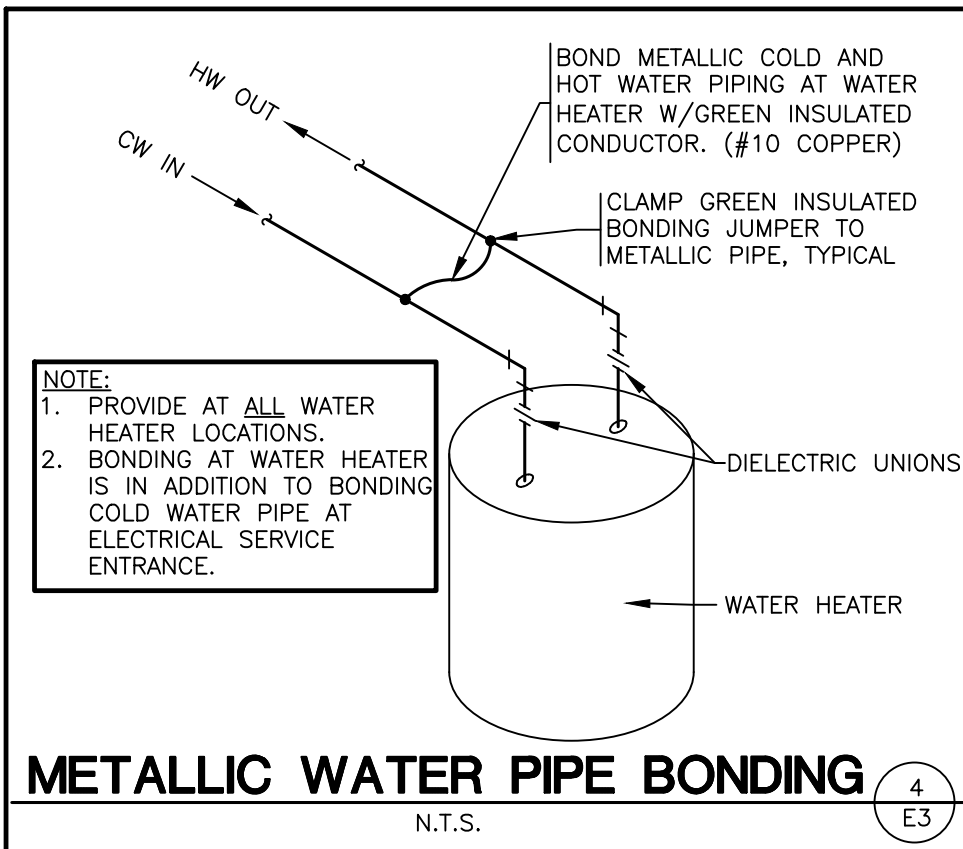
OPTIONAL STANDBY SOURCE LABEL

PERMANENT LABEL SHALL BE 2 x 3 IN SIZE AND SHALL BE BLUE LETTERING ON A CONTRASTING BACKGROUND. LABEL TO BE PLACED ON DISCONNECT DOOR.

CAUTION

TWO SOURCES OF SUPPLY

STANDBY POWER SOURCE: PORTABLE 6kw GENERATOR
LOCATION: OVERHEAD DOOR.

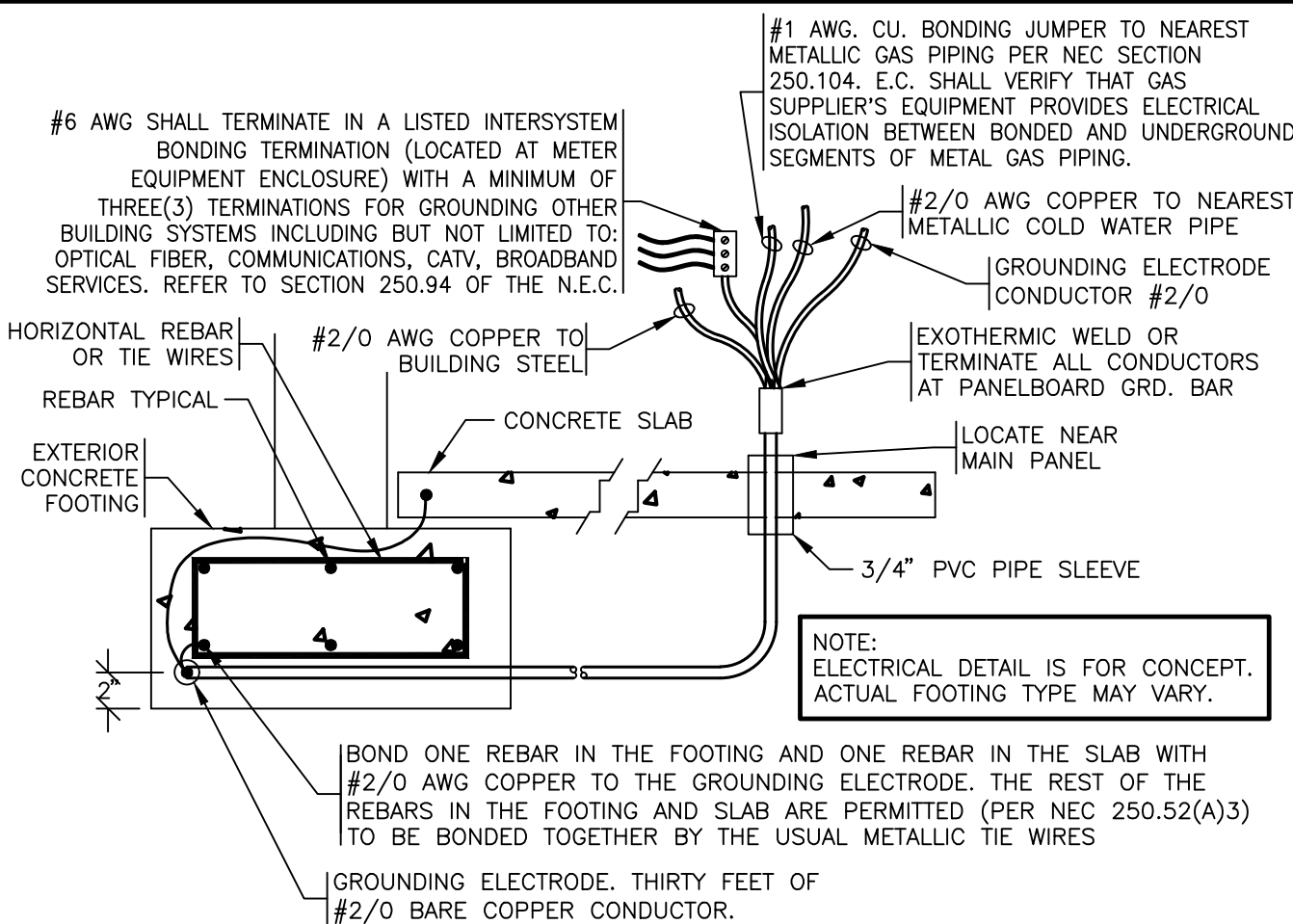


- NOTE:
1. BOND ALL NONCURRENT CARRYING METAL PARTS OF SERVICE EQUIPMENT (INCLUDING METER ENCLOSURE) TO GROUNDING ELECTRODE AS REQUIRED. PER NEC 250-92.
2. THE GROUNDING NEUTRAL CONDUCTOR SHALL BE RUN TO AND BONDED TO EACH SERVICE DISCONNECTING MEANS ENCLOSURE IN ACCORDANCE WITH NEC 250-24.
3. BONDING OF OTHER ENCLOSURES SHALL BE IN ACCORDANCE WITH NEC 250-96.

SERVICE EQUIPMENT GROUNDING & BONDING SHALL BE IN ACCORDANCE WITH:
• NEC 250-28 • NEC 250-53 • NEC 250-66 • NEC 250-90 • NEC 250-92 • NEC 250-130

BONDING REQUIREMENTS

N.T.S.

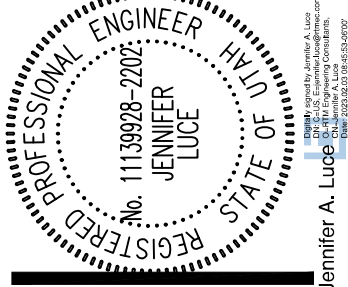


AUTOMATIC LIGHTING CONTROL

COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

1. ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.
- INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
- INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.
- EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.
- EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
- FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.
2. RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.

EXTERIOR LIGHT FIXTURE SCHEDULE													
ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER ("O'REILLY"). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR:				SOURCECONE SOLUTIONS 2081 EXCHANGE DRIVE ST. CHARLES, MO 63303				SOURCECONE SOLUTIONS O'REILLY TEAM EMAIL: noreilly@sourceconesolutions.com PHONE: 314-499-6406					
MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING		LAMPS			WATTAGE	NOTES		
					SURFACE WALL	SURF. CEILING	OTHER	TYPE				QUANTITY	
								FLOURESCENT	LED				
LED EXTERIOR LIGHTS													
WS1	LSI	XWM-FT-LED-06L-50-U-E-BRZ NO SUBSTITUTIONS	120	DARK BRONZE	X				X	1	45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	
WSP	LSI	XWM-FT-LED-06L-50-U-E-BRZ-PCI20 NO SUBSTITUTIONS	120	DARK BRONZE	X				X	1	45	FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.	
LED POLE LIGHTS													
P1	LSI	MRM-LED-18L-SIL-FT-UNV-DIM-50-70CRI-BRZ-IL	120	DARK BRONZE				X	X	1	135	25' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE. WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3	
	LSI	5SQB3-S11G-25-S-BRZ-LAB-5BC											
P2	LSI	MRM-LED-18L-SIL-3-UNV-DIM-50-70CRI-BRZ-IL	120	DARK BRONZE				X	X	1	135	25' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE. WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3	
	LSI	5SQB3-S11G-25-S-BRZ-LAB-5BC											
FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY													

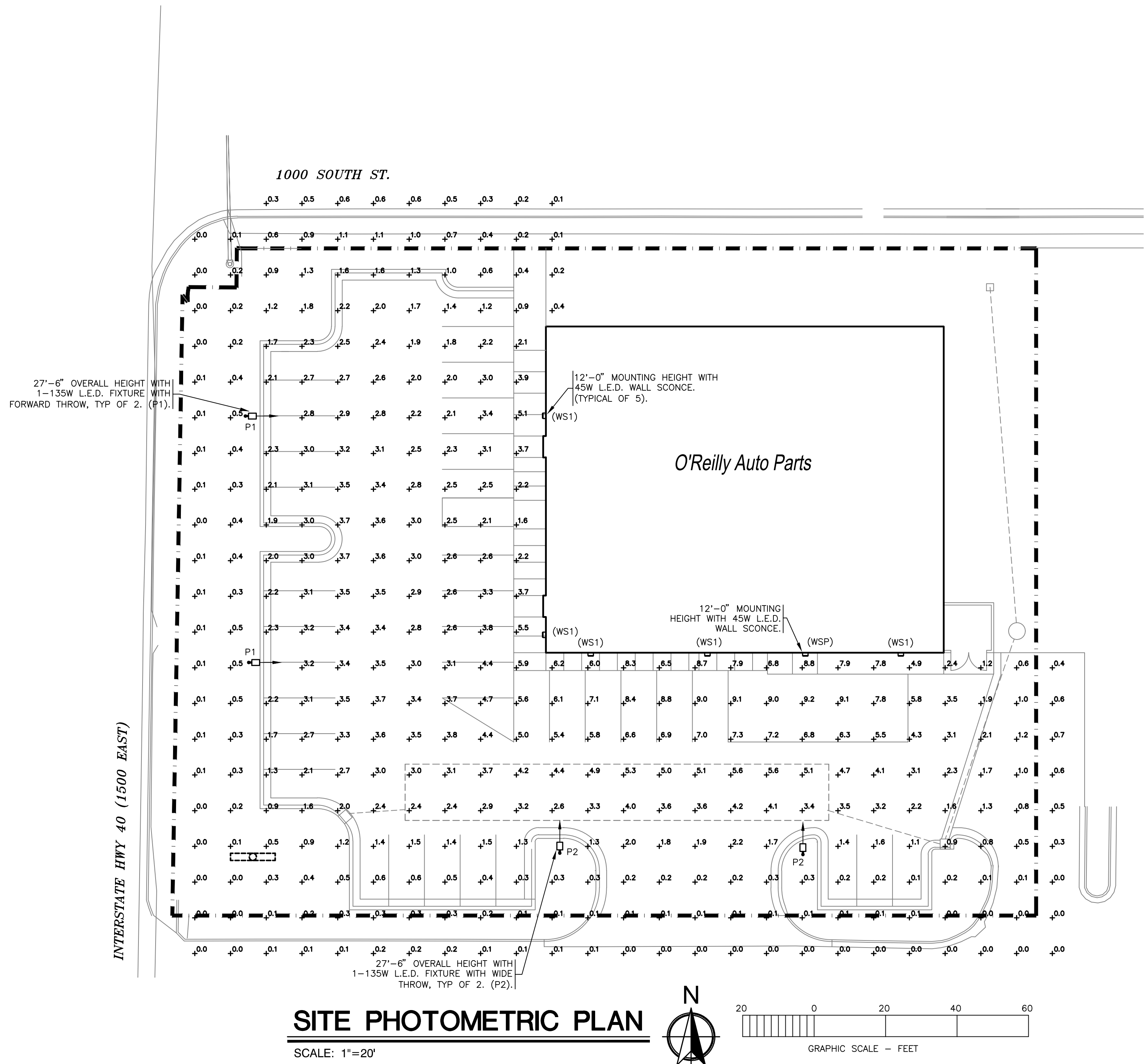
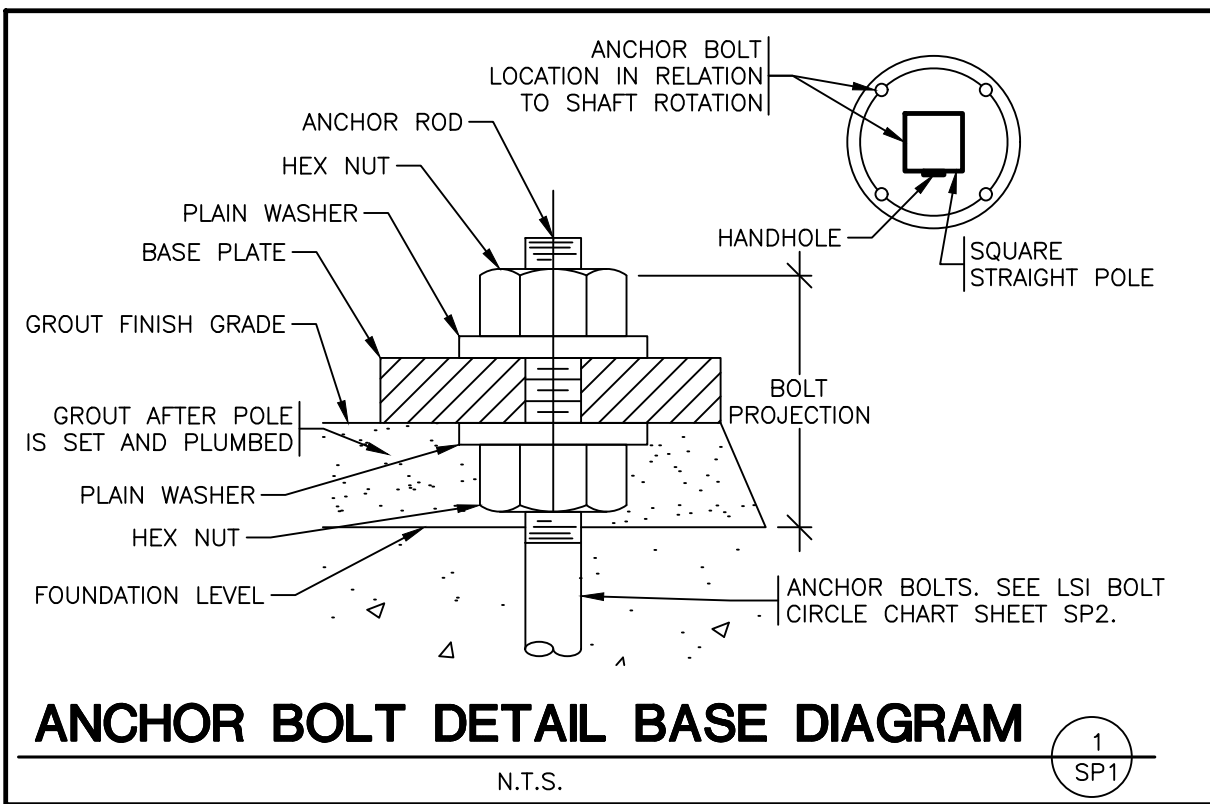
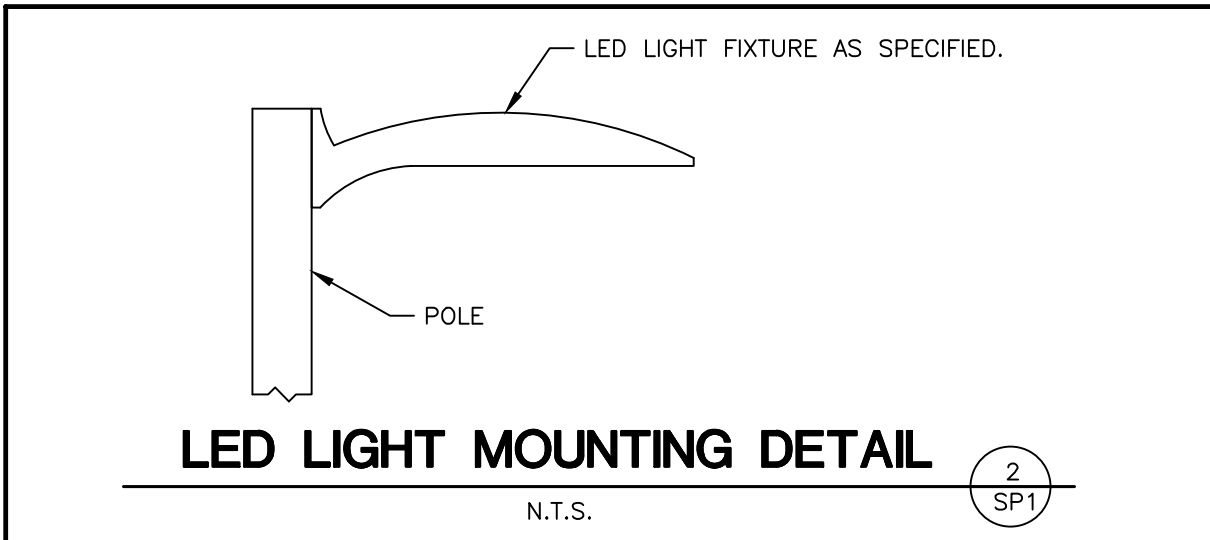
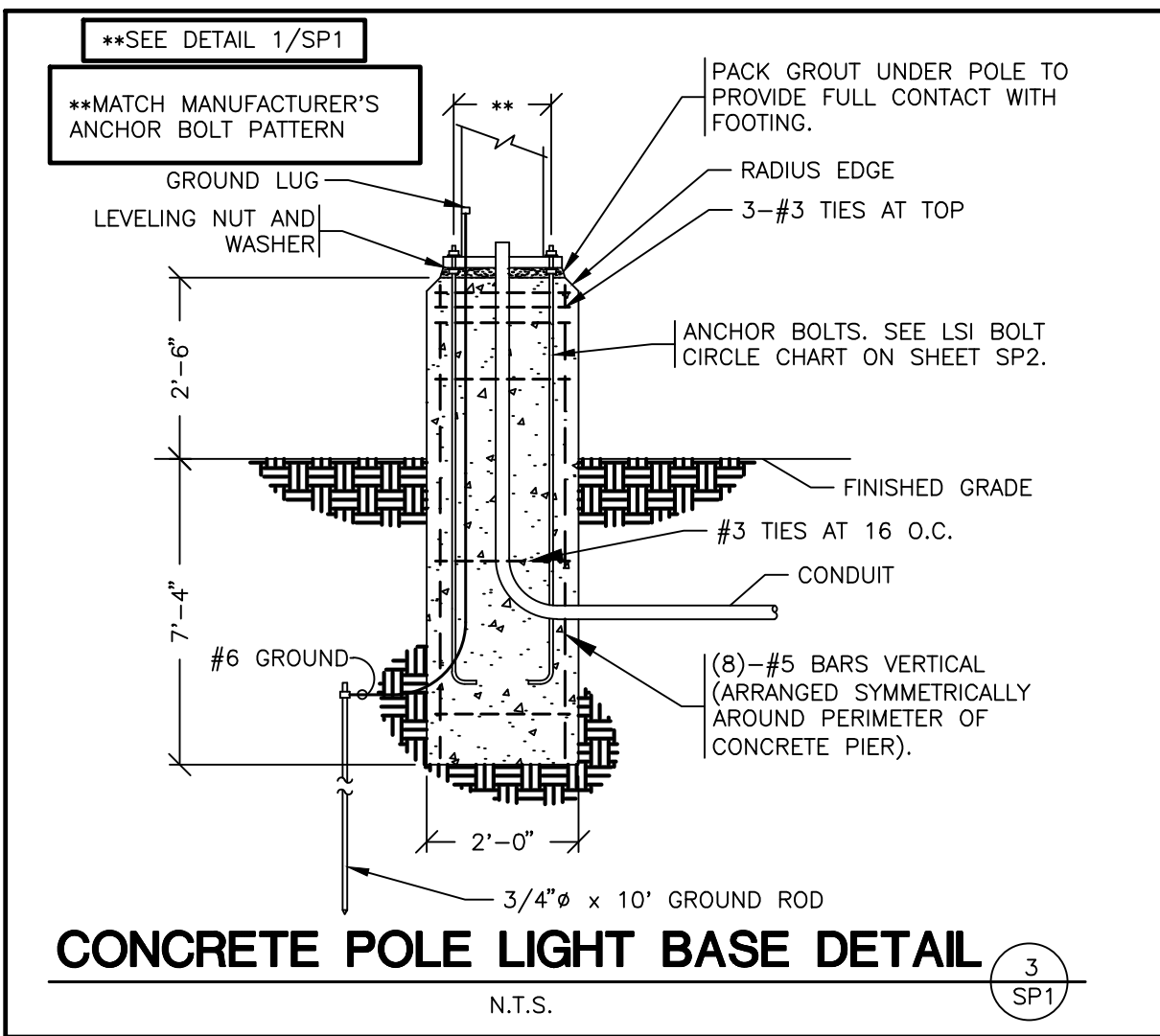


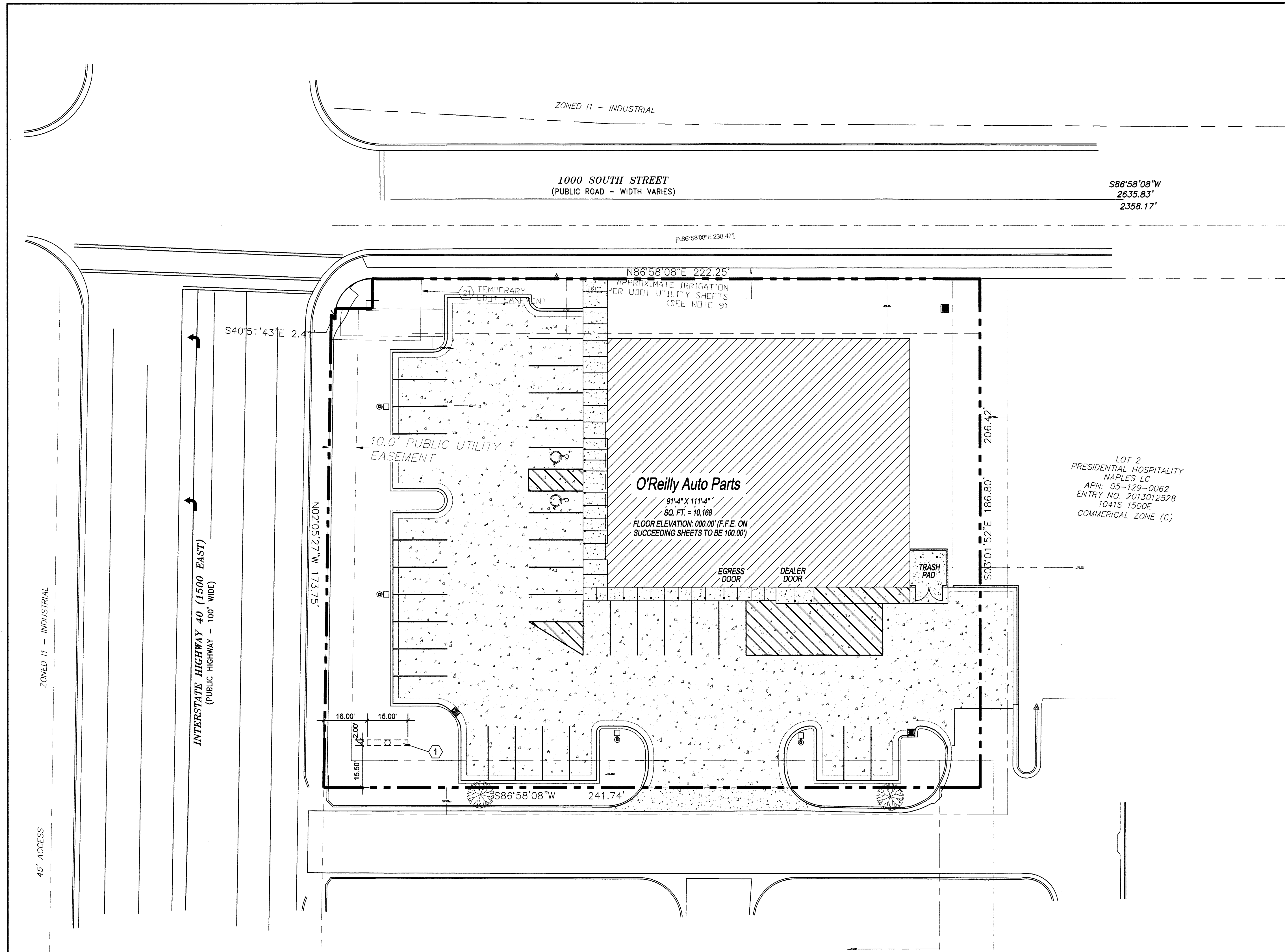
PROJECT:
NEW OREILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT

SITE PHOTOMETRIC PLAN

COMM #	4667
DATE:	2-3-23
REVISION	
DATE:	.

H:\ORE\2140 Naples, UT\D\2140SP1 2 Feb 2023 - 4:00 pm





GENERAL NOTES

- (A) REFER TO PROJECT MANUAL AND SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. REFER TO US1 AND CIVIL FOR UTILITY LOCATIONS. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- (E) "COMING SOON" TEMPORARY CONSTRUCTION SIGN TO BE PROVIDED BY CONTRACTOR. APPLIED SIGNAGE GRAPHICS TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED. LOCATE TEMPORARY CONSTRUCTION SIGN ON SITE SO AS TO BE VISIBLE TO PUBLIC FROM RIGHT-OF-WAY. REFER TO DETAIL 1/SG1.2.

SPECIAL NOTE:
AVOID OBSCURING VISIBILITY OF SITE SIGN FROM RIGHT OF WAY WITH LARGE PLANTINGS AND LANDSCAPING. SUBMIT LANDSCAPING LAYOUT FOR FINAL OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.

KEY NOTES

- (1) SITE SIGN, REFER TO ELEVATION 2/SG1.2

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT
SITE SIGNAGE PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4667
DATE: 2-3-23
REVISION
DATE:

CAUTION:
INFORMATION ON THIS DRAWING
CONCERNING TYPE AND LOCATION
OF UNDERGROUND AND OTHER
UTILITIES IS NOT GUARANTEED TO
BE ACCURATE OR ALL INCLUSIVE.
THE CONTRACTOR IS RESPONSIBLE
FOR MAKING HIS OWN
DETERMINATION AS TO THE TYPE
AND LOCATION OF UNDERGROUND
AND OTHER UTILITIES AS MAY BE
NECESSARY TO AVOID DAMAGE
THERE TO.



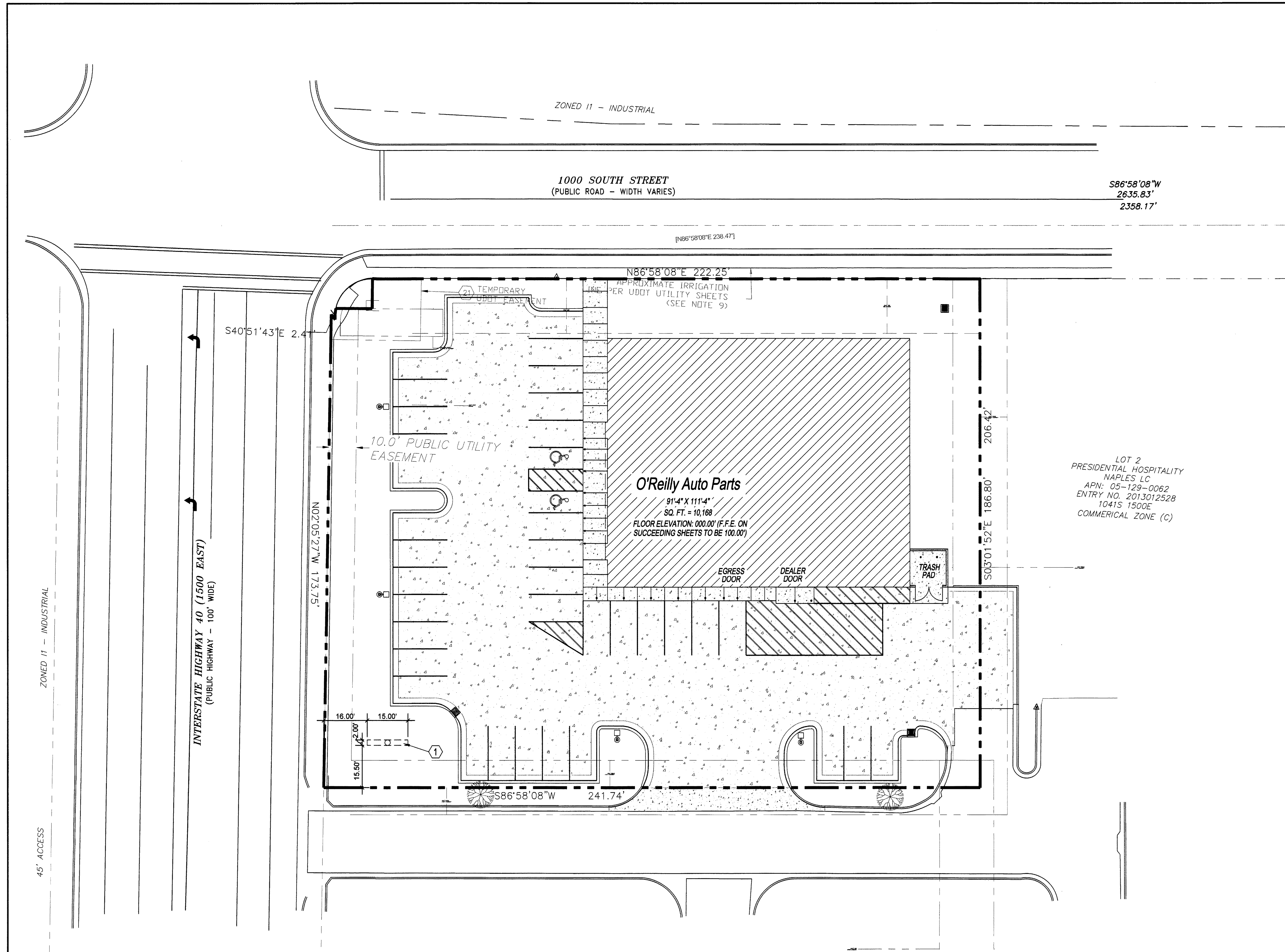
Know what's below
Call before you dig.

SG1.1

CRAIG A. SCHNEIDER, AIA
ARCHITECT

417.862.0558
Fax: 417.862.3265
e-mail: architect@esterlyschneider.com

1736 East Sunshine, Suite 417
Springfield, Missouri 65804



GENERAL NOTES

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KEY NOTES

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COMM # 4667
DATE: 2-3-23
REVISION
DATE:

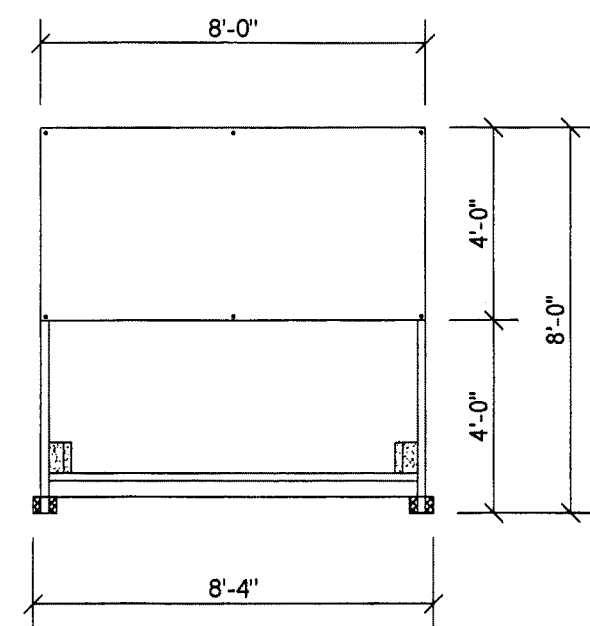
SG1.1

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

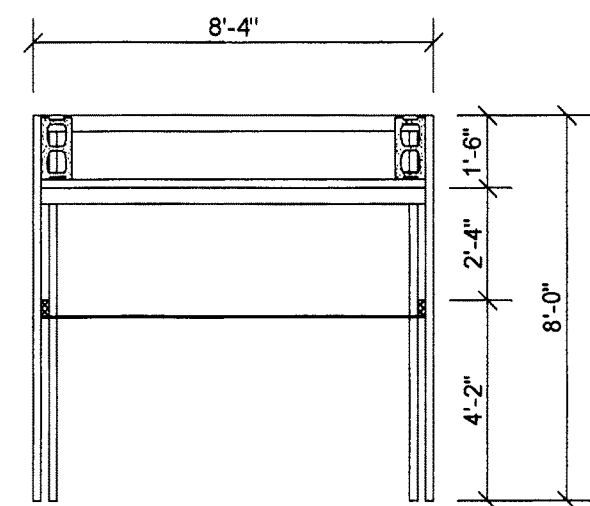


Know what's below
Call before you dig.

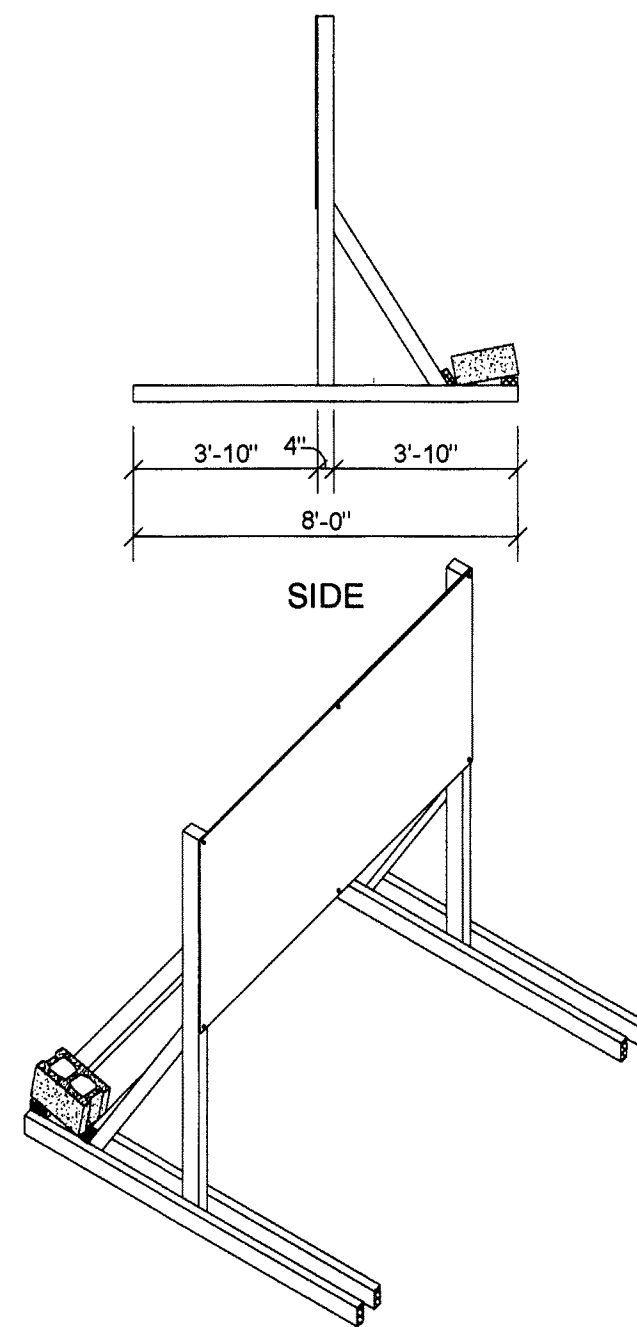
CRAIG A. SCHNEIDER, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804
417.862.0558
Fax: 417.862.3265
e-mail: architect@esterlyschneider.com



FRONT

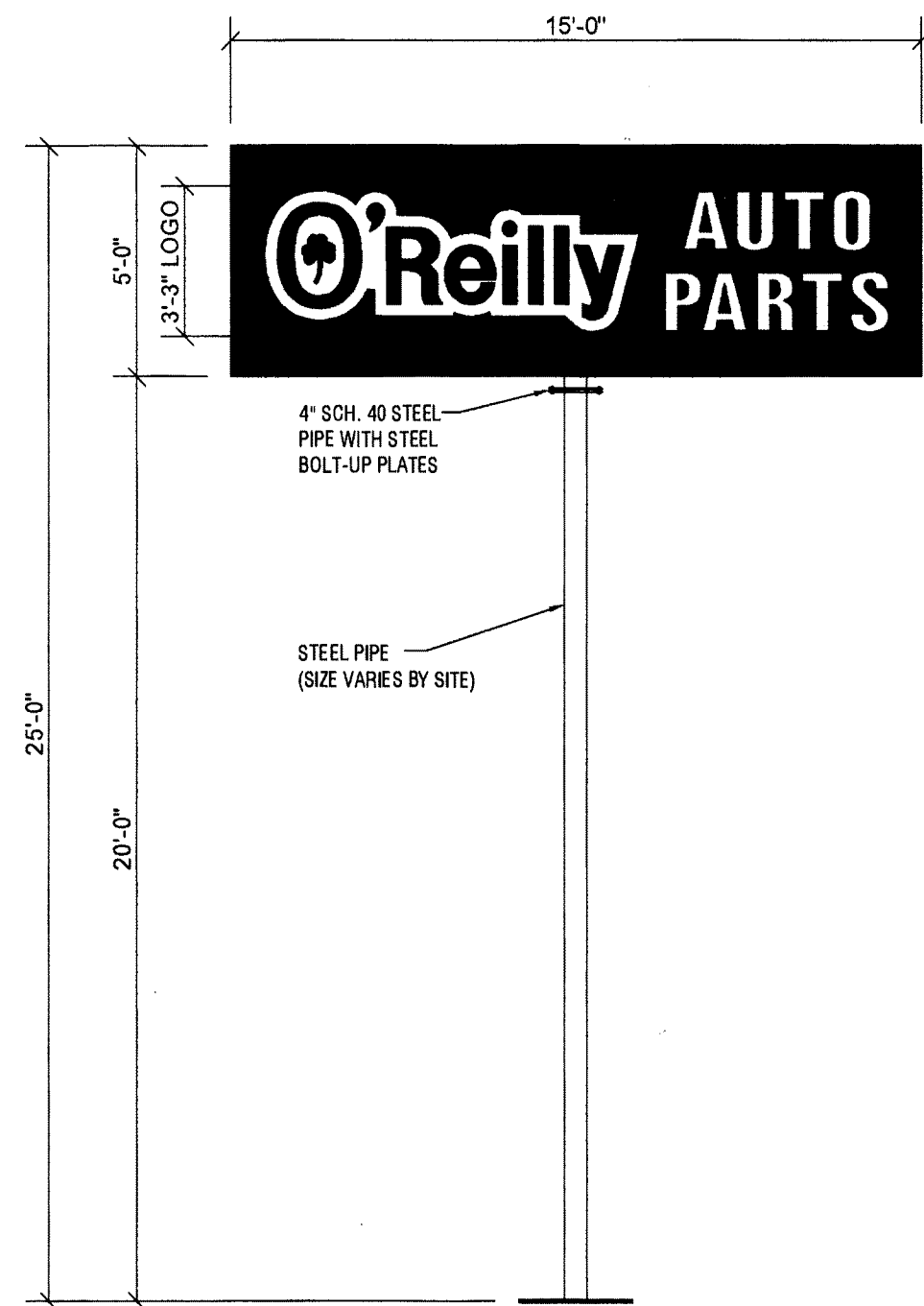


TOP

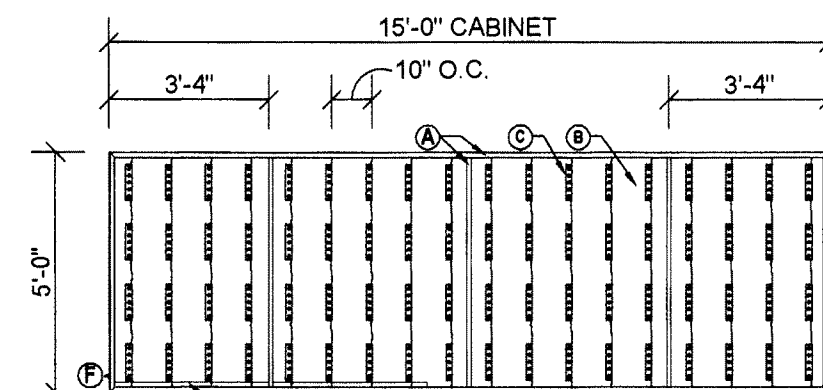


SIDE

1
COMING SOON
TEMPORARY CONSTRUCTION SIGN
SG1.2 SCALE: 1/4" = 1'-0"

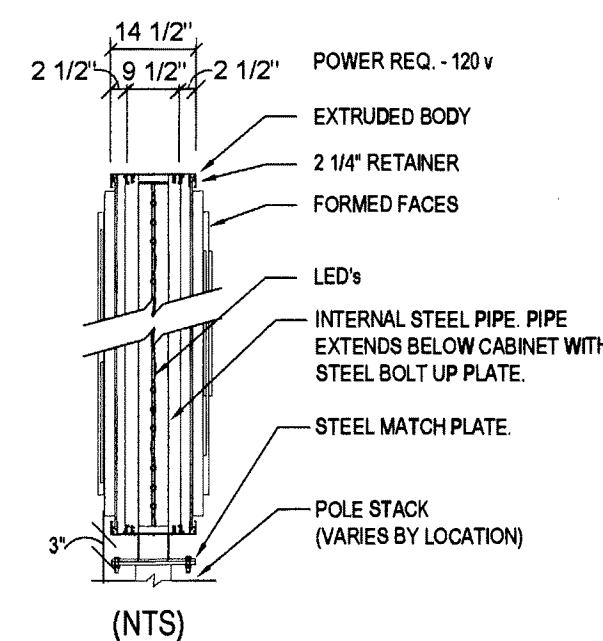


2
GROUND SIGN ELEVATION
SG1.2 SCALE: 1/4" = 1'-0"



- Double Face Sign
Scale: 1/4" = 1'-0"
- Part 5: 15-Sign Cabinet PG 05
15.00 sq. ft.
- (A) 14-1/2" deep extruded cabinet with support structure and 2 1/4" retainers
(B) Internal steel pipe with external steel bolt-up plate(s)
(C) GE-Tetra PowerStrip DS White LED's, Part #GEWHDSPS8 (7100K) 6 LED's per module (3 LED's per side) on GE-Tetra Mounting Rails, Part #GEDSRLO8, Rails on 10" centers, 64 total modules.
(D) GE-Tetra Power Supplies, Part #GPS24-180U 24 Volt 90-305VAC 50/60 HZ Load capacity: 16 modules per power supply. Total of four (4) per display.
(E) Fabricated aluminum internal power supply wireway.
(F) Disconnect Switch.

- (A) Faces are formed out of lexan with 2" draw. "O'Reilly" graphics are double embossed, "Auto Parts" copy is single embossed with painted graphics on 2nd surface. Graphics to match PMS 200c Red, PMS 342c Green Black and White.
(B) Extruded cabinet with 2 1/4" retainers, internal steel pipe with external steel bolt-up plate(s). Vertical GE (GEWHDSPS8) White DS LED illumination. Paint cabinet to: Gloss Black, internal pipe/cabinet exposure calculation: C80
(C) Cabinet to be installed with bolt-up plate(s). Paint to: Gloss Black

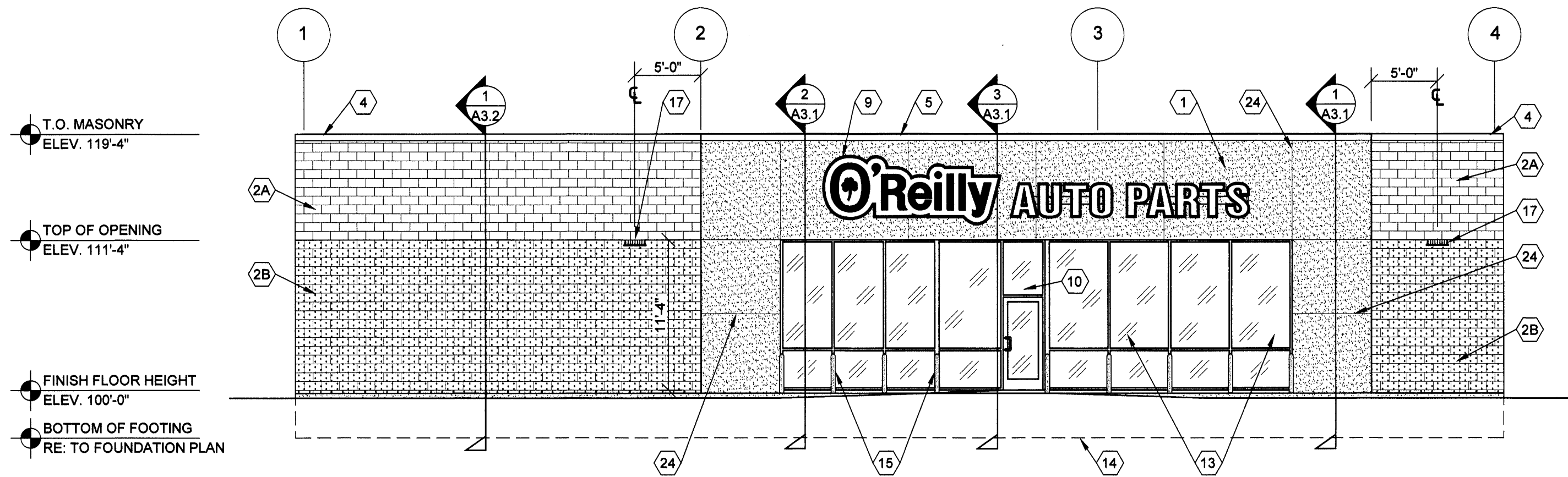


(NTS)

GENERAL NOTES

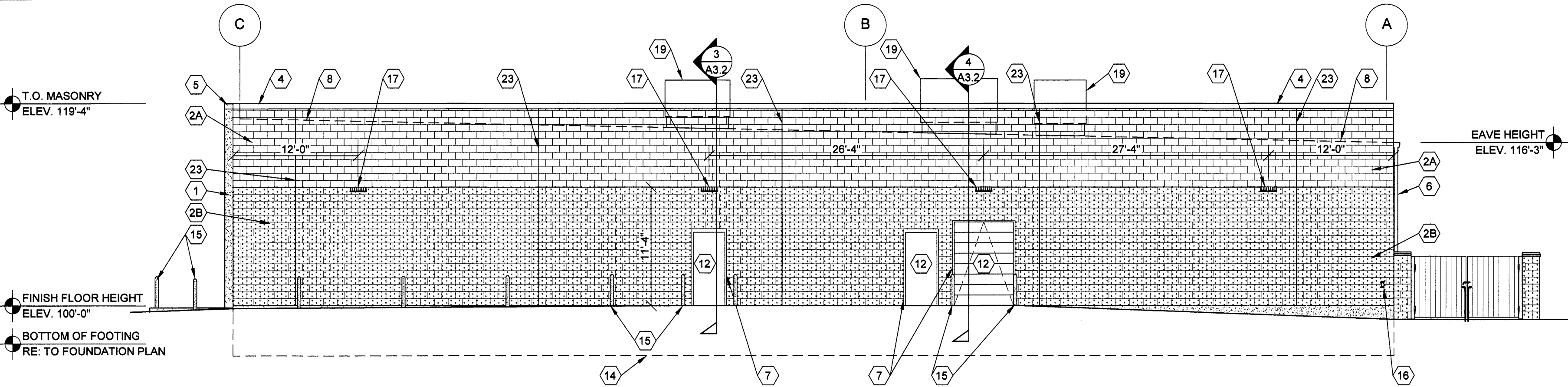
- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
(B) CONTACT OWNER'S OR TENANT'S DESIGNATED PROJECT ADMINISTRATOR FOR QUESTIONS OR CLARIFICATIONS.
(C) PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. (REFER TO SCOPE OF WORK SCHEDULE). SIGNAGE GRAPHICS PROVIDED FOR REFERENCE ONLY (N.I.C.) AND CONTRACTOR'S COORDINATION WITH SPECIFIC PROJECT CONSTRUCTION CONDITIONS.
(D) SITE SIGN ROUGH-IN ELECTRICAL TO BE PROVIDED BY CONTRACTOR.
(E) REQUIRED GOVERNMENTAL PERMITS FOR PERMANENT TYPE SIGNAGE TO BE PROVIDED BY SIGN COMPANY PER OWNER'S DIRECTION (N.I.C.).
(F) "COMING SOON" TEMPORARY CONSTRUCTION SIGN TO BE PROVIDED BY GENERAL CONTRACTOR. APPLIED SIGNAGE GRAPHICS TO BE OWNER FURNISHED AND GENERAL CONTRACTOR INSTALLED. LOCATE TEMPORARY CONSTRUCTION SIGN ON SITE SO AS TO BE VISIBLE TO PUBLIC FROM RIGHT-OF-WAY.
(G) UNLESS OTHERWISE INDICATED, SITE POLE SIGN FOUNDATION CONSTRUCTION BY SIGN CONTRACTOR (BY OTHERS - NOT IN CONTRACT). WHERE PROVIDED, SITE MONUMENT SIGN FOUNDATION CONSTRUCTION BY GENERAL CONTRACTOR (BASE BID), REFER TO SHEET S1.2.

SPECIAL NOTE:
SIGN DESIGN BY OTHERS, REFER TO
SIGN CONTRACTOR'S SHOP DRAWINGS
FOR ADDITIONAL REQUIREMENTS.



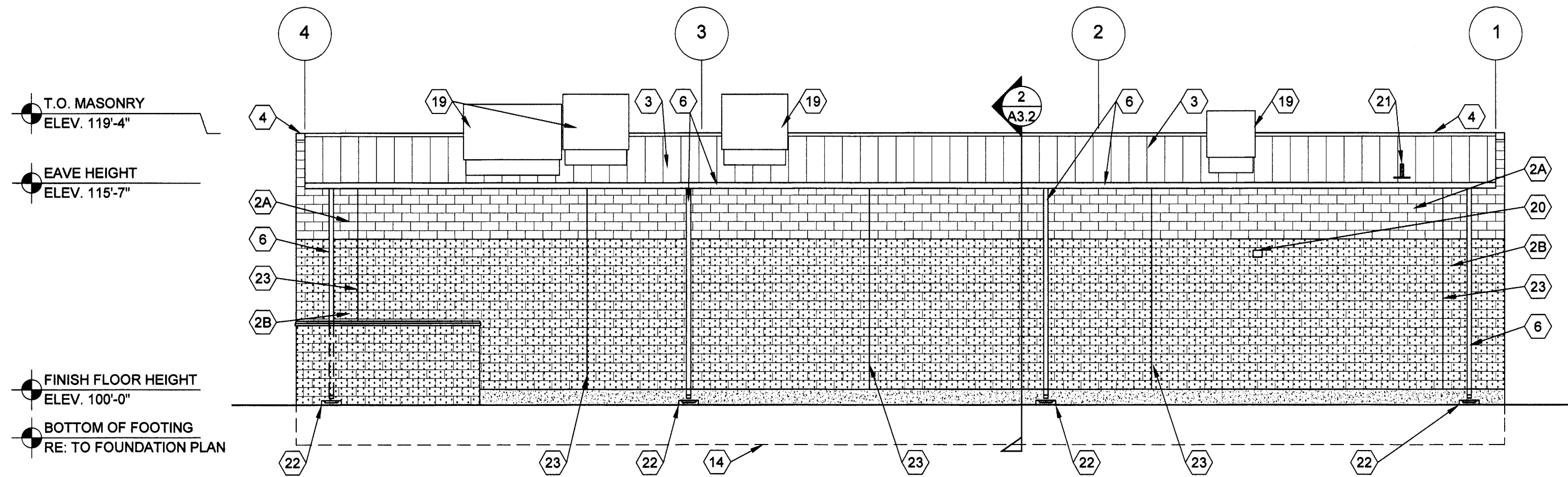
1 WEST EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



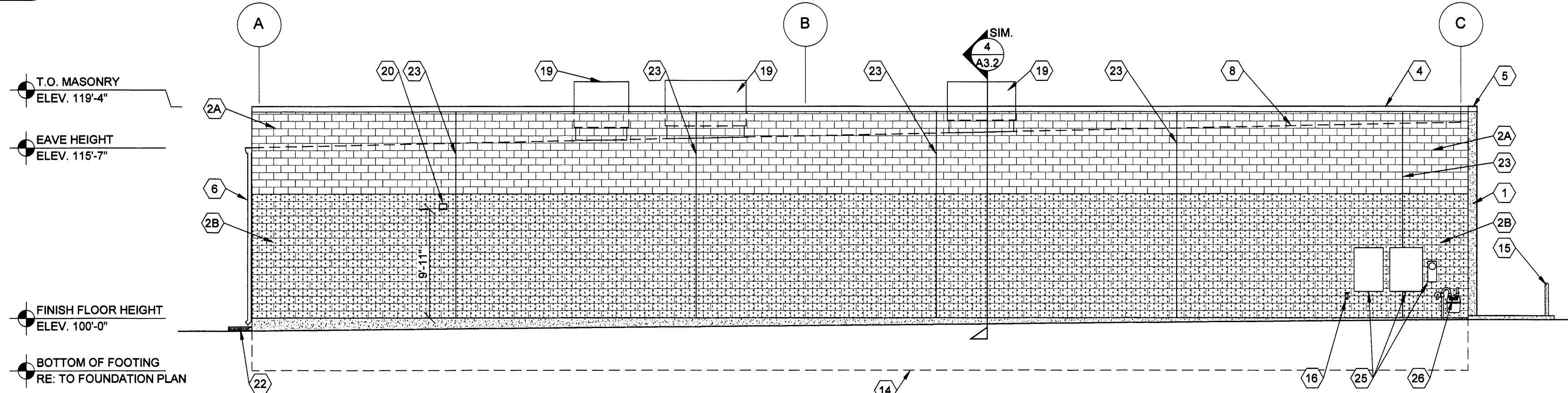
2 SOUTH EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



4 NORTH EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)

KEY NOTE NO. 1:
MFG: DRYVIT SPECIFIED. EQUAL BY STO OR MASTER BUILDERS (NO SUBSTITUTES)
SERIES: OUTSULATION PLUS MD
TEXTURE: SANDBLAST
COLOR: DRYVIT "ORAP011030S" STRATOTONE HIGH PERFORMANCE
COLOR STANDARD: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS

UNIT MASONRY

KEY NOTE NO. 2A:
TYPE: CONCRETE MASONRY UNIT (CMU)
MFG: (REFER TO PROJECT MANUAL)
SIZE: 8"x8"x16" (NOM.)
TEXTURE: SMOOTH FACE
COURSING: RUNNING BOND
FINISH: FIELD PAINT (ACCENT COLOR)
COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141 (SATIN)
NOTE: REFER TO "CONCRETE MASONRY UNIT SPECIAL SCHEDULE OF TREATMENTS" FOR ADDITIONAL REQUIREMENTS.

KEY NOTE NO. 2B:
TYPE: CONCRETE MASONRY UNIT (CMU)
MFG: (REFER TO PROJECT MANUAL)
SIZE: 8"x8"x16" (NOM.)
TEXTURE: SPLIT FACE
COURSING: RUNNING BOND
FINISH: FIELD PAINT (FIELD COLOR)
COLOR: SHERWIN WILLIAMS "LATTE" SW6108 (SATIN)
NOTE: REFER TO "CONCRETE MASONRY UNIT SPECIAL SCHEDULE OF TREATMENTS" FOR ADDITIONAL REQUIREMENTS.

FLASHING AND SHEET METAL

KEY NOTE NO. 3:
TYPE: STANDING SEAM ROOFING SYSTEM
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
COLOR: GALVALUME

KEY NOTE NO. 4:
TYPE: CAP FLASHING AT MASONRY
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

KEY NOTE NO. 5:
TYPE: CAP FLASHING AT EXTERIOR INSULATION FINISH SYSTEM (EIFS)
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: FACTORY PRIMED AND FIELD PAINT
COLOR: SHERWIN WILLIAMS "POSITIVE RED" SW6871 (SHER-CRYL) GLOSS
WITH SHERWIN WILLIAMS THREE COMPONENT (B65T105 / B65V105 / B65C105) CLEAR URETHANE

KEY NOTE NO. 6:
TYPE: GUTTER AND DOWNSPOUTS
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS

KEY NOTE NO. 12:
TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2 AND 7)
MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
FINISH: FACTORY PRIMED AND FIELD PAINTED
COLOR: SHERWIN WILLIAMS (MATCH ADJACENT MASONRY COLOR) (SEMI-GLOSS)

KEY NOTE NO. 12:
TYPE: STEEL DOORS AND FRAMES (DOORS NO. 3)
MFG: (REFER PROJECT MANUAL)
FINISH: FACTORY PRIMED AND FIELD PAINTED
COLOR: SHERWIN WILLIAMS (MATCH ADJACENT MASONRY COLOR) (SEMI-GLOSS)

KEY NOTE NO. 13:
TYPE: (REFER TO WINDOW SCHEDULE)
MFG: EPCO, KAWNEER, OR OLD CASTLE (VISTA WALL). (NO SUBSTITUTES)
COLOR: EPCO "IVY", KAWNEER "DARK IVY", VISTA WALL "INTERSTATE GREEN"

PAINTING

KEY NOTE NO. 15:
TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
FINISH: FIELD PRIMED AND PAINTED
COLOR: SHERWIN WILLIAMS "HUNT CLUB" SW6488 (SEMI-GLOSS)

CONCRETE MASONRY UNIT SPECIAL SCHEDULE OF TREATMENTS

GENERAL

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- MANUFACTURER: SHERWIN WILLIAMS SPECIFIED. EQUAL PRODUCTS BY PPG INDUSTRIES ACCEPTABLE (NO SUBSTITUTES).
- APPLICATION: INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR PROJECT CONDITIONS. EACH COAT SPECIFIED SHALL BE SPRAY APPLIED AND BACK ROLLED. COVERAGE THICKNESS INDICATED IN WET MIL UNITS, UNLESS OTHERWISE INDICATED.
- QUALITY CONTROL: SUBMIT INSTALLER AND MANUFACTURER WARRANTIES SPECIFIED.

CONCRETE MASONRY UNIT (CMU) EXTERIOR SURFACE COATINGS:
1. FINISH COLORS: (REFER TO EXTERIOR FINISH SCHEDULE).

2. PRIMER: "LOXON" ACRYLIC BLOCK SURFACER "LX01W0200-LXN BLOCK SURF WH" (NO LESS THAN 16 MILS). TWO COATS MAY BE REQUIRED TO ACHIEVE PINHOLE FREE SURFACE. (REFER TO EXTERIOR FINISH SCHEDULE).

3. COAT 1: "LOXON" SELF-CLEANING ACRYLIC COATING "LX13W0051-LXN SELF-CLEAN EW" (NO LESS THAN 6 MILS). (REFER TO EXTERIOR FINISH SCHEDULE).

4. COAT 2: "LOXON" SELF-CLEANING ACRYLIC COATING "LX13W0051-LXN SELF-CLEAN EW" (NO LESS THAN 6 MILS). (REFER TO EXTERIOR FINISH SCHEDULE).

CONCRETE MASONRY UNIT (CMU) INTERIOR SURFACE COATINGS:
1. APPLY PRIOR TO INSTALLATION OF INTERIOR SURFACE FURRING, INSULATION, AND GYPSUM BOARD ASSEMBLIES.

2. FINISH COLOR: MATCH "W-2" (REFER TO INTERIOR FINISH TYPES).

3. PRIMER: "LOXON" WATER BLOCKING PRIMER "LX12W0050-LXN WTR BLCK PR WH" (NO LESS THAN 6 MILS). APPLICATION WITH OVERNIGHT DRYING BETWEEN COAT 1. MATCH "W-2" (REFER INTERIOR TO FINISH TYPES).

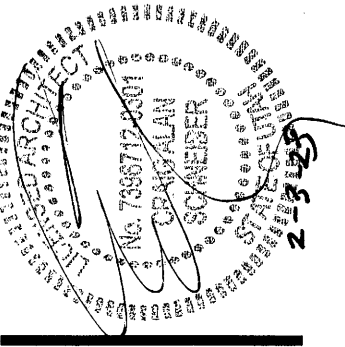
4. COAT 1: "LOXON" WATER BLOCKING PRIMER "LX12W0050-LXN WTR BLCK PR WH" (NO LESS THAN 6 MILS). MATCH "W-2" (REFER TO INTERIOR FINISH TYPES).

GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- CONCRETE MASONRY UNIT (CMU) EXTERIOR WALL CONSTRUCTION (ACCENT COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- CONCRETE MASONRY UNIT (CMU) EXTERIOR WALL CONSTRUCTION (FIELD COLOR). REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- PRE-ENGINEERED METAL BUILDING SHEET METAL ROOFING SYSTEM.
- PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT EIFS).
- PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT MASONRY).
- PRE-ENGINEERED METAL BUILDING SHEET METAL GUTTER AND DOWNSPOUT SYSTEM.
- CONCRETE MASONRY UNIT (CMU) CORNER FINISHED JAMB UNIT.
- LINE OF ROOF BEYOND WITH 1/4":12" SLOPE MINIMUM.
- SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET SG2.1.
- BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL ADHERED TO EXTERIOR FACE OF GLAZING.
- NOT USED.
- EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- APPROXIMATE LINE OF FOUNDATION, REFER TO STRUCTURAL DRAWINGS.
- STEEL BOLLARDS, REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- HOSE BIB, REFER TO PLUMBING DRAWINGS.
- LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS.
- NOT USED.
- MECHANICAL ROOF TOP UNIT, REFER TO MECHANICAL DRAWINGS.
- MECHANICAL WALL PENETRATIONS, REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED. INSTALL RESTROOM EXHAUST FANS 12" MINIMUM ABOVE INTERIOR CEILING FRAMING.
- PLUMBING ROOF VENT, REFER TO PLUMBING DRAWINGS AND DETAIL 11/A4.2.
- CONCRETE SPLASH BLOCK, INSTALL AT EACH DOWNSPOUT.
- MASONRY CONTROL JOINT, REFER TO STRUCTURAL DRAWINGS. PROVIDE SEALANT OVER 1/2" DIAMETER FOAM BACKER ROD.
- RUSTICATION JOINT, REFER TO DETAIL 6/A3.2.
- ELECTRIC METER AND BOX. REFER TO ELECTRICAL PLANS.
- GAS METER. REFER TO PLUMBING PLANS.



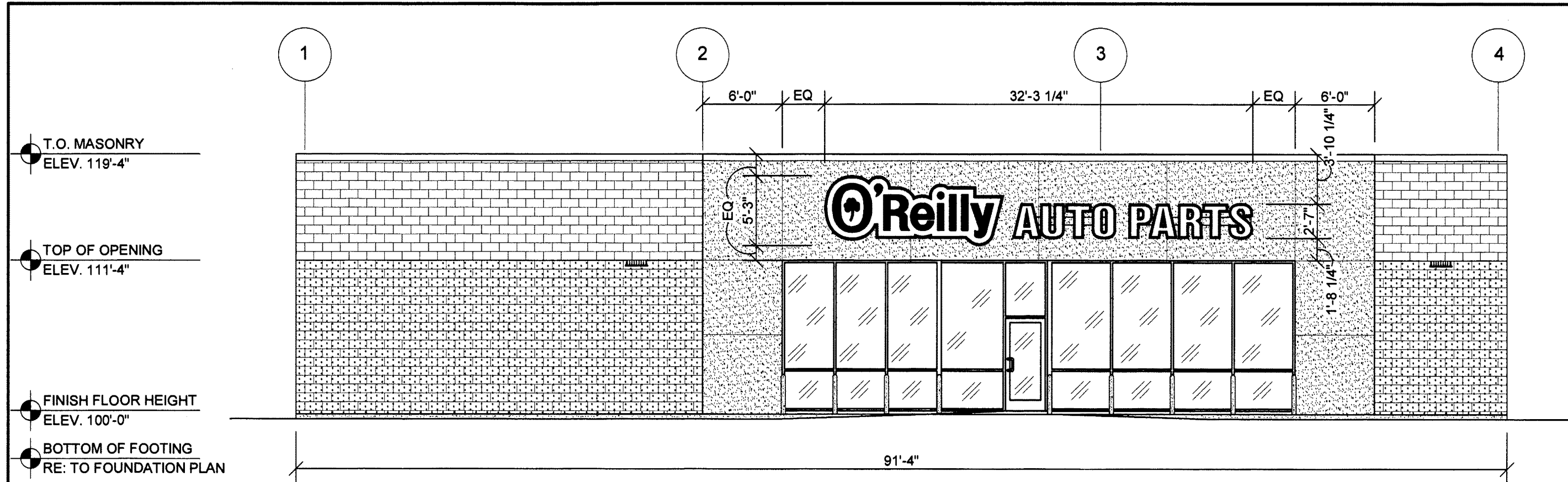
CRAIG A. SCHNEIDER, AIA
ARCHITECT

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e-mail: architect@esterlyschneider.com

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT

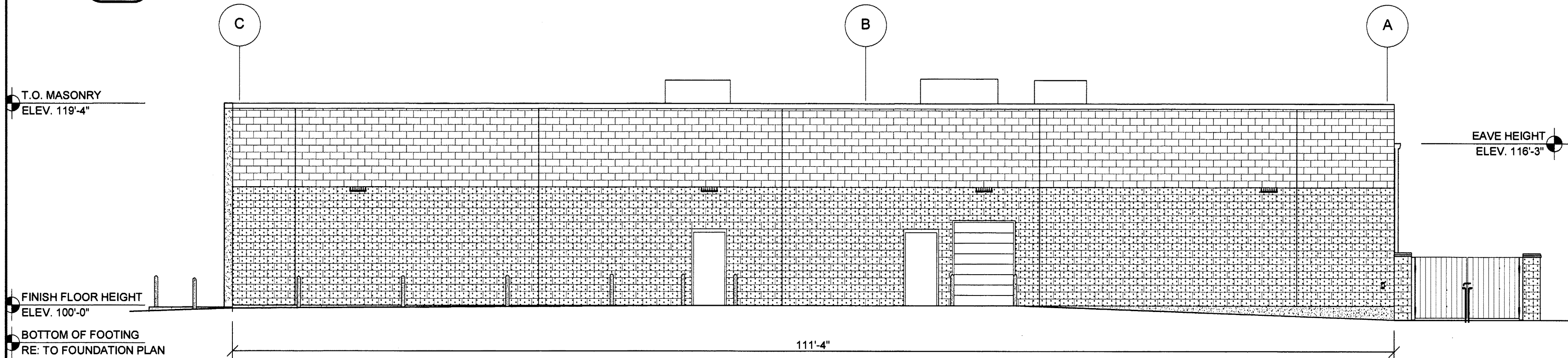
O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4667
DATE: 2-3-23
REVISION
DATE:



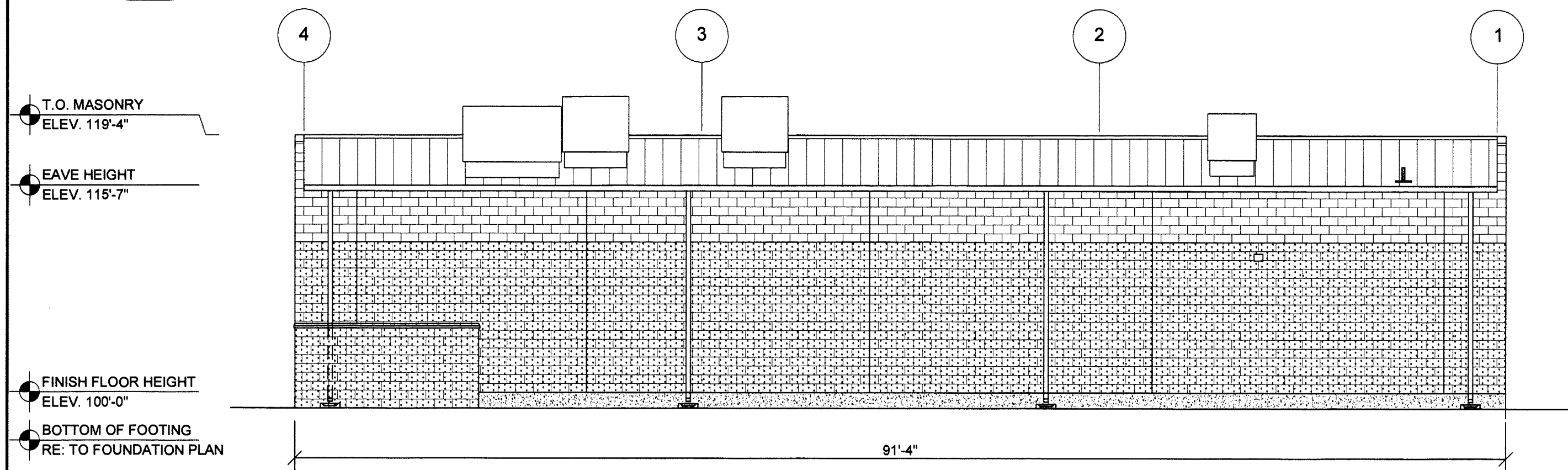
1 FRONT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"



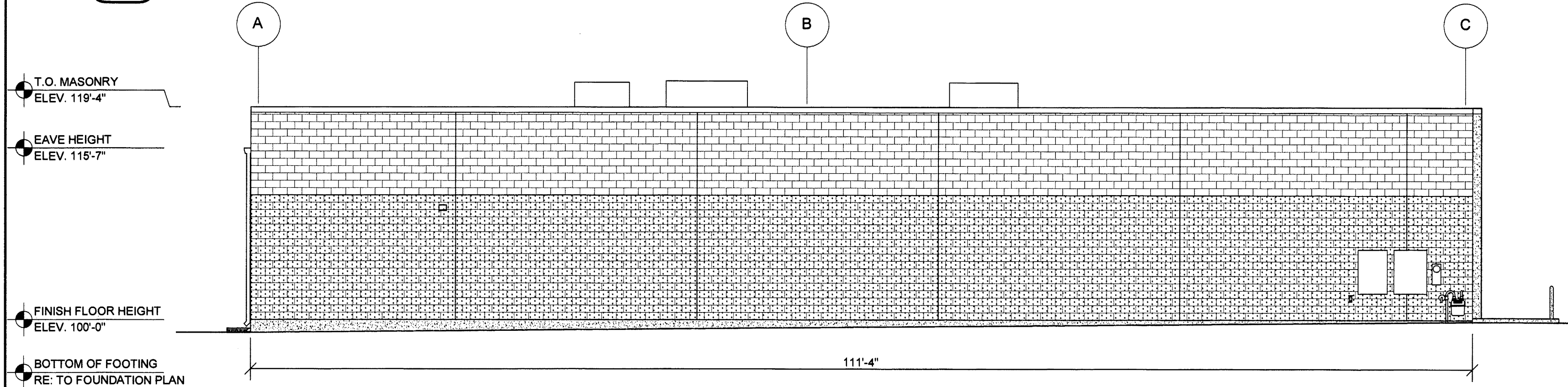
2 RIGHT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"



3 REAR EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"

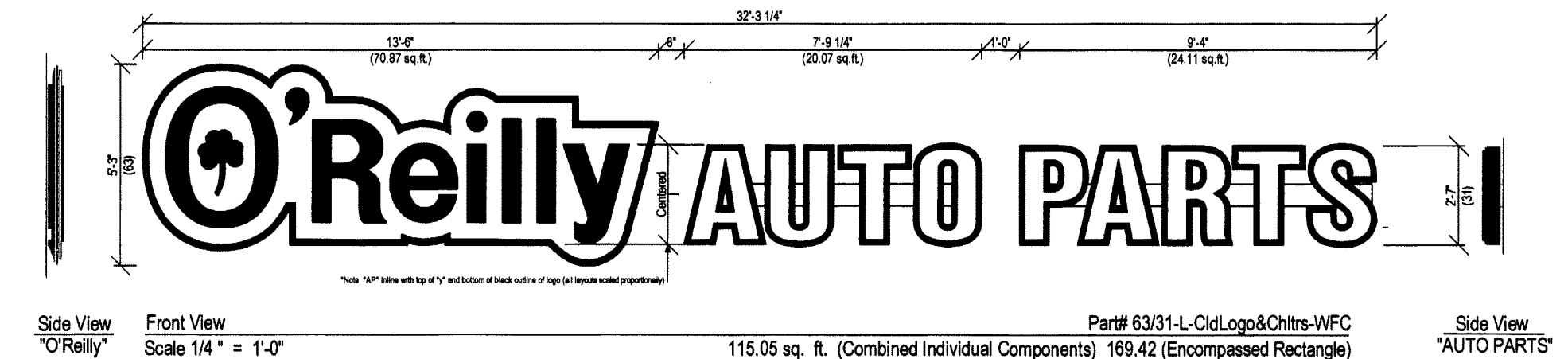


4 LEFT EXTERIOR ELEVATION

SG2.1 SCALE: 1/8" = 1'-0"

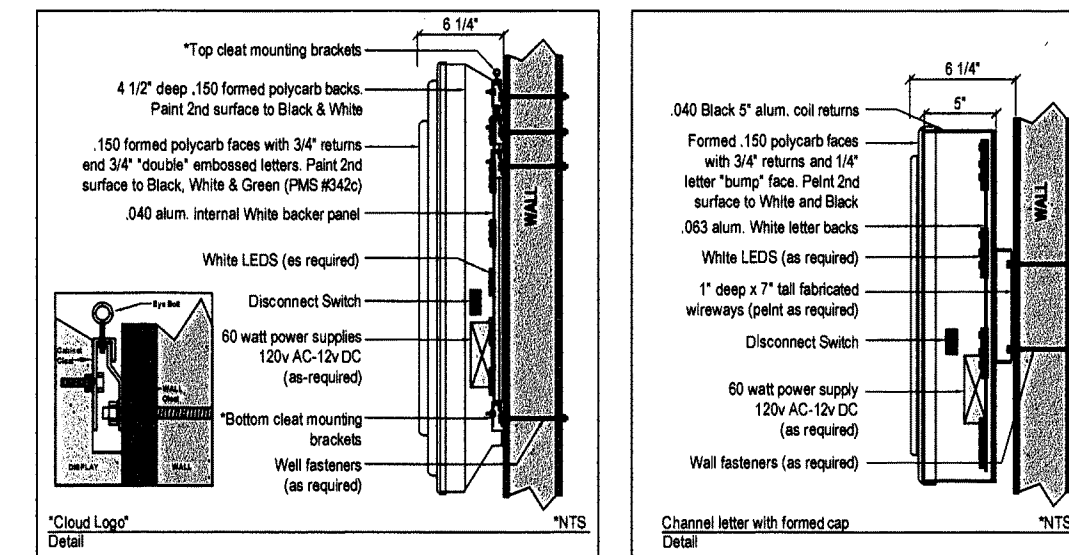
GENERAL NOTES

- CONTACT OWNER'S OR TENANT'S DESIGNATED PROJECT ADMINISTRATOR FOR QUESTIONS OR CLARIFICATIONS.
- BUILDING PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED, (REFER TO SCOPE OF WORK SCHEDULE). SIGNAGE GRAPHICS PROVIDED FOR REFERENCE ONLY (N.I.C.) AND CONTRACTOR'S COORDINATION WITH SPECIFIC PROJECT CONSTRUCTION CONDITIONS. CONTRACTOR TO PROVIDE BACKING AND ROUGH-IN ELECTRICAL AS REQUIRED FOR INSTALLATION. REFER TO A2.1 FOR EXTERIOR BUILDING FINISH.
- REQUIRED GOVERNMENTAL PERMITS FOR PERMANENT TYPE SIGNAGE TO BE PROVIDED BY OWNER OR OTHERS (N.I.C.).



5 FRONT WALL SIGN ELEVATION

SG2.1 SCALE: 1/4" = 1'-0"



6 FRONT WALL SIGN MOUNTING DETAILS

SG2.1 SCALE: 1/4" = 1'-0"



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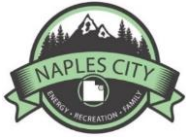
PROJECT:
NEW O'REILLY AUTO PARTS STORE
1500 EAST ST.
NAPLES, UT

BUILDING EXTERIOR SIGNAGE

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4667
DATE: 2-3-23
REVISION
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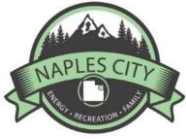
SG2.1



Item No: 2

MEMO TO: Planning Commission	Subject:
FROM: Staff	O'Reilly Auto Parts Site Plan
Date: March 16, 2023	Final Plan Approval
Staff Recommendation: Approve Site Plan Final Plan and send to City Council for approval.	
Background: An Auto Parts Store is looking to build at 1101 South 1500 East. The property is currently zoned as commercial. The auto parts store is a permitted use for the zone. Land Use Staff has been in discussion with the business owners and believe they intend to meet all requirements for the zone and that it would be beneficial to the city. O'Reilly Auto Parts submitted changes to Staff. The preliminary plan meets requirements. O'Reilly Auto Parts submitted changes to Staff. The final plan meets requirements.	
Options: ☐ Approve final site plan and send to City Council for Final Approval ☐ Reject final site plan and send back for further comment	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.



Item No: 3

MEMO TO: Planning Commission FROM: Staff Date: March 16, 2023	Subject: Offstreet Parking Regulations 02-15
Staff Recommendation:	
Background: Review of Offstreet Parking Requirements brought up potential changes, to clarify ordinance.	
Options: ____ Bring back for further discussion ____ Bring back for public hearing ____ Table and bring back at a future date	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

CHAPTER 02-15 OFFSTREET PARKING REQUIREMENTS

Section 02-15-001	Purpose
Section 02-15-002	General Provisions for Off street Parking and Loading
Section 02-15-003	Site Plan Required
Section 02-15-004	Computation of Off street Parking Spaces
Section 02-15-005	Design Standards for Off Street Parking and Loading Spaces
Section 02-15-006	Parking Lot Access
Section 02-15-007	Stacking
Section 02-15-008	Parking Lot Layout
Section 02-15-009	Compact Car Design
Section 02-15-010	Handicapped Parking
Section 02-15-011	Landscaping and Screening
Section 02-15-012	Lighting
Section 02-15-013	Surfacing
Section 02-15-014	Grading
Section 02-15-015	Storage
Section 02-15-016	Off street Loading Space Design Standards

02-15-001 PURPOSE

The purpose of these off-street parking requirements is to reduce congestion and traffic hazards in the City by incorporating adequate, attractively designed off street parking and loading facilities for various land uses. Parking areas shall be designed in such a manner that they will result in maximum efficiency, protection of public safety, provide for the special needs of ~~persons with disabilities the handicapped~~, and where appropriate, insulate surrounding land uses from adverse impacts created by such parking.

02-15-002 GENERAL PROVISIONS FOR OFFSTREET PARKING AND LOADING

At the time any ~~new~~ building ~~is constructed~~, structure ~~additions or enlargements to an existing building~~, ~~or~~ use is changed such that there is an increase in the capacity or intensity of the use, off street parking shall be ~~provided as~~ required in compliance with this Chapter. All off street parking and loading facilities within the City shall comply with all of the standards prescribed in this Chapter, and shall be permanently maintained in good condition for the duration of the use or uses served by the facility. All paved areas shall be maintained in good repair without broken parts, potholes, or litter.

~~For all uses permitted in a residential zone, only twenty-five (25) percent of the front yard area required by the respective zones shall be used for parking. All home occupations shall abide by parking standards set in Chapter 02-13 Home Occupation.~~

Required off-street parking spaces shall not be used for the repair of motor vehicles, or the display or sale of goods and services of any kind, unless authorized by a land use application approval.

Off-street parking is prohibited in all access ways, fire lanes, or similar areas not designated for parking purposes. These are shall be posted with "No Parking" signs and/or other means as required.

It is unlawful for any owner of any building or use to discontinue or dispense with the required vehicle parking facilities without providing some other vehicle parking area which meets the requirements of this chapter. Failure to maintain required parking and landscaping in a condition substantially similar to its original approved condition shall be fined per the Consolidate Fee Schedule ~~a class "B" misdemeanor~~ and shall be cause for suspension of a business license if, within 10 days after the mailing of a violation notice, the violation is not brought into compliance. If, due to cold weather or other environmental condition, the violation cannot be brought into compliance within ten (10) days, the Planning ~~and Land Use~~ Commission shall consider such conditions and impose a reasonable extension of time for compliance.

02-15-003 SITE PLAN REQUIRED

All applications for a building permit shall be accompanied by a detailed site plan as required in the Design and Development Plan Review chapter of this Title showing the required off street parking spaces. The site plan shall clearly indicate the proposed development, including location, size, shape, design, curb cuts, lighting, landscaping, and other features and appurtenances of the proposed parking area.

02-15-004 COMPUTATION OF OFFSTREET PARKING SPACES

The matrix on the following pages contains the minimum parking requirements for specific uses. ~~The maximum percentage allowed for compact spaces is -25% of the total number of parking spaces~~also given. Special requirements for each use are provided under the "Notes" column, where appropriate.

If, in the application of the requirements of this Title, a fractional number is obtained, one parking space or loading space shall be required for each fraction.

If more than one use is located on a site, the number of off street parking and loading spaces to be provided shall be equal to the sum of the requirements of each use.

The number of parking spaces required by these schedules may be reduced or increased as a condition of the development review by the Planning Commission if it can be demonstrated through a parking study that the proposed use(s) would have a parking demand less than or in excess of the requirements stated in this Chapter.

The parking requirements for land uses which are not specified in this chapter shall be recommended by the Land Use Administrator. The determination shall be based upon the requirements for the most comparable use specified herein.

~~(See chart on next page)~~

Off Street Parking Requirements

<u>Use</u>	<u>Minimum Off-street Parking Requirements</u>	<u>Maximum % Compact Spaces Allowed</u>	<u>Notes</u>
Residential RESIDENTIAL			
1. Single Family Dwelling Two Family Dwelling Three Family Dwelling Four Family Dwelling Multiple Family Dwelling	2 spaces per unit	None	Parking one behind the other arrangements for all required parking is prohibited. Minimum off-street parking shall not be located within the minimum required front yard setback. If any dwelling unit is increased by occupant use after the original building permit is issued, the parking requirements shall reflect that increase. No compact parking spaces allowed
2. Multiple Family Units:		25%	If the Planning Commission finds that reducing the two parking spaces per unit ratio is not detrimental to the surrounding area and will enhance the proposed development, it may reduce the parking ratio to these minimums. If any dwelling unit is increased by occupant use after the original building permit is issued, the parking requirements shall reflect that increase.
Studio Units	1.3 spaces per unit		
One Bedroom Units	1.5 spaces per unit		
Two Bedroom Units	1.75 spaces per unit		
Three Bedroom Units	2.0 spaces per unit		
3. Mobile Home Dwelling Mobile Home Parks	2 spaces per unit	None	Parking one behind the other is permitted provided sufficient visitor parking is located within the park. No compact park spaces allowed.
4. Handicapped or	A minimum of 2	None	The Planning Commission may

Group Home Housing

parking spaces plus 1 parking space for every 4 handicapped persons

vary off street parking needs in relation to the number of staff/employees required and the special needs of the residents. No compact parking spaces allowed

~~Health Services~~ HEALTH SERVICES

5. Nursing Homes 1 space per 2.5 beds for nursing and convalescent homes ~~None~~

No compact parking spaces allowed

6. Hospitals 2 spaces per bed in the total facility ~~25%~~

7. Medical, Dental Offices and Clinics 1 space per 200 square foot of gross floor area ~~25%~~

8. Veterinarians and Veterinary Hospitals 1 space per 200 square feet of gross floor area ~~25%~~

9. Churches, Auditoriums, Assembly Halls, Mortuaries and other places of public assembly 1 space for each 61/2 feet of linear pew or 31/2 seats in an auditorium provided, however, that where a church building is designed or intended to be used by 2 congregations at the same time, 11/2 parking spaces shall be provided for each 31/2 seats in the auditorium ~~25%~~

10. Day Care, Preschool and Nursery Schools 1 space per 300 square feet of gross floor area ~~25%~~

If drop off facilities are contemplated, it shall be designed to provide a continuous flow of vehicles to safely load and unload children without stacking on public streets.

11. Professional Business or Trade Schools 1 space per 75 square feet of gross classroom area plus 1 space for each 250 square feet of office ~~25%~~

A parking study may be required by the Planning Commission

area.

~~Entertainment and Recreation~~ ENTERTAINMENT AND RECREATION

12. Amusement Center (Arcade)	1 space per 100 square feet of floor space		
13. Bowling Alleys and Billiard Halls	5 parking spaces per alley and 2 spaces per billiard table	25%	Ancillary uses such as restaurants shall comply with the specific requirements outlined in this chapter
14. Commercial Riding Stables	1 space per 5 horses boarded on site	None	No compact parking spaces allowed
15. Golf Courses	6 spaces per hole	25%	Ancillary uses such as commercial pro shops and restaurants shall provide sufficient parking as required in this chapter
Miniature Golf Courses	3 spaces per hole		
Driving Ranges	1 space per tee		
16. Tennis, Handball and Racquetball Facilities	3 spaces per court	25%	Ancillary uses to provide sufficient additional parking as required by this chapter.
17. Movie Theaters	1 space per 3 seats	25%	
18. Health Spas and Sports Complexes	1 space per 200 square feet of gross floor area	25%	Ancillary uses such as restaurants to provide parking as required by this chapter.

~~Commercial~~ COMMERCIAL

19. Auto Repair, Service and Auto Parts Sales	3 spaces for each service bay plus 1 space for every 300 square feet of retail	25%	If towing service is provided, sufficient area shall be located onsite for temporary storage of vehicles and the tow truck.
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	sales area		
20. Auto Sales	1 customer parking space per 400 square feet of gross floor area in the automobile sales area or 5 parking spaces, whichever requirement is greater	25%	
21. Hotels and Motels	1 parking space per guest room, plus 3 parking spaces.	25%	Ancillary uses such as restaurants or retail shops shall provide additional parking as identified for the specific use as required by this chapter.
22. Lumber Yards and Plant Nurseries	1 space per 300 square feet of indoor floor sales area	25%	
23. Professional Offices and Banks	1 space per 250 square feet of gross floor area	25%	Drive up windows shall provide sufficient stacking room and sufficient area for 4 spaces from teller window
24. Restaurants and Fast Food Establishments	1 space per 100 square feet of gross floor area or 1 space for each 2 seats, whichever is greater, plus .5 space for each employee on the highest employment shift with a minimum of 5 spaces for employee parking.	25%	Drive up windows shall provide sufficient stacking room and sufficient area for 4 spaces from place of order and 4 spaces from pickup window
25. Intensive Retail, General Merchandising which is not located in a shopping center	1 space per 250 square feet of gross floor area	25%	
26. Less Intensive Retail Furniture, Carpet	1 space per 300 square feet of gross floor area	25%	

27. Shopping Centers	1 space per 250 square feet of gross floor area	25%	The following additional parking spaces are required where those described uses are located in shopping centers. Cinemas for cinemas occupying over 10% of the total gross floor area in a center with less than 100,000 square feet, add 3 additional parking spaces for every 100 cinema seats.
28. Sports Stadiums and Arenas, Auditoriums (including school auditoriums), other places of public assembly and clubs and lodges having no sleeping facilities	1 space for every 4 seats and/or 1.3 spaces for each 100 square feet of gross floor area used for assembly and not containing fixed seats	25%	
29. Swimming Pools (Commercial and Public)	1 space for each 10 persons based on capacity load	15%	Maximum 15% compact parking spaces allowed.
31. Research and Development	1 space per 350 square feet of gross floor area plus the required parking for business vehicles	30%	Maximum 30% compact parking spaces allowed.

~~Industrial~~ INDUSTRIAL

32. Truck Transfer Companies	1 space for each 2 employees plus parking for each truck associated with the business		
33. Warehousing	1 space per 1,000 square feet of gross floor area for the first 20,000 square feet devoted to warehouse plus the required parking for square footage devoted to other uses		No conversions of any portion of a warehouse use to any other use shall be permitted unless the parking requirement for such other uses are met.

- 1 space per 2,000 square feet for the second 20,000 square feet
- 1 space per 2,500 square feet of floor area in excess of 40,000 square feet
34. Open Storage Uses in an approved industrial area 1 space per 5,000 sq feet of open area being utilized for storage exclusive of access, landscaping, etc.

35. Parking Spaces for Uses Not Specified	The number of parking spaces for uses not specified herein shall be determined by the Land Use Administrator being guided, where appropriate, by the requirements set forth herein for uses which are similar to the use not specified.		
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Appeals to the decision of the Land Use Administrator are made to the Appeals or Variance Authority as designated in Section 02-06.

02-15-005 DESIGN STANDARDS FOR OFFSTREET PARKING AND LOADING SPACES

All parking spaces shall be accessible from a street, provided that no parking space shall be designed to require vehicles to back onto a street except of parking spaces that serve a one or two-family dwelling. All parking areas shall be designed to allow vehicles to enter, exit, and travel the aisles in a forward motion. Dead end parking aisles must have a hammerhead type turn-around to allow vehicles to back out of the parking space and travel the aisle in a forward motion.

02-15-006 PARKING LOT ACCESS

Entrances and exits for parking facilities shall be designed to reduce traffic congestion on public streets and minimize conflicts with neighboring uses. Adequate ingress and egress to the parking facilities shall be provided as follows:

Access drives for one and two-family dwellings shall be a minimum of ten (10) feet

wide and maximum of twenty (20) feet at the property line. On corner lots, the access to the property shall be setback a minimum of fifty (50) feet from the point of intersection curb lines.

Access drives for multiple-family dwellings, commercial and industrial uses shall generally be a maximum of thirty (30) feet wide at the property line and shall conform to the standards outlined in each zone.

The Land Use Administrator ~~or his designee~~ may allow an increase in driveway width if sufficient proof is provided that the increase will be necessary for traffic movement. The maximum driveway width shall be fifty (50) feet.

02-15-007 STACKING

Adequate stacking or waiting lanes for those uses requiring such stacking areas shall be designed so that no obstruction shall occur at the public right-of-way. A 72-foot minimum stacking area from the service point shall be provided for waiting areas which do not conflict with access to other required facilities.

02-15-008 PARKING LOT LAYOUT

Parking lots shall be designed to provide for internal circulation so that each parking space is accessible to all other parking spaces without using a public street. All properties shall provide attractive, direct and safe pedestrian access to parking. The layout of the parking areas shall relate to building entrances. The following tables shall be used to provide the minimum design standards for parking lot layout:

Standard Vehicle Minimum Dimensional Requirements Width 10'9" Depth 20'18"					
A Parking Angle	B Stall Width	C Stall Length	D Aisle Width	E Stall to Curb	F Curb to Curb
0 Degree	11'0"	22'	*12'	10'	32'
30 Degree	10'9"	20'18"	*15'	18'19"	51'
45 Degree	10'9"	20'18"	*15'	22'1"	57'
60 Degree	10'9"	20'18"	*20'	22'	64'
90 Degree	10'9"	20'18"	24'	20'18"	60'

* One Way Traffic Only

Width 9' Depth 16'		<u>Compact Vehicle</u>			
A	B	C	D	E	F
0 Degree	10'	20'	*12'	10'	32'
30 Degree	9'	16'	*15'	15'	45'
45 Degree	9'	16'	*15'	17'	49'
60 Degree	9'	16'	*20'	18'	56'
90 Degree	9'	16'	24'	16'	5
* One Way Traffic Only					

PARKING LOT REQUIREMENTS

- ~~_____~~ A = Parking Angle
- ~~_____~~ B = Stall Width
- ~~_____~~ C = Stall Length
- ~~_____~~ D = Aisle Width
- ~~_____~~ E = Stall to Curb
- ~~_____~~ F = Curb to Curb

02-15-009 COMPACT CAR DESIGN

-Each compact space approved herein shall be individually designated as a compact space with either signage or painted letters on pavement of at least 12 inches high and seven inches wide stating "Compact". All compact parking spaces shall be approved by the City and shall be located throughout the required parking lot areas in groups as to allow appropriate design, **and not to exceed a maximum of twenty-five (25) percent of total stalls. Compact car parking stall shall be no smaller than 9'x18'. -**

02-15-010 ~~HANDICAPPED~~ PARKING FOR PERSONS WITH DISABILITY

~~Handicapped-Accessible~~ parking spaces shall be provided in off street parking lots and shall count towards fulfilling the minimum automobile required parking. The number of ~~handicapped-accessible~~ parking spaces required shall **meet the requirements and specifications of the Americans with Disabilities Act. be one space per each 60 parking spaces up to 300 parking spaces. One additional handicapped parking space shall be designated for each 200 additional parking spaces within the parking lot. Wherever the number of spaces required is a fraction, one handicapped space shall be added if the fraction is .5 or greater.**

~~Physically handicapped parking spaces shall be located as near as practical to a primary building entrance with access ramps negotiable for all handicapped equipment. Each parking space shall be identified by a permanently affixed reflectorized sign and/or surface identification painting depicting the standard symbol for handicap parking.~~

02-15-011 LANDSCAPING AND SCREENING

Parking lots with five or more spaces must have a ~~minimum of a 10foot wide~~ landscape strip adjacent to any street, . Exterior perimeters of the parking lot shall have a minimum of a five-foot wide landscaping strip. Parking lots with more **than then**-twenty spaces must have a minimum of five percent interior landscaping. All landscaped areas shall consist of live plant materials and be serviced by a permanent underground water system. Trees shall be planted in the landscape **per zone requirements. areas at a ratio of one tree per 300 square feet of gross landscape area.** Parking lots of five or more spaces shall provide a ~~masonry wall six foot high feet in height~~ **aesthetically pleasing, sight obscuring wall or fence of a neutral color provided by the owner of the business when**

parking lots are adjacent to a residential use. The fence shall provide, a minimum 90% fill to afford privacy for the residential dwelling. This solid barrier shall be maintained in good condition without any advertising thereon. No fence shall be located within 25 feet of the front property line or of any street right of way, unless specifically approved by the Planning Commission.

02-15-012 LIGHTING

Lighting used to illuminate any off street parking area shall be arranged as to reflect the light away from ~~form~~ adjacent properties and street traffic.

02-15-13 SURFACING

All off street parking spaces and maneuvering area shall be paved and permanently maintained with asphalt, concrete or an alternative all weather dustless hard surface may be used, to prevent tracking mud from business property to the city street. ~~any other all weather dustless surface as~~ approved by the Land Use Administrator of Naples City -

Agricultural and heavy equipment uses will be evaluated as to their impact on City streets with appropriate surfacing to be determined by the Land Use Administrator.

02-15-014 GRADING

Parking lots shall be properly graded to allow for drainage of surface water in an approved manner to keep the parking area free of water and ice. Drainage plans are to be approved by the Land Use Administrator prior to issuance of a building permit.

02-15-015 STORAGE

All areas designated for off street parking, maneuvering, loading or site landscaping shall not be used for outdoor storage of materials. Businesses must not use the public right-of-way for parking equipment, storage bin storage, employee parking, and/or doing business.

02-15-016 OFFSTREET LOADING SPACE DESIGN STANDARDS

Where necessary, there shall be provided and maintained adequate space for loading and unloading services. All loading areas or docks shall be located so that no vehicle shall be parked, or require maneuvering room within a public street.

Each loading facility shall not be less than 45 feet in length and 12 feet in width and shall have an overhead clearance of not less than 14 feet.

Sufficient room for turning and maneuvering vehicles shall be provided on the site.

Off street loading facilities for one use shall not be considered as providing required off-street loading or parking facilities for any other use.

All truck loading spaces shall be separated from adjoining residential zones by a ~~masonry wall not less than 6 foot high feet in height.~~ aesthetically pleasing, sight obscuring wall or fence of a neutral color provided by the owner of the business. The fence shall provide, a minimum 90% fill to afford privacy for the residential dwelling.



Item No: 4

MEMO TO: Planning Commission FROM: Staff Date: March 16, 2023	Subject: Rezone Highway 40 Commercial
Staff Recommendation:	
Background: It has been suggested that we look into rezoning all of the properties fronting Highway 40 to be zoned commercial. It is suggested that those properties that are currently operating as Industrial on Highway 40 be grandfathered in and will change zones when there is a change of use	
Options: _____ Bring back for further discussion _____ Table and bring back at a future date	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.