

Agenda

Naples City Planning and Zoning Commission

April 21, 2022 at 7:30 p.m.
Naples City Council Room
1420 East 2850 South
Naples, Utah 84078

THIS IS A REGULARLY SCHEDULED PLANNING AND LAND USE MEETING

OPENING CEREMONIES

STANDING BUSINESS

- Verification of Full Quorum & Designation of Voting Members:

<u>Commissioner</u>	<u>Voting</u>	<u>Commissioner</u>	<u>Voting</u>
Chris Clark (Chairman)	Y N	Jacob Harrison	Y N
Andrew Bentley (Vice-Chairman)	Y N	Scott Major (A)	Y N
Scott Adams	Y N		
Jessy McKee	Y N		

- Approval of Agenda – April 21, 2022
- Disclosures
- Approval of Minutes – March 17, 2022

PUBLIC HEARING

1. Recreational Vehicle and Mobile Homes - 02-14-017
 - i. Introduction • Public Hearing • Discussion • Action Item (Legislative)

PLANNING/DISCUSSION

2. Jim Richards- Naples Self Storage
 - Final Plan Approval
 - Introduction • Discussion • Action Item (Administrative)
3. Ray Nash- The Farm Subdivision
 - Extension Request
 - Introduction • Discussion • Action Item (Administrative)
4. Industrial Zone- 02-26
 - Introduction • Discussion

ITEMS FOR FUTURE DISCUSSION

ADJOURN

The next Planning and Zoning meeting will tentatively be held on May 19, 2022.

All persons residing within the area served by City of Naples are HEREBY NOTIFIED that the Naples Planning and Zoning Commission will meet on the 3rd Thursday of each month at 7:30pm. All persons concerned with any matter before the Naples Planning and Zoning Commission are invited to attend. If possible, call to get on the agenda, 435-789-9090 NOTE: In compliance with the Americans with Disabilities Act, Individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the Land Use Administrator at 435-789-9090 at the Naples City Office, 1420 East 2850 South, Naples, Utah 84078 at least three days prior to the meeting.



Item No: ____ **1** ____

MEMO TO: Planning Commission FROM: Staff Date: April 21, 20022	Subject: Recreational Vehicle and Mobile Homes Ordinance 02-14-017
Staff Recommendation: Approve prop	
Background: Building Official, Dale Peterson, has suggested the changes of Recreational Vehicle and Mobile Home Prohibited to include allowance for temporary dwelling in RV when obtaining a building permit for the construction of a home in Naples City. -Mr. Peterson has revised proposed Recreational Vehicle exceptions and a Recreational Vehicle Residence Permit. -Changes made to require application for the 180-day permit from beginning of Recreation Vehicle Residence use. -Included was the recommendation that there be a 30-day “free” period prior to requiring the 180-day permit.	
Options: ____ Table and bring back to discuss further ____ Reject the proposed changes and make no changes ____ Approve proposed changes and make recommendation to City Council	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

02-14-017 RECREATIONAL VEHICLE AND MOBILE HOMES

Definitions: [See Chapter 02-02](#)

Mobile Home

~~means a factory-built home manufactured prior to June 15, 1976, which is built on a permanent chassis. The structure has been transported, and arrived at a site ready for occupancy, except for minor and incidental assembly operations. Structure is located on jacks, or other temporary or permanent foundation, and connected to required utilities.~~

~~**Ready for Highway Use**~~

~~means a recreational vehicle on its wheels or jacking system, is attached to the site utilities only by quick disconnect and has no permanently attached additions.~~

Recreational Vehicle:

~~means a vehicle, which is built on a single chassis, is 400 square feet or less when measured at the longest horizontal projection. Designed to be self-propelled or permanently towable by a vehicle. Designed primarily not for use as a permanent dwelling but for temporary shelter, for recreational, camping, travel, or seasonal use and is fully licensed and ready for highway use.~~

Mobile Homes Prohibited

It shall be unlawful to place a mobile home on any parcel of land in Naples City, as of the time of this amendment.

Recreational Vehicle Exceptions

1. It shall be unlawful to place any Recreational Vehicle on any lot or parcel of land in Naples City and use the same for human sheltering exceeding [30 days](#) ~~90-days~~ total in any one year, [with the exception as granted below or issuance of a Recreational Vehicle Residence Permit](#).
2. Upon obtaining a building permit for the construction of a new single-family dwelling in Naples City, one (1) recreational vehicle may be temporarily located on the lot where the dwelling is being constructed, for use as a temporary shelter for the family.
3. The Recreational Vehicle shall be listed upon the building permit, as temporary sheltering for up to one (1) year dated from the issuance of the building permit.
4. The Recreational Vehicle shall meet the setbacks required for an accessory building and shall be connected to the utilities serving the dwelling [including but not limited to](#), water, sewer, power, ~~and gas~~, and shall maintain a current license plate and ready for highway use.

5. At the end of one year, or the completion and occupancy of the dwelling, whichever is first, the Recreational Vehicle shall be disconnected from utilities and may be stored on the property for future camping use.
6. If at the end of one year the dwelling is not completed, and construction has not been abandoned, the owner may apply to the Building Official for a one-time ~~six-month~~ 180-day extension of the Recreational Vehicle Residence Permit for the recreational vehicle to be used for temporary sheltering.
7. Recreational Vehicles are allowed as temporary dwellings when placed in a licensed travel trailer court.

Recreational Vehicle Residence Permit

~~Recreational vehicles used less than ninety (90) days for temporary sheltering require no permit.~~ Recreational Vehicles used for human sheltering more than ninety (90) days require a Recreational Vehicle Residence Permit. The owner of the single-family dwelling shall ~~may~~ apply to the City to purchase a 180-day Recreational Vehicle Residence Permit for up to 180-days. To qualify for a Recreational Vehicle Residence Permit ~~or extension of the Recreational Vehicle Residence Permit~~, the owner shall abide by the following:

- ~~1. Maintain current state licensing and maintain the Recreational Vehicle ready for Highway use.~~
1. The Recreational Vehicle ~~Utilities~~ shall be connected ~~supplied from the~~ to the utilities serving the existing single-family dwelling including but not limited to water, power, and sewer.
2. Trash, refuse, or waste generated from use, storage, or occupancy of a recreational vehicle must be contained and disposed of properly at all times.
3. Setbacks shall be the same as or greater than a 200 square foot or more accessory building.
4. Only one (1) Recreational Vehicle used for temporary sheltering allowed per lot or parcel.
5. Provide one (1) additional off-street parking space.
- ~~5.6. Recreational Vehicle shall be used as temporary shelter for family.~~
7. The Recreational Vehicle shall not be rented or leased.
8. _____
- ~~_____ Maintain current state licensing and maintain the Recreational Vehicle ready for Highway use.~~
6. _____
- ~~7. Recreational Vehicle Residence Permit may be issued barring issuance of any violation notices, of any kind, upon the property.~~
- ~~8. If a violation notice has been issued by the City upon the property, or it's residents, the owners have 30 days to vacate the Recreational Vehicle as temporary sheltering or,~~

~~9. The property owner may appeal any land use enforcement made by the City's officer charged with the enforcement of this title to the City Council within 30 days of receiving the violation notice. Such appeal shall stop any enforcement actions until after the decision of the City Council.~~

~~10. The decision of the City Council shall be final.~~

~~11.~~9. A 180-day Recreational Vehicle Residence Permit fee or 180-day Recreational Vehicle Residence Permit Extension fee charged by the City shall be as set by the consolidated fee schedule.

10. Any Recreational Vehicles to be used as temporary sheltering for ~~more than 90~~180-days may be allowed only in the following land use zones: A-1, RA-1, RA-2, R-1, R-2.

11. A 180-day extension request may be granted by City Council upon appeal from owner of single-family dwelling to the City Council.

Non-Compliance

1. Any recreational vehicle, located in a residential zone, that has fallen in to disrepair, collapsed, or is otherwise uninhabitable shall constitute a nuisance and shall be removed from the property within 60 days of notice by the Land Use Administrator. Failure to remove recreational vehicles deemed a nuisance after notice shall be a violation.

2. Any failure to comply with this section is grounds for immediate revocation of the Recreational Vehicle Residence Permit and immediate removal of the recreational vehicle.

3. Any reported violation requires 2 directly affected property owners within five hundred feet of the property reportedly in violation. A formal complaint must be filed with the City.

~~12.~~4. Note: individual lots may belong to a homeowner's association or have restrictive covenants which have greater restrictions regarding recreational vehicles. Nothing in this article shall be construed as to prevent private enforcement of any restrictive covenants or HOA rules.

-End of ordinance change.-

Definitions: See Chapter 02-02

Mobile Home

means a factory-built home manufactured prior to June 15, 1976, which is built on a permanent chassis. The structure has been transported, and arrived at a site ready for occupancy, except for minor and incidental assembly operations. Structure is located on jacks, or other temporary or permanent foundation, and connected to required utilities.

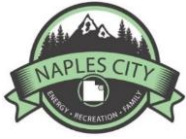
Ready for Highway Use

means a recreational vehicle on its wheels or jacking system, is attached to the site utilities only by quick disconnect and has no permanently attached additions.

Recreational Vehicle:

means a vehicle, which is built on a single chassis, is 400 square feet or less when measured at the longest horizontal projection. Designed to be self-propelled or permanently towable by a vehicle. Designed primarily not for use as a permanent dwelling but for temporary shelter, for recreational, camping, travel, or seasonal use and is fully licensed and ready for highway use.

-End of ordinance change.-



Item No: 2

MEMO TO: Planning Commission FROM: Staff Date: April 21, 2022	Subject: Jim & Adam Richards Naples Self Storage
Staff Recommendation: Approve Final Plan	
Background: Jim & Adam Richards are proposing the construction of their Naples Self Storage site. The site is located in the Industrial zone as a permitted use. Mr. Richards currently owns the land, and it has not been subdivided. The concept plan was approved August 2021. Preliminary plan approved February 2022. Administrative review has been completed and the site is believed to be in line with the ordinance. In the March 17 Planning Commission approved the following items: -Deferment of installation of site obscuring fence on east and north sides of property that abut residential zone for 3 years or until a home is built within 1/10th of a mile, whichever is sooner. - Setback for front security fence on south side of property can be 12 feet or more from the top back of curb, provided it is not within the road right-of-way. - Façade requirements for front facing storage unit buildings has been waived, provided that the metal color be of an earthen tone. Office building will need to conform to current finishes from the ordinance.	
Options: ☐ Approve the proposed plan ☐ Reject the proposed plan	

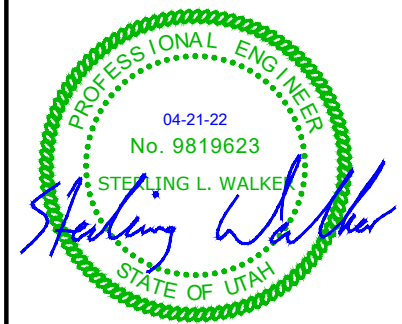
Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

NAPLES SELF STORAGE
SITE GRADING
SITE DEVELOPMENT PROJECT

LOCATED IN:
SECTION 30, T4S, R22E, S.L.B.&M.
UINTAH COUNTY, UTAH

NAPLES SELF STORAGE
1661 E. 1000 S. NAPLES, UTAH
SITE GRADING
SEC. 30, T4S, R22E, S.L.B.&M.
UINTAH, UTAH

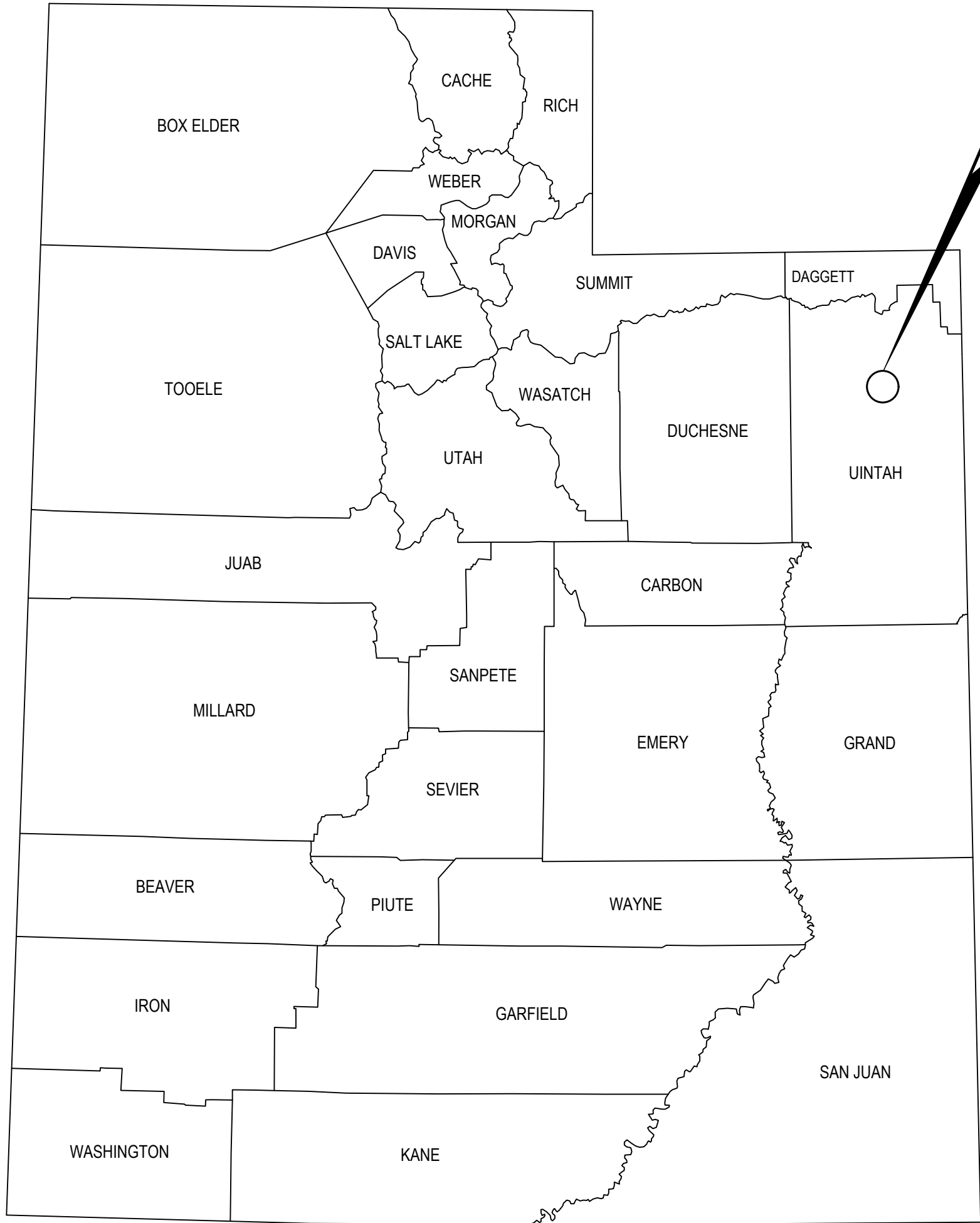
REV	DATE	BY	DESCRIPTION
1	02-23-22	SLW	INITIALS CITY COMMENTS
2	04-20-2022	SLW	NAPLES CITY COMMENTS
3	04-20-2022	SLW	NAPLES CITY COMMENTS

RESPONSIBLE ENGINEER:


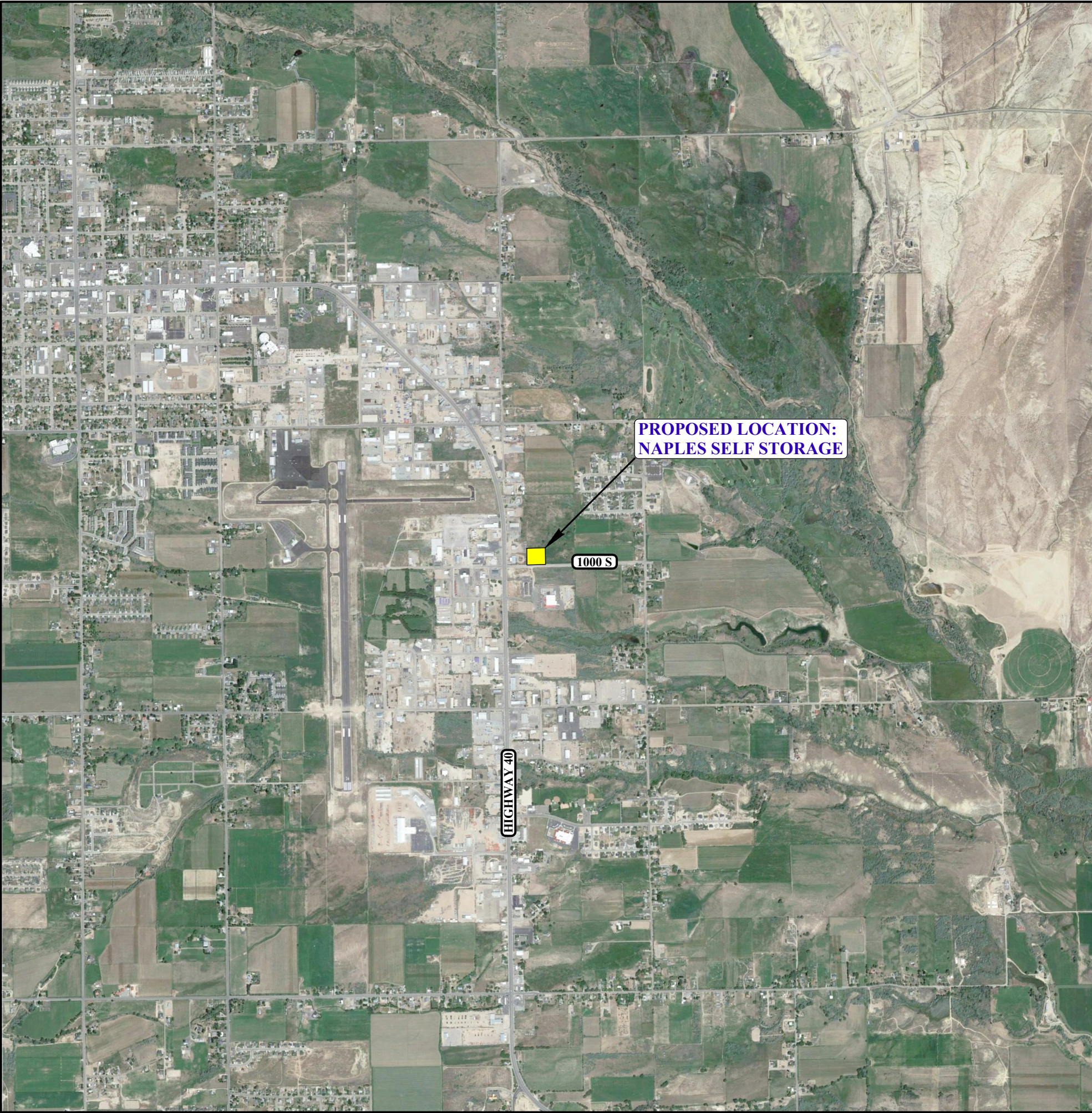
COVER

SCALE: NO SCALE
DRAWN BY: SLW
DATE DRAWN: 02-23-22
UELS FILE NO.: 1675-SURVEY
PROJ. NO.: NAP02-22-0001
FILE: 25659

SHEET
C001



STATE OF UTAH



NAPLES CITY, UT - AERIAL VICINITY MAP
SCALE: 1" = 1,000'

SHEET INDEX	
TITLE SHEET	C001
GENERAL NOTES AND LEGEND	C002
SITE GRADING PLAN	C101
EROSION CONTROL PLAN	C102
LANDSCAPE PLAN	C103
SITE DETAILS	C501
LIGHT POLE SPECIFICATIONS	C502

CIVIL - GENERAL NOTES

GEOTECHNICAL DATA:

SOILS REPORT BY: NONE PREPARED FOR THIS SITE
DATED: N/A
REPORT NO: N/A

THE SOILS ENGINEER SHALL REVIEW ALL EXCAVATIONS AND FILL PLACEMENT PRIOR TO PLACING CONCRETE.

SITE PREPARATION:

- REQUIREMENTS:
- 1.1. REMOVE ALL TOP SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS FROM THE PROPOSED BUILDING SITE.
 - 1.2. SCARIFY THE SUBGRADE TO A DEPTH OF APPROXIMATELY 12 INCHES, ADJUST THE MOISTURE CONTENT TO WITHIN 2% OF OPTIMUM AND COMPACT THE SOIL TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
 - 1.3. CONSTRUCTION DIFFICULTIES MAY VARY WITH SEASONAL FLUCTUATIONS IN THE GROUND MOISTURE. COMPACTION AND EARTHWORK EFFORTS SHALL NOT CONTINUE IF THE SUBGRADE OR SURFACING AGGREGATES ARE FROZEN. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING THE SUBGRADES WITH INSULATED BLANKETS OR HEATING DEVICES SHALL ENSUE IF EARTHWORK ACTIVITIES CONTINUE DURING THE WINTER SEASON.

SITework EArthwork And GrADing

1. RE-GRADING AND EARTHWORK ARE TO BE ACCOMPLISHED AS SHOWN IN THE CIVIL ENGINEERING DRAWINGS, AND AS REQUIRED BY UNANTICIPATED FIELD CONDITIONS WITH EXISTING UTILITY SERVICES. EXISTING GRADING IS TO BE MAINTAINED WHEREVER POSSIBLE.
2. PROTECT ADJACENT PROPERTY AND UTILITIES FROM DAMAGE DURING SITEWORK. PROTECT ALL EXISTING PAVING NOT WITHIN THE LIMITS OF CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION.
3. COMPACT ALL SUBGRADES FOR SLABS AND FOUNDATIONS TO 95% PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT OR AS RECOMMENDED BY THE GEOTECHNICAL REPORT. SUPPLY TEST RESULTS TAKEN AND CERTIFIED BY A QUALIFIED SOILS TESTING COMPANY FOR APPROVAL BY THE ENGINEER. COMPACT ALL SUBGRADES WITH A MECHANICAL COMPACTOR IN MAXIMUM EIGHT INCH SOIL LIFTS.
4. ANY ADDITIONAL FILL REQUIRED SHALL BE OF PLASTICITY INDEX BETWEEN 5 AND 15 AS DETERMINED BY TEST. NO MATERIAL OVER 4" IN MAXIMUM DIMENSION SHOULD BE PLACED IN FILL, UNLESS SPECIAL RECOMMENDATIONS ARE PROVIDED BY THE GEOTECHNICAL ENGINEER. SUBMIT WRITTEN TEST RESULTS PERFORMED BY SOIL TESTING COMPANY APPROVED BY ENGINEER.
5. COORDINATE THE INSTALLATION OF SITE UTILITIES WITH FILL AND PAVING INSTALLATION. ALL SITE UTILITY BACK FILL SHALL BE COMPACTED PER THE SOILS REPORT REQUIREMENTS. PROTECT NEW UNDERGROUND UTILITIES FROM DAMAGE DURING SITEWORK.
6. INSTALL CONCRETE SIDEWALKS, RAMPS, AND CURBS IN ACCORDANCE WITH PLANS AND APPLICABLE SPECIFICATIONS.

EARTHWORK MATERIALS

1. NATIVE SOILS FOR USE AS EMBANKMENT FILL - THE NATIVE (NON-ORGANIC SOILS) MAY BE USED AS FILL. THESE SOILS ARE SENSITIVE TO MOISTURE, AND WILL LIKELY REQUIRE MOISTURE CONDITIONING TO ATTAIN THE DESIRED COMPACTION LEVEL. THE NATIVE SOILS SHOULD BE TESTED AND CLASSIFIED PER THE UNIFIED SOIL CLASSIFICATION SYSTEM. IF THE NATIVE CLAYEY SOILS ARE USED AS FILL, THEY SHOULD CLASSIFY AS LEAN CLAY WITH SAND (CL), SANDY LEAN CLAY (CL) OR CLAYEY SAND (SC). ANY OTHER CLASSIFICATION OF CLAY SHOULD NOT BE USED AS FILL. PLACE IN LIFT THICKNESSES, NOT EXCEEDING 6 TO 8 INCHES.
2. COMMON FILL/COMMON BORROW MATERIALS (IMPORT) - FOR EASE OF PLACEMENT AND COMPACTION, USE A GRANULAR MATERIAL WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES AND LESS THAN 15% PASSING THE NO. 200 SIEVE. PLACE IN MAXIMUM LIFT THICKNESSES OF 12 INCHES. MOISTURE CONDITION TO $\pm 2\%$ OPTIMUM MOISTURE CONTENT AND COMPACT USING A MODERATELY HEAVY, VIBRATORY COMPACTOR.
3. SURFACING GRAVEL - THE SURFACING GRAVEL SHALL BE A CRUSHED TOP SURFACING (1" TO 1-1/2" MINUS) AGGREGATE, ACCORDING TO THE LOCAL DOT "ROAD BASE" SPECIFICATION. THE SURFACING GRAVEL SHALL BE MOISTURE CONDITIONED TO $\pm 2\%$ OPTIMUM MOISTURE CONTENT AND PLACED IN 8 INCH MAXIMUM LIFTS. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE PROCTOR TEST RESULTS.

MATERIAL COMPACTION AND TESTING SCHEDULE

MATERIAL PLACEMENT AREA	PERCENT COMPACTION	PLACEMENT PROCEDURE	TESTING FREQUENCY
STRUCTURAL FILL - BELOW FOUNDATIONS, FLATWORK, AND PAVEMENTS	98%	PLACE IN 12" LOOSE LIFTS (WHEN USING LARGER ROLLER COMPACTORS) MOISTURE CONDITION TO $\pm 2\%$ OF OPTIMUM MOISTURE CONTENT	1 TEST PER LIFT EVERY 5,000 SQFT OF FILL AREA PLACED
FOR FILLS THICKER THAN 6 FEET	98%	PLACE IN 12" LOOSE LIFTS (WHEN USING LARGER ROLLER COMPACTORS) MOISTURE CONDITION TO $\pm 2\%$ OF OPTIMUM MOISTURE CONTENT	1 TEST PER LIFT EVERY 5,000 SQFT OF FILL AREA PLACED
FOR FILLS LESS THAN 6 FEET	95%	PLACE IN 12" LOOSE LIFTS (WHEN USING LARGER ROLLER COMPACTORS) MOISTURE CONDITION TO $\pm 2\%$ OF OPTIMUM MOISTURE CONTENT	1 TEST PER LIFT EVERY 5,000 SQFT OF FILL AREA PLACED
IN LANDSCAPE AREAS NOT SUPPORTING STRUCTURAL LOADS:	90%	PLACE IN 12" LOOSE LIFTS (WHEN USING LARGER ROLLER COMPACTORS) MOISTURE CONDITION TO $\pm 2\%$ OF OPTIMUM MOISTURE CONTENT	1 TEST PER LIFT EVERY 10,000 SQFT OF FILL AREA PLACED
ROADWAY CONSTRUCTION	REFER TO THE LOCAL DOT STANDARD SPECIFICATIONS FOR MATERIAL PLACEMENT, COMPACTION REQUIREMENTS, AND TESTING FREQUENCY REQUIREMENTS.		

DEVELOPMENT SCHEDULE

BUILDING CONSTRUCTION SCHEDULE: PHASE 1 (OFFICE & THREE BUILDINGS ON EAST SIDE OF PROPERTY, ALONG WITH DRIVEWAYS, FENCING, WATER RETENTION, LANDSCAPING ETC).	DATE RANGE
START OF SITE PREPARATION	25 APRIL 2022 FOR PHASE 1
BUILDING CONSTRUCTION	1 JULY 2022 FOR PHASE 1
BUILDING COMPLETION	30 JULY FOR PHASE 1
LANDSCAPE AND SITE WORK COMPLETION	1 AUGUST FOR PHASE 1
OCCUPANCY	1 AUGUST FOR PHASE 1
BUILDING CONSTRUCTION SCHEDULE: PHASE 2 (THREE BUILDINGS ON WEST SIDE OF PROPERTY, ALONG WITH DRIVEWAYS & REMAINING WATER RETENTION).	DATE RANGE
START OF SITE PREPARATION	SEPTEMBER 2022 OR SPRING 2023 FOR PHASE 2
BUILDING CONSTRUCTION	SEPTEMBER 2022 OR SPRING 2023 FOR PHASE 2
BUILDING COMPLETION	SEPTEMBER 2022 OR SPRING 2023 FOR PHASE 2
LANDSCAPE AND SITE WORK COMPLETION	SEPTEMBER 2022 OR SPRING 2023 FOR PHASE 2
OCCUPANCY	SEPTEMBER 2022 OR SPRING 2023 FOR PHASE 2

LEGEND AND SYMBOLS

LEGEND

—W	PROPOSED WATERLINE
—	EXISTING WATERLINE
—SS	PROPOSED SANITARY SEWER
—SS	EXISTING SANITARY SEWER
—ST	PROPOSED STORM SEWER
—ST	EXISTING STORM SEWER
—G	PROPOSED GAS LINE
—G	EXISTING GAS LINE
—E	PROPOSED ELECTRIC LINE
—E	EXISTING ELECTRIC LINE
—T	PROPOSED TELEPHONE LINE
—T	EXISTING TELEPHONE LINE
—F	PROPOSED FIBER OPTIC
—F	EXISTING FIBER OPTIC
—RR	PROPOSED IRRIGATION LINE
—RR	EXISTING IRRIGATION LINE
—OHP	PROPOSED OVERHEAD POWER
—OHP	EXISTING OVERHEAD POWER
—BP	PROPOSED BURIED POWER
—BP	EXISTING BURIED POWER
—	PROPOSED EDGE OF ROAD
—	ALIGNMENT CENTERLINE
—	PROPERTY LINE
—	SUBDIVISION PARCEL BOUNDARY (NEW)
—	SUBDIVISION - LOT (NEW)
—	SUBDIVISION - LOT (EXISTING)
—	EXISTING EDGE OF ROAD
—	EXISTING EDGE OF ASPHALT
—	EXISTING EDGE OF CONCRETE
—	EXISTING BUILDING
—	PROPOSED BLDG OUTLINE
—	PROPOSED PIPELINE
—	EXISTING PIPELINE
—	PIPELINE
—	CHAINLINK FENCE
—	BARBED WIRE FENCE (FIELD FENCE)
—	FENCE
—	WOOD POST/VINYL FENCE
—	DITCH - GENERAL
—	DRAINAGE - FLOW DIRECTION
—	RIGHT-OF-WAY
—	PUBLIC UTILITY EASEMENT (PUE)
—	LIMITS OF DISTURBANCE
—	SILT FENCE
—	DIVERSION SWALE WITH CHECK DAM
—	DIVERSION DIKE
—	DETENTION/RETENTION POND
—	CULVERT
—	BERM
—	EXISTING MAJOR CONTOURS - 5'
—	EXISTING MINOR CONTOURS - 5'
—	PROPOSED MAJOR CONTOURS - 5'
—	PROPOSED MINOR CONTOURS - 1'
—	VEHICLE PATH

SITE PLAN SYMBOLS

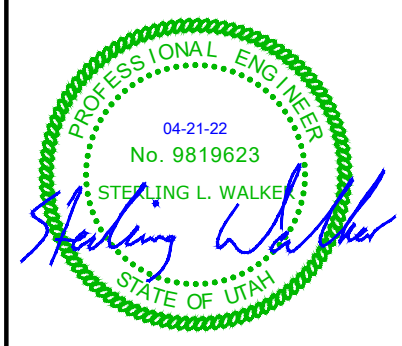
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	3-WAY INTERSECTION VALVES
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER METER
	STORM SEWER MANHOLE
	ELECTRIC MANHOLE
	ELECTRIC BOX
	ELECTRIC METER
	TELEPHONE BOX
	GAS METER
	STREET SIGN
	GRATE
	POWER POLE
	STREET LIGHT
	LIGHT POLE
	TRANSFORMER
	GENERATOR
	HANDICAP SYMBOL
	PROPANE TANK
	BENCHMARK
	SOIL BORING/WELL
	SECTION CORNER (FOUND)
	SECTION CORNER (NOT FOUND)
	PROPERTY CORNER
	PROPERTY LINE - PC/PT/PO.L.
	CURB & GUTTER
	SIDEWALK
	TREE
	GATE
	BOLLARD
	MAILBOX
	BURIED UTILITY MARKER
	CULVERT
	CATTLEGUARD
	TOPSOIL/SPOILS PILE



NAPLES SELF STORAGE
1661 E. 1000 S. NAPLES, UTAH
SITE GRADING
SEC. 30, T4S, R22E, S1.B.&M.
UINTAH, UTAH

[illegible]

RESPONSIBLE ENGINEER

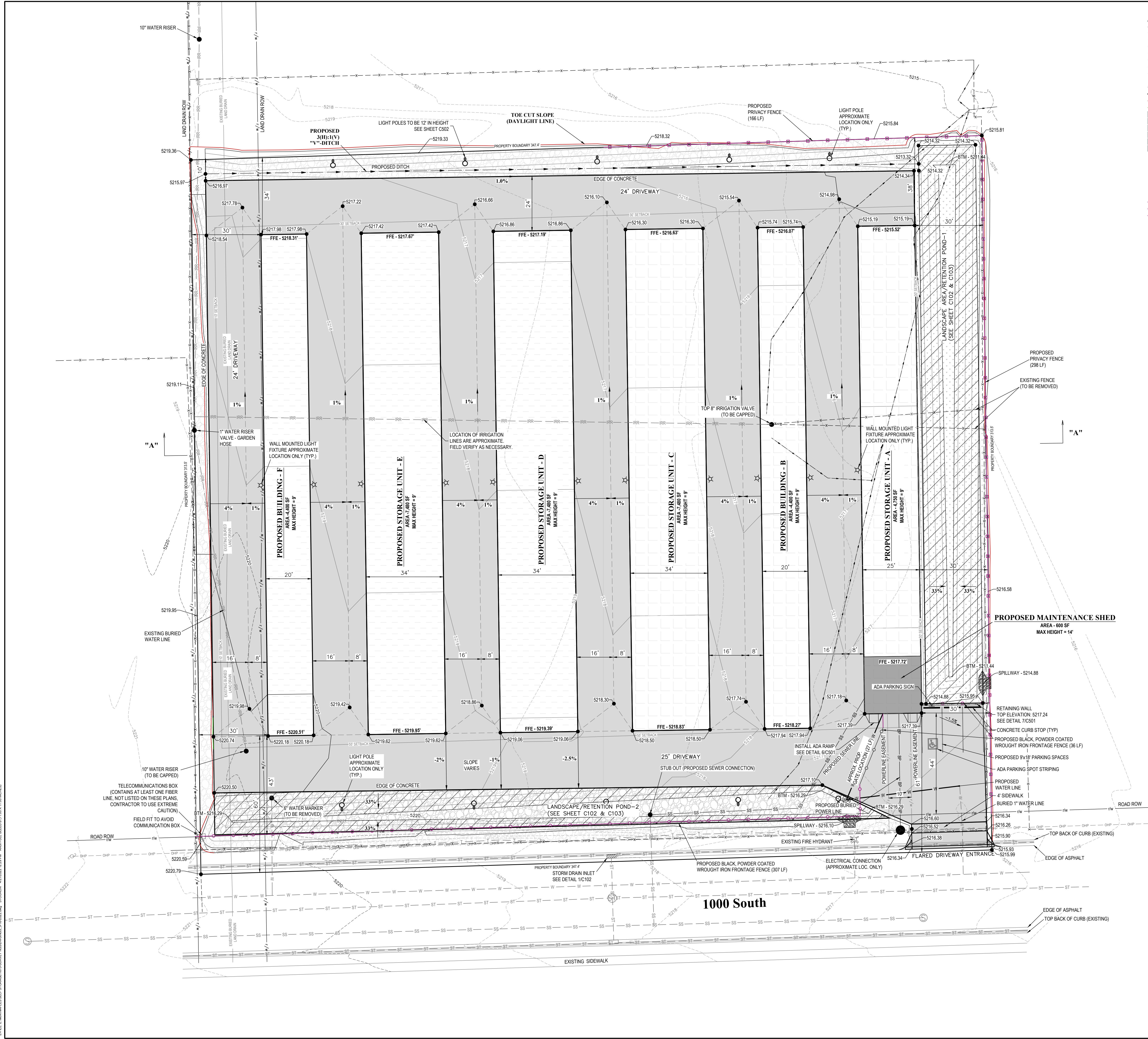


GENERAL NOTES AND LEGEND

SCALE: NO SCALE
DRAWN BY: SLW
DATE DRAWN: 02-23-22
UELS FILE NO.: 1 6 7 5 - S U R V E Y
PROJ. NO: NAP02-22-0001
FILE: 2 5 6 5 9

SHEET

C002



LEGEND - SITE LINETYPES

- EXISTING FENCE
- EXISTING WATERLINE
- EXISTING OVERHEAD POWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- DITCH - GENERAL
- EXISTING TELEPHONE LINE
- GRADE BREAK LINE
- PROPOSED WATER LINE
- PROPOSED BURIED POWER
- DAYLIGHT CUT LINE
- DAYLIGHT FILL LINE
- CONCRETE AREA
- DETENTION POND-1 (DROUGHT TOLERANT GRASS)
- DETENTION POND-2 (COBBLE ROCK)
- COBBLE ROCK LANDSCAPING
- PHASE 1
- PHASE 2
- 2886 LUMENS, LED WALL MOUNTED FIXTURE (OR EQUIVALENT)
- 28,000 LUMENS, LED PARKING LOT FIXTURE (OR EQUIVALENT)
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- WROUGHT IRON FENCE
- PRIVACY FENCE
- SITE FENCE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM SEWER MANHOLE

- REFERENCE NOTES**
- SITE GRADING NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY ADJACENT STREETS, UTILITIES, BUILDINGS, ETC. FROM DAMAGE DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATION SERVICE 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR EARTHMOVING ACTIVITIES. THE CONTRACTOR SHALL ENSURE THAT ALL OF THE KNOWN UTILITIES HAVE LOCATED THEIR LINES PRIOR TO BEGINNING EXCAVATION ACTIVITIES.
 - DURING CONSTRUCTION, AND UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED IMMEDIATELY BY AN APPROPRIATE METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, HANDWORK, ETC.). THE FREQUENCY AND EFFORT OF STREET CLEANING OPERATIONS SHALL BE DIRECTLY RELATED TO THE AMOUNT OF CONSTRUCTION TRAFFIC AND WEATHER CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY ADDRESS ANY STREET CLEANING PROBLEMS IDENTIFIED BY THE ROAD DEPARTMENT.
 - EARTHWORK ACTIVITIES OCCURRING DURING FREEZING CONDITIONS SHALL BE CLOSELY MONITORED BY THE ENGINEER. ANY FILL PLACED SHALL NOT BE FROZEN. THE SUBGRADE SHALL BE PROTECTED FROM FREEZING OVERNIGHT, IF EARTHWORK ACTIVITIES WILL CONTINUE.
 - NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY EXIST, IN CONTRARY TO THE CONSTRUCTION DOCUMENTS.
 - ALL EXISTING VEGETATION AND/OR TOPSOIL SHALL BE REMOVED PRIOR TO PLACEMENT OF ANY FILL MATERIALS. FILL MATERIALS SHOULD CONSIST OF APPROVED, LOW VOLUME CHANGE MATERIALS, WHICH ARE FREE FROM ORGANIC MATTER AND DEBRIS.
 - ALL DISTURBED SOIL, ON OR OFF SITE, AND RELATED TO THE WORK AT THIS PROJECT SITE IS REQUIRED TO BE PROTECTED FROM WIND AND STORM WATER EROSION.
 - TEMPORARY AND/OR PERMANENT EROSION CONTROL MEASURES (BMPs), INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATION, SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS MAY TAKE PLACE.
 - ELEVATIONS SHOWN ARE AT TOP OF FINISHED GRADE.
 - IF GROUNDWATER IS ENCOUNTERED DURING POND EXCAVATION, CONTACT ENGINEER FOR A DESIGN REVISION OF THE STORM WATER DETENTION.
 - FILL/CUT SLOPES SHOWN AT 3H:1V.
 - REFER TO THE CIVIL GENERAL NOTES FOR EARTHWORK MATERIAL AND COMPACTION REQUIREMENTS.
 - POND, CATCHMENT DITCH, AND BORROW DITCH AREAS SHOULD BE OVER-EXCAVATED BY 6 INCHES AND RE-FILLED TO FINISH GRADE WITH TOPSOIL, PREVIOUSLY STRIPPED FROM THESE AREAS.
 - EARTHWORK QUANTITIES:**

15.1. TOPSOIL REMOVAL (4 INCHES)	1,310 CU YDS
15.2. COMMON CUT	4,730 CU YDS
15.3. TOTAL CUT	6,040 CU YDS
15.4. COMMON FILL (10% FILL FACTOR)	450 CU YDS
15.5. EXCESS MATERIAL	5,590 CU YDS

- PHASE NOTES:**
- PHASE 2 BUILDINGS AND DRIVEWAY AREAS WILL NOT BE DISTURBED DURING PHASE 1 CONSTRUCTION.
 - NATIVE VEGETATION WILL REMAIN IN PHASE 2 BUILDING AND DRIVEWAY AREAS DURING PHASE 1 CONSTRUCTION TO PREVENT EROSION.
 - NAPLES SELF STORAGE LLC, ADAM RICHARDS AND JOSHUA RICHARDS, ACKNOWLEDGES THE EXISTENCE OF A CLAIMED IRRIGATION LINE LOCATED IN THE RIGHT-OF-WAY FOR THE EXISTING DITCH & PIPELINE OF LATERAL 13B OF THE CENTRAL IRRIGATION CANAL AND RELEASE AND HOLD HARMLESS NAPLES CITY FROM FINANCIAL RESPONSIBILITY FOR ANY COSTS INCURRED IN THE EVENT OF REPLACEMENT, REPAIR, RE-ROUTE, RELOCATION, ETC. IS REQUIRED FOR THE IRRIGATION LINE LOCATED IN THE RIGHT-OF-WAY FOR THE EXISTING DITCH & PIPELINE OF LATERAL 13B OF THE CENTRAL IRRIGATION CANAL.
 - LARGE TRASH RECEPTACLE NOT TO BE LOCATED ON-SITE. SMALL TRASH RECEPTACLE TO BE LOCATED IN MAINTENANCE SHED.

PARCEL INFORMATION

PARCEL:	051280183
ADDRESS:	~1661 EAST 1000 SOUTH
TOTAL PARCEL AREA:	22.500 ACRES
STORAGE BUILDING AREA:	35,990 SF
OFFICE BUILDING AREA:	600 SF
TOTAL BUILDING AREA:	36,590 SF
PARKING REQUIRED FOR OFFICE:	1 SPACE PER 250 SF
PARKING SPACES REQUIRED:	3
PARKING SPACES PROVIDED:	3
ADA SPACES REQUIRED:	1
ADA SPACES PROVIDED:	1

UINTAH
ENGINEERING & LAND SURVEYING
CIVIL AND STRUCTURAL
ENGINEERING AND
LAND SURVEYING SERVICES
85 South 200 East, Vernal, UT 84078
O: 435.789.1017
www.uintahgroup.com
- SINCE 1964 -

NAPLES SELF STORAGE
1661 E. 1000 S. NAPLES, UTAH
SITE GRADING
SEC. 30, T4S, R22E, S.L.B.&M.
UINTAH, UTAH

REV	DATE	BY	REASON	REVISIONS
1	04-20-2022	SCG	NAPLES CITY COMMENTS	
2	04-20-2022	SCG	NAPLES CITY COMMENTS	
3	04-20-2022	SCG	NAPLES CITY COMMENTS	

RESPONSIBLE ENGINEER:

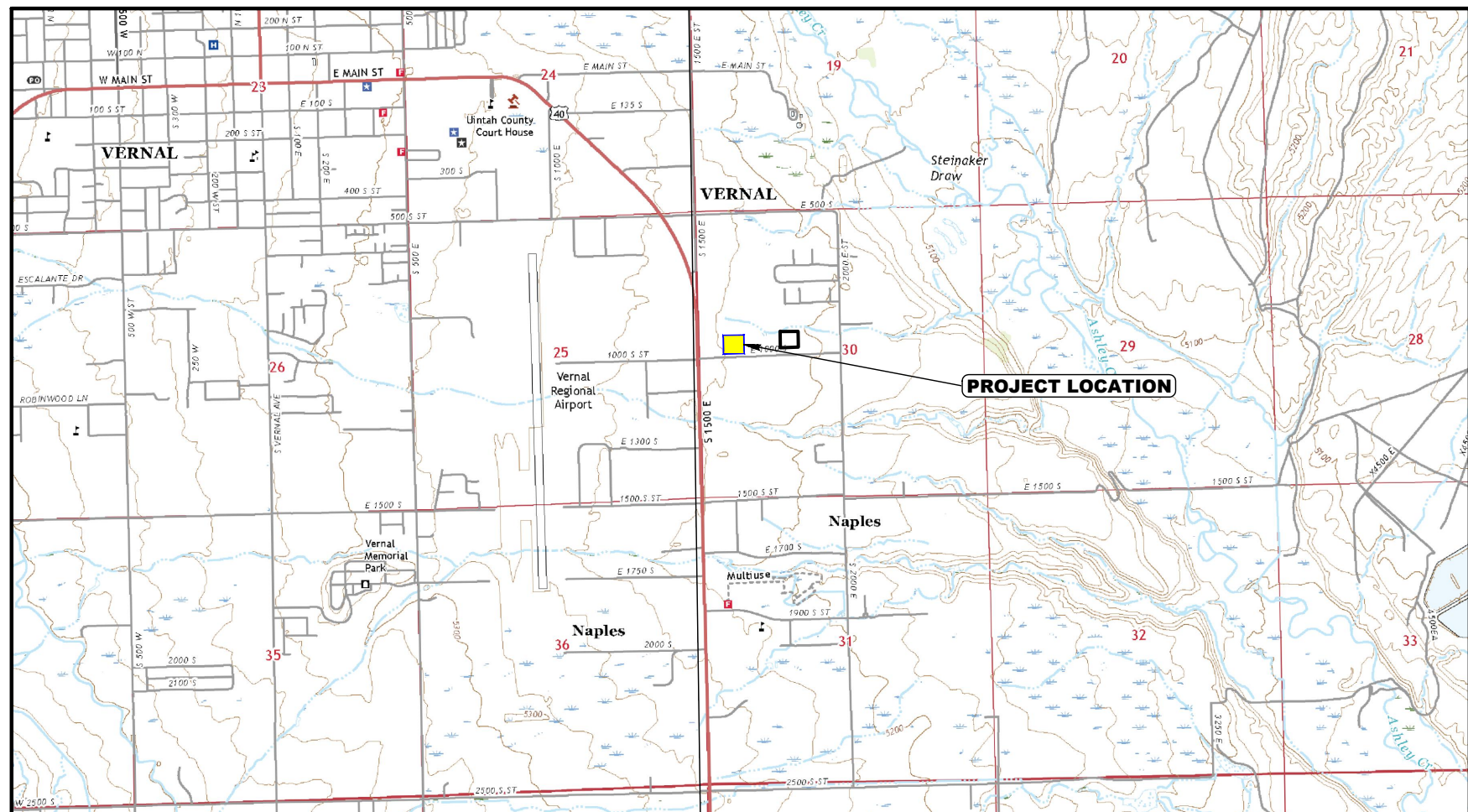
STERLING L. WALKER

SITE GRADING PLAN

SCALE: AS NOTED
DRAWN BY: SLW
DATE DRAWN: 02-23-22
UPLS FILE NO.: 1675-S-SURVEY
PROJ. NO.: NAP02-22-0001
FILE: 25659

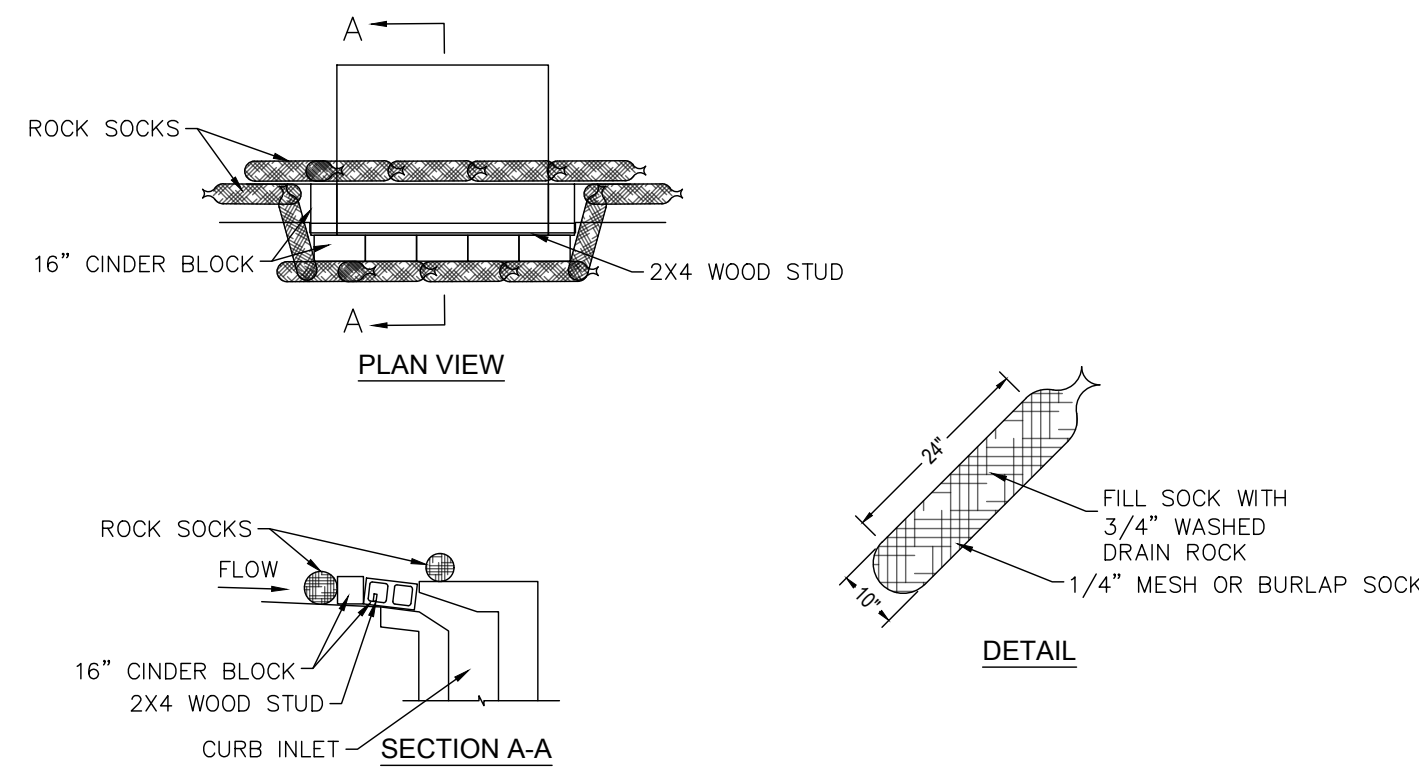
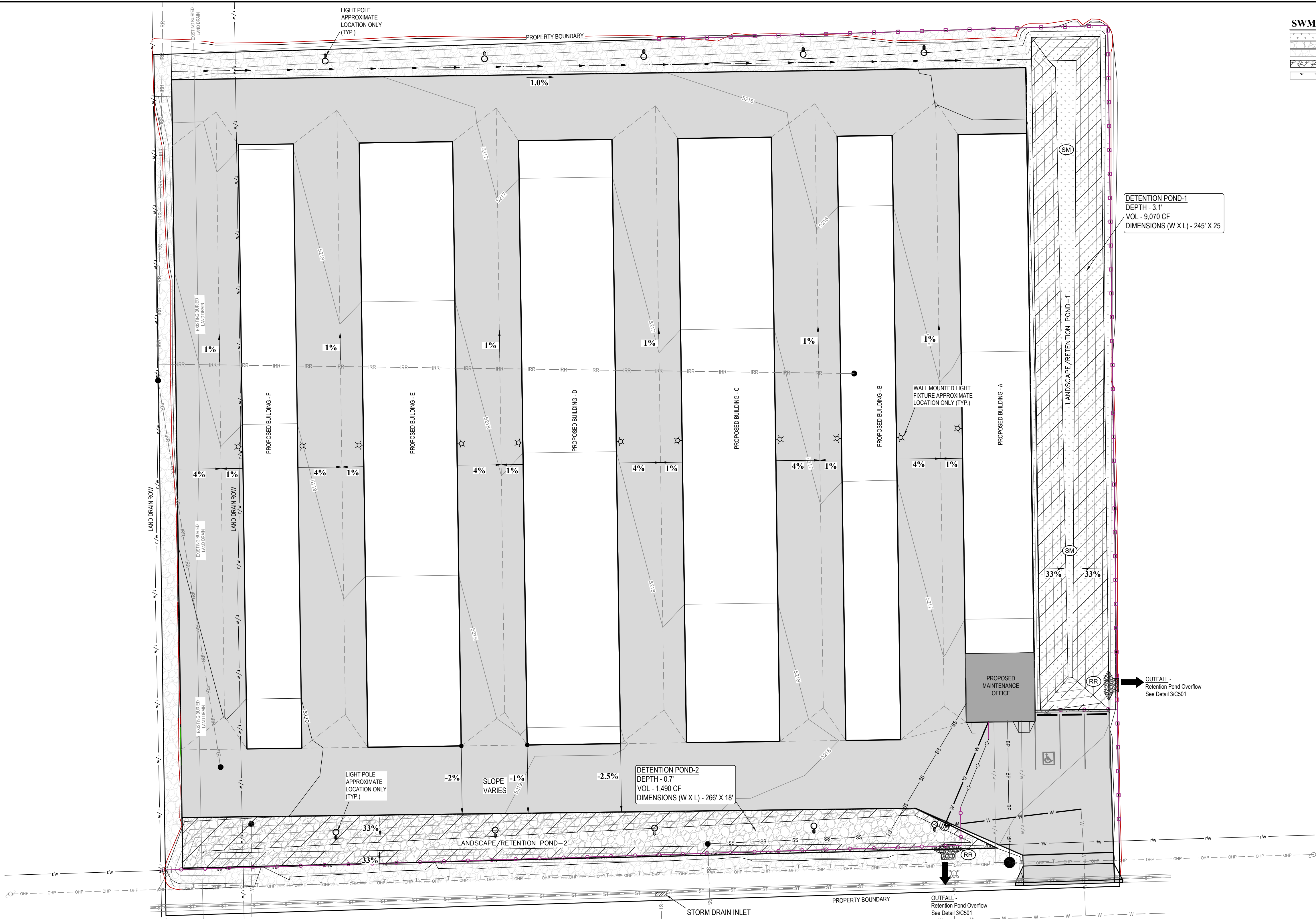
SHEET
C101

E:\A\1\NAPLES SELF STORAGE\1075 SURVEY\NAPLES\3-10-2022.dwg 8/20/2022 12:28 PM ANS FULL BUREAU 11.0 X 17.0 INCHES

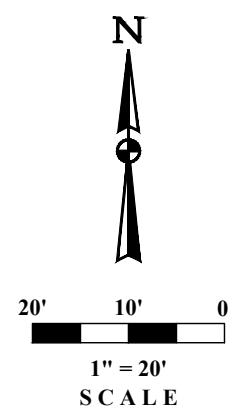


TOPOGRAPHICAL MAP - USGS NAPLES AND VERNAL, 2020

SCALE: 1" = 3000'



1 STORM DRAIN INLET PROTECTION DETAIL
NO SCALE



SWMP LEGEND

	DETENTION POND-1 (DROUGHT TOLERANT GRASS)
	DETENTION POND-2 (COBBLE ROCK)
	COBBLE ROCK LANDSCAPING
	RR RIP RAP OUTFALL PADS
	SM SEEDING AND MULCHING

REFERENCE NOTES

SWMP NOTES:

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF.
2. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.
3. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, OR LANDSCAPED.
5. ALL SEED MIX SHALL BE A NATIVE MIX. REFER TO THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MIX REQUIREMENTS. FINAL MIX SHALL BE APPROVED BY THE ENGINEER.
6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
7. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
8. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
10. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
11. ALL MEASURES CONTAINED IN THIS PLAN SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT INTO SERVICE. DOWN-GRADE LINES MUST BE PROTECTED FROM WASH WATER AND SEDIMENT REMOVAL FROM UPSTREAM LINES. AVOID CONTAMINATION AND COMPROMISING HYDRAULIC CAPACITY OF DOWN-GRADE LINES DURING CLEANING.

DRAINAGE REPORT:

THE DRAINAGE AREA NATURALLY SLOPES TO THE EAST AT A GRADE OF APPROXIMATELY 1%.

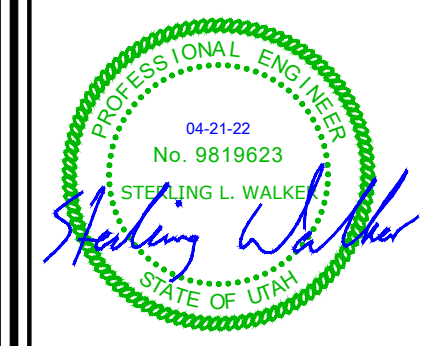
MANAGING THE DRAINAGE FOR THIS SITE INCLUDES INSTALLING TWO SEPARATE DETENTION PONDS TO CAPTURE THE REQUIRED WATER. RETENTION POND-1 WILL BE AN OPEN POND ON THE EAST SIDE OF THE PROPERTY, OVERFLOW FROM THIS POND WILL BE DIRECTED TOWARDS THE EAST. RETENTION POND-2 WILL BE ON THE SOUTHERN EDGE OF THE PROPERTY, OVERFLOW WILL BE DIRECTED TO THE SOUTH. THE PROPOSED GRADING OF THE SITE WILL INCLUDE SLOPING THE SELF STORAGE BUILDINGS TO THE NORTH AND THEN TO DIRECT ALL WATER ONTO THE EASTERN SIDE OF THE PROPERTY.

DRAINAGE ANALYSIS WAS CALCULATED USING THE RATIONAL METHOD. 125% OF THE 100-YR 2-HR STORM WAS USED AS THE DESIGN STORM TO DETERMINE FLOWS FOR THE POST DEVELOPMENT STORM WATER. THE INTENT OF THIS DESIGN IS TO LIMIT THE FLOW OFF THE SITE UNDER THE POST-DEVELOPMENT CONDITION.

1. PRECIPITATION VALUES OBTAINED FROM NOAA ATLAS 1.1. 100-YEAR 2-HOUR INTENSITY: 1.55 IN
2. POST-DEVELOPMENT STORM WATER CALCULATIONS (RETENTION POND-1)
 - 2.1. BUILDING/ROOF & PAVEMENT AREAS (C-0.90): 1.73 ACRES
 - 2.2. TOTAL AREA: 0.27 ACRES
 - 2.3. WEIGHTED RUNOFF COEFFICIENT: 0.79
- 2.4. 100-YEAR 2-HOUR SW FLOW: 1.54 CFS
- 2.5. 100-YEAR 2-HOUR VOLUME (+25% PER CODE): 9,020 CUFT
3. POST-DEVELOPMENT STORM WATER CALCULATIONS (RETENTION POND-2)
 - 3.1. LANDSCAPED AREA INCLUDING RETENTION POND (C-0.20): 0.13 ACRES
 - 3.2. PAVEMENT AREA (C-0.90): 0.18 ACRES
 - 3.3. TOTAL AREA: 0.31 ACRES
 - 3.4. WEIGHTED RUNOFF COEFFICIENT: 0.57
- 3.5. 100-YEAR 2-HOUR SW FLOW: 0.17 CFS
- 3.6. 100-YEAR 2-HOUR VOLUME (+25% PER CODE): 459 CUFT
4. RETENTION POND-1, ON THIS SITE, IS CAPABLE OF STORING 9,070 CUFT. RETENTION POND-2, IS CAPABLE OF STORING 1,490 CUFT.
5. LANDSCAPING (BASINS & PERIMETER) = 0.458 AC. 10%
BUILDINGS (OFFICE & STORAGE) = 0.840 AC. 34%
PAVEMENT (DRIVES & PARKING) = 1.132 AC. 45%
REMAINDER (ROAD & CURB GUTTER) = 0.070 AC. 3%
TOTAL = 2,500 AC. 100%

REV	DATE	BY	REASON
1	02-20-2022	SLW	ISSUED FOR PERMITS
2	04-20-2022	SLW	AMEND CITY COMMENTS
3	04-20-2022	SLW	AMEND CITY COMMENTS

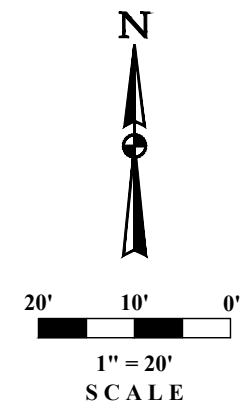
RESPONSIBLE ENGINEER:



EROSION CONTROL
PLAN

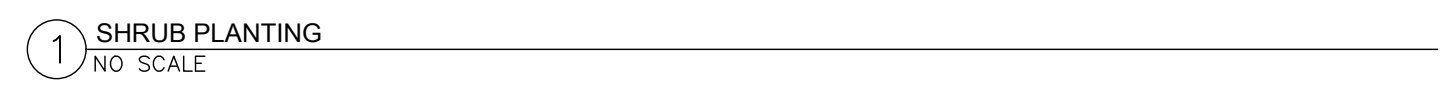
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DRAWN BY: SLW
DATE DRAWN: 02-23-22
UTLS FILE NO.: 1675-S-SURVEY
PROJ. NO.: NAP02-22-0001
FILE: 25659

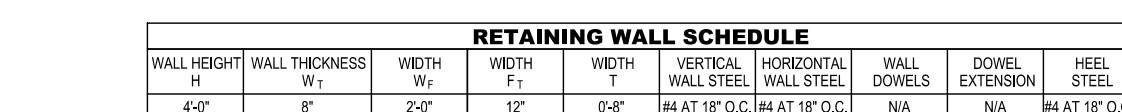
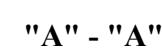
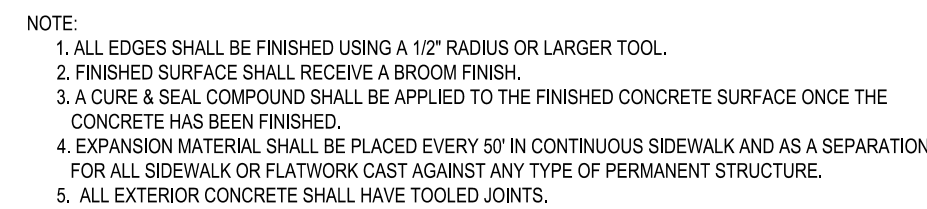
SHEET
C102



TREE AND SHRUB SCHEDULE				
MATERIAL LIST	QTY	MAY INCLUDE	SYMBOL	SIZE
ORNAMENTAL ORCHARD TREE	5	APPLE, CHERRY, PEACH ETC.		1-1.5
BOXWOOD SHRUB	35	WINTERGREEN, GREEN VELVET, NORTH STAR ETC.		
DWARF SIBERIAN PINE	6			
TOTAL:			5 TREES & 41 SHRUBS	

1.	LANDSCAPING (BASINS & PERIMETER) =	0.458 AC.	18%
	BUILDINGS (OFFICE & STORAGE) =	0.840 AC.	34%
	PAVEMENT (DRIVES & PARKING) =	1.132 AC.	45%
	REMAINDER (ROAD & CURB GUTTER) =	0.070 AC.	3%
	TOTAL =	2.500 AC.	100%



[illegible]

- 5 year limited warranty; see pltsolutions.com for warranty details



Diagram of the LED street light fixture showing dimensions: 12.6" wide and 23.2" long.

Length: 23.2"
Height: 3.2"
Width: 12.6"
Weight: 14.9 lbs.

Light Sensor installed



Item	Specification
Input Voltage	120-277V, 50/60Hz
Fixture CRI	73
LED Color Temperature	5290K
Fixture Lumens	2986
Fixture Efficacy	80 lumen/Watt
Lumen Maintenance	≥79% @ 5 years
Zonal Lumen Performance	0-90 ~100%; 80-90 ~70%
Warranty	10 years
LED Quantity (Brand: Samsung LH351B)	12
LED TMP Temperature @ 25°C	81.5°C
Input Power	373W
Power Efficiency	84%
Power Factor @ 277V	0.99
THD @ 277V	<20%
Driver TMP @ 25°C ambient	57.2°C
Noise	<24dB
EMI	FCC part 15
Max Operating Temperature	45°C Ambient
Min Operation Temperature	-40°C Ambient
Assembled Fixture Dimensions / Weight	11.41" x 13.7" x 9.2"

- Single-Output Channel, Class 2 LED Driver, Model Number: AC-35C1.0AUA
- 1 PCB LED Array with LED mounted to industrial grade aluminum LED Driver bracket (10 LEDs per array)



* Fortified LEDs warrants to the purchaser that this fixture will be free from defects in material or workmanship for a period of 7 years from date of manufacture, when operated at a maximum ambient temperature of 113°F or 45°C, when properly installed and under normal conditions of use.

The warranty excludes damage resulting from improper installation or damage caused by fire or severe weather conditions including, but not limited to, lightning and storms. Evidence of direct exposure to water inside the fixture housing on the failed units due to improper installation voids the warranty.

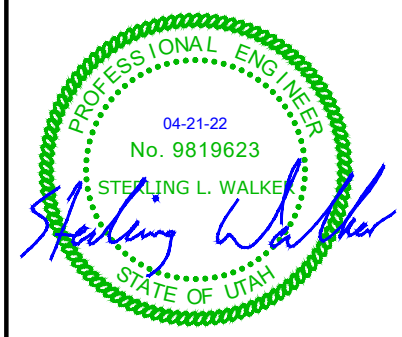
Wall Pack Light Source	Input Wattage	Lifespan Hrs/ Yrs	Energy Use (24hrs/day) Annual	Annual Cost (maintenance + electricity) @ \$0.11/kWh	Electrical Cost Savings
HID	175	24,000/ 2.7	1533 kWh	\$168.63	
LED	37	50,000/ 5.7	324 kWh	\$35.65	79%

©2017 • 09/05/2017

2 WALL MOUNTED LIGHT SPECIFICATIONS

[illegible]

RESPONSIBLE ENGINEER



LIGHT POLE SPECIFICATIONS

SCALE: NO SCALE
DRAWN BY: SLW
DATE DRAWN: 02-23-22
UELS FILE NO.: 1 6 7 5 - S U R V E Y
PROJ. NO: NAP02-22-0001
FILE: 2 5 6 5 9

SHEET

C502

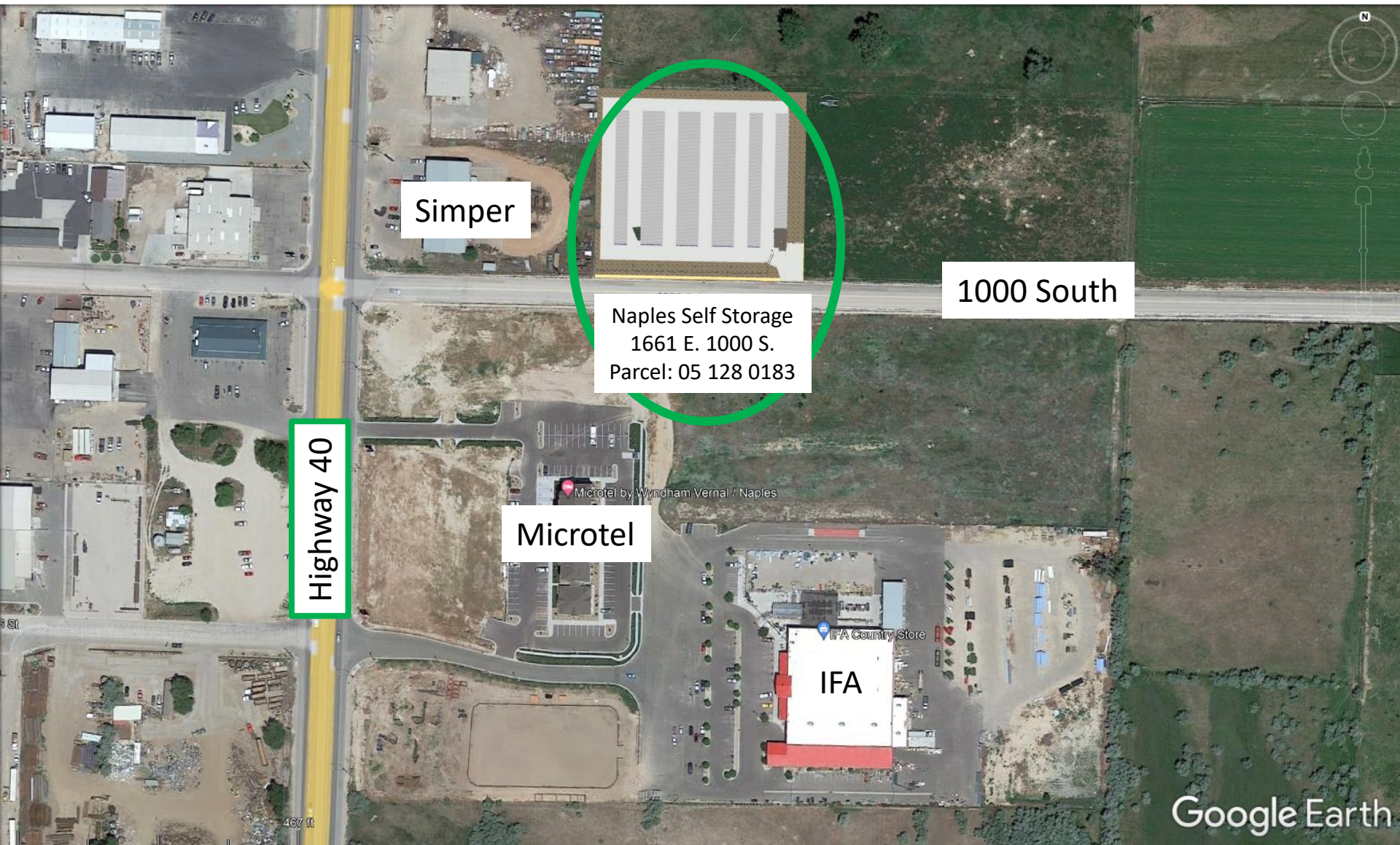
Naples Self-Storage, LLC



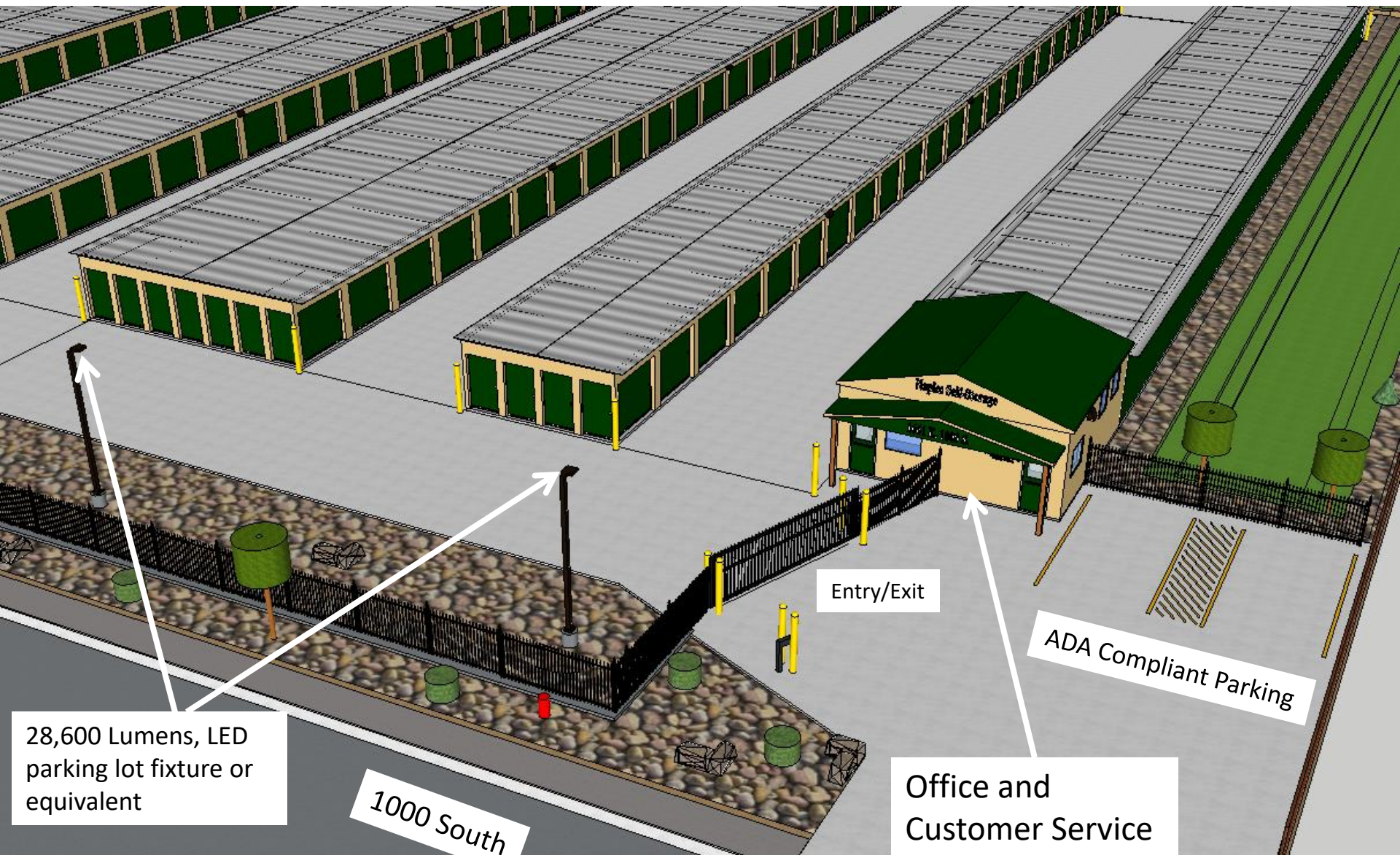
Design Review – 4/21/2022

Adam Richards, managing member

Location: 1661 East 1000 South, Naples, Utah



Southeast Corner: Entrance/Exit



Phase 1 – Summer 2022

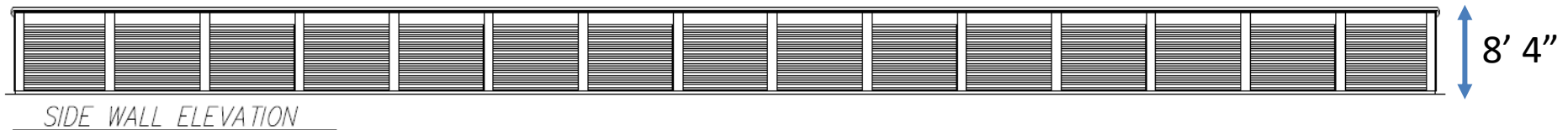


Phase 2: This area will not be disturbed during Phase 1 construction. Phase 2 is planned for Spring 2023

Example Building to Show Color Selection



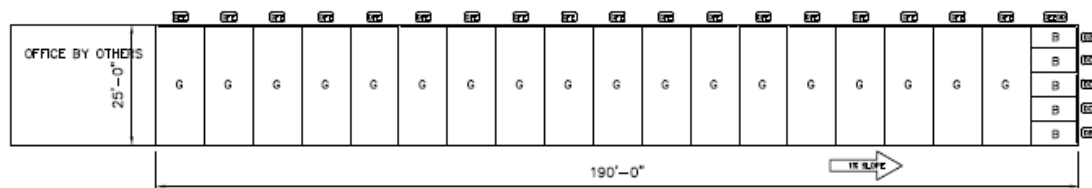
Building Elevations



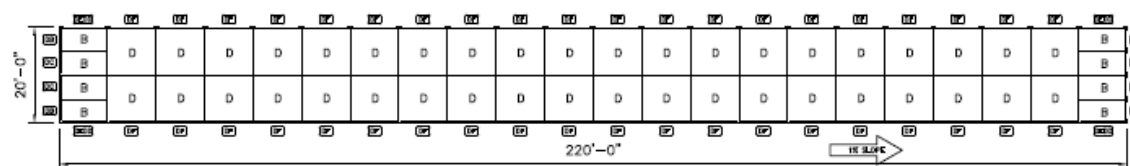
All Steel Construction Buildings

- Fiberglass roof insulation with vapor barrier for condensation control
- Code Body: IBC 2018
- Ground Snow Load: 50 psf
- Wind Load: 115 mph
- Exposure C
- Standing Seam Roof

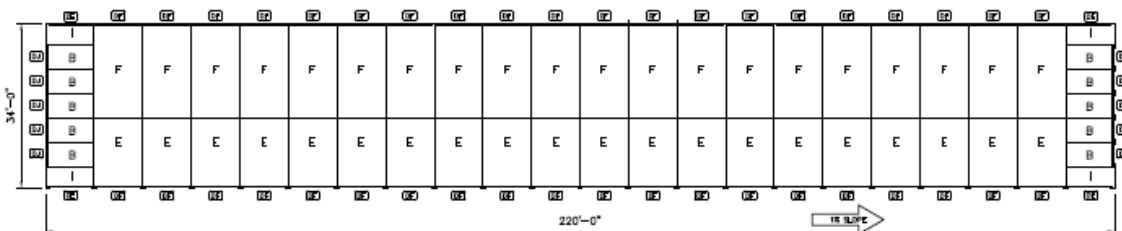
Naples Self Storage: Building Floor Plans



A - 25'-0" x 190'-0" x 5'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM



B - 20'-0" x 220'-0" x 5'-4" 1/4:12 PITCH GABLE BUILDING SYSTEM



C - 34'-0" x 220'-0" x 8'-4" 1/4:12 PITCH GABLE BUILDING SYSTEM

DOOR SCHEDULE									
NO.	CODE	TYPE	SIZE	QUALIFICATION	TRACHT	SYSTEM	DOOR	DOOR	DOOR
1	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
2	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
3	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
4	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
5	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
6	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
7	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
8	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
9	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
10	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
11	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
12	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
13	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
14	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
15	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
16	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
17	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
18	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
19	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR
20	B	ROLL-UP	2'-0" x 7'-0"	1'-0" x 7'-0"	TRACHT	SYSTEM	ROLL-UP DOOR	DOOR	DOOR

ROLL-UP DOORS MEET ASTM E1330

DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE DESIGN SET. NO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.

UNIT MIX

UNIT	UNIT SIZE	# UNITS	%	SQ. FEET
B	5 x 10	23	18.4	1150.0
D	10 x 10	40	32.0	4000.0
E	10 x 14.5	20	16.0	2900.0
F	10 x 19.5	20	16.0	3900.0
G	10 x 25	18	14.4	4500.0
I	10 x 4.5	4	3.2	180.0
TOTAL		125	100	16630.0

NOTE:
THIS BUILDING CAN BE INSTALLED ON A FOUNDATION WITH A MAXIMUM SLOPE OF 1% IN ANY DIRECTION. THE BUILDING HOWEVER, THIS REQUIRED THE BUILDING TO BE DESIGNED IN CLIP OF PLUMB. THEREFORE, THE OWNER MUST NOTIFY THE BUILDING DESIGNER THAT THE FOUNDATION WILL BE BUILT ON A SLOPE. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO ADJUST THE BUILDING AND DOORS ACCORDINGLY.

"NOTICE"

NO FABRICATION CAN BE SCHEDULED OR BEGUN UNTIL "APPROVED" OR "APPROVED AS NOTED" DOCUMENTS ARE RECEIVED BY TRACHT BUILDING SYSTEMS. COMPLETE THE FOLLOWING:

- ___ APPROVED - BREAKER FOR FABRICATION
- ___ APPROVED AS NOTED - BREAKER FOR FABRICATION
- ___ NOT APPROVED - REVISE AND RESUBMIT

SIGNATURE _____

COMPANY _____

DATE ____/____/____

*** THE ABOVE PLAN MAY NOT REFLECT THE IMPLICATIONS OF SECTION 903.2.9 OF THE 2012 OR 2015 IBC CODE WHICH MAY REQUIRE 3 HOUR FIREWALLS EVERY 2,500 SQFT OR MAY REQUIRE YOU TO SPRINKLE THE BUILDING.

*** TRACHT RECOMMENDS (IN USA ONLY) THAT ALL PROJECTS REQUIRE A NUMBER OF UNITS BE ADA ACCESSIBLE, IF A CUSTOMER CHOOSES TO NOT CONFORM TRACHT WILL NOT BE HELD ACCOUNTABLE.

TRACHT BUILDING SYSTEMS, Inc.

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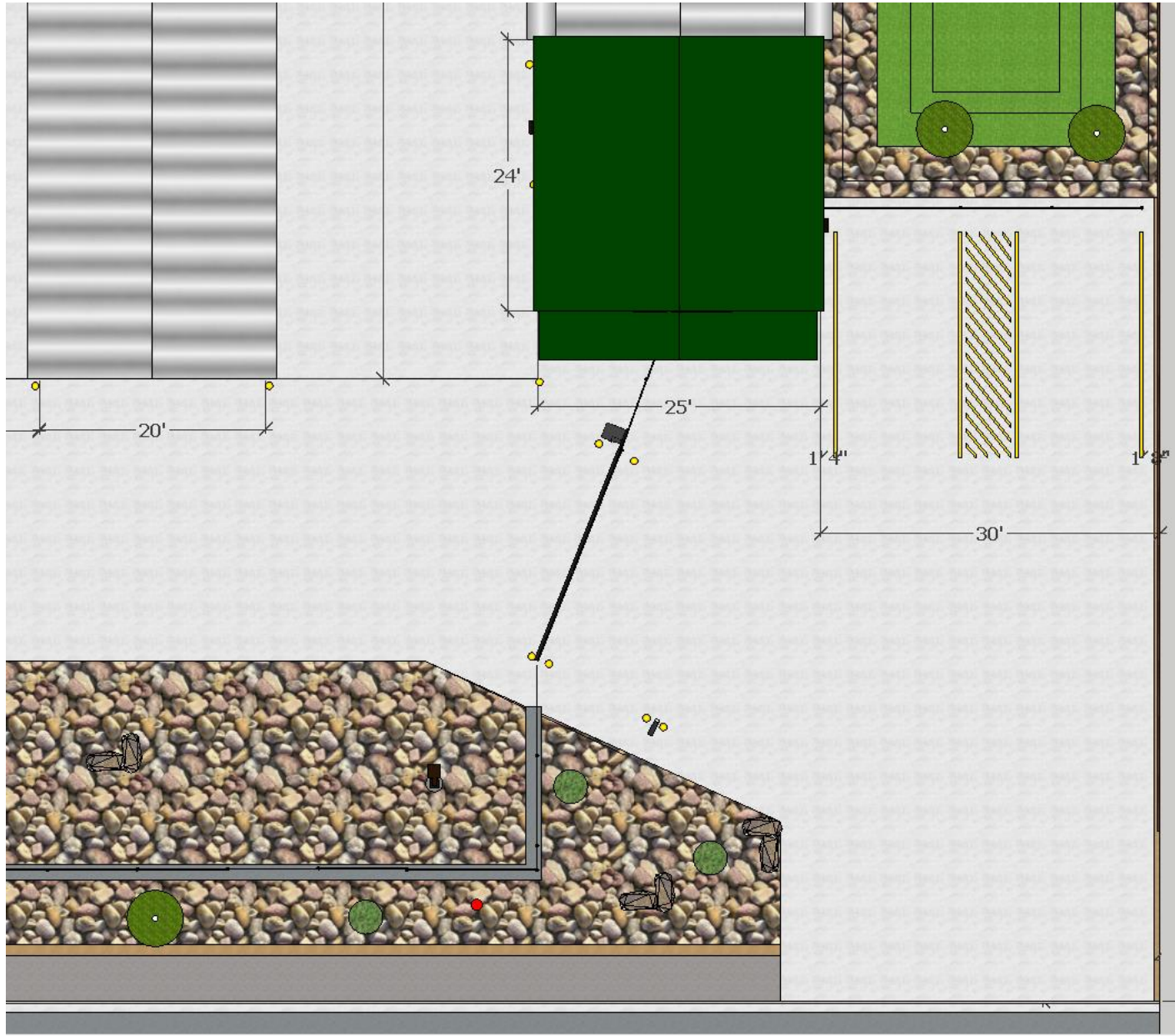


Revisions:	By:	Job Description:	1 OF 1
2/24/22-REVISED BLDG DIMENSIONS.	J.B.		
3/8/22-REVISED BLDG DIMENSIONS.	J.B.		
Name: J.B.	Scale: 1" = 30'	Date: 1/13/22	
FLOOR PLAN			Sheet Title
			Plan #
			55798 1

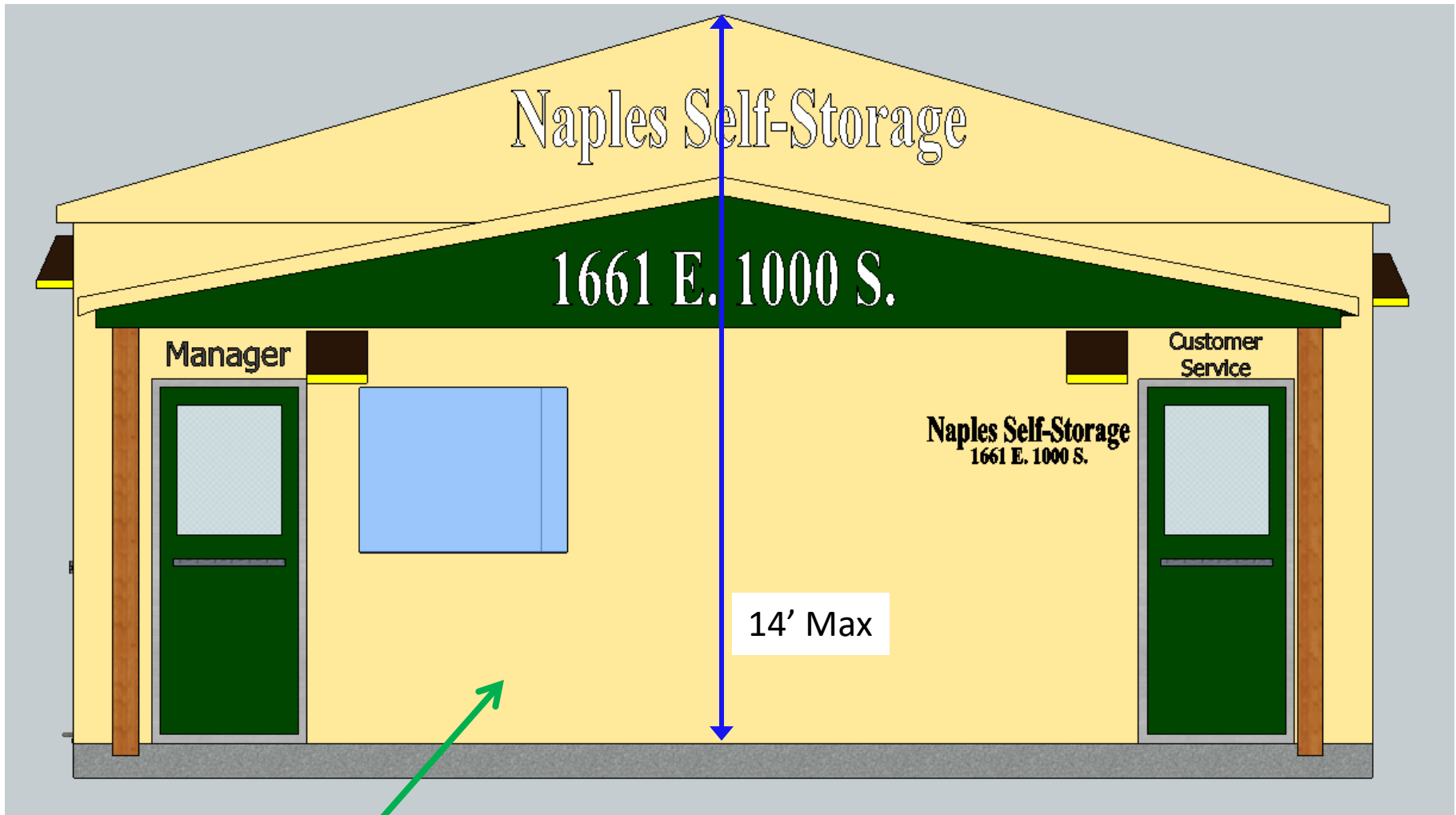
Overall Dimensions



Overall Dimensions



Office Elevations

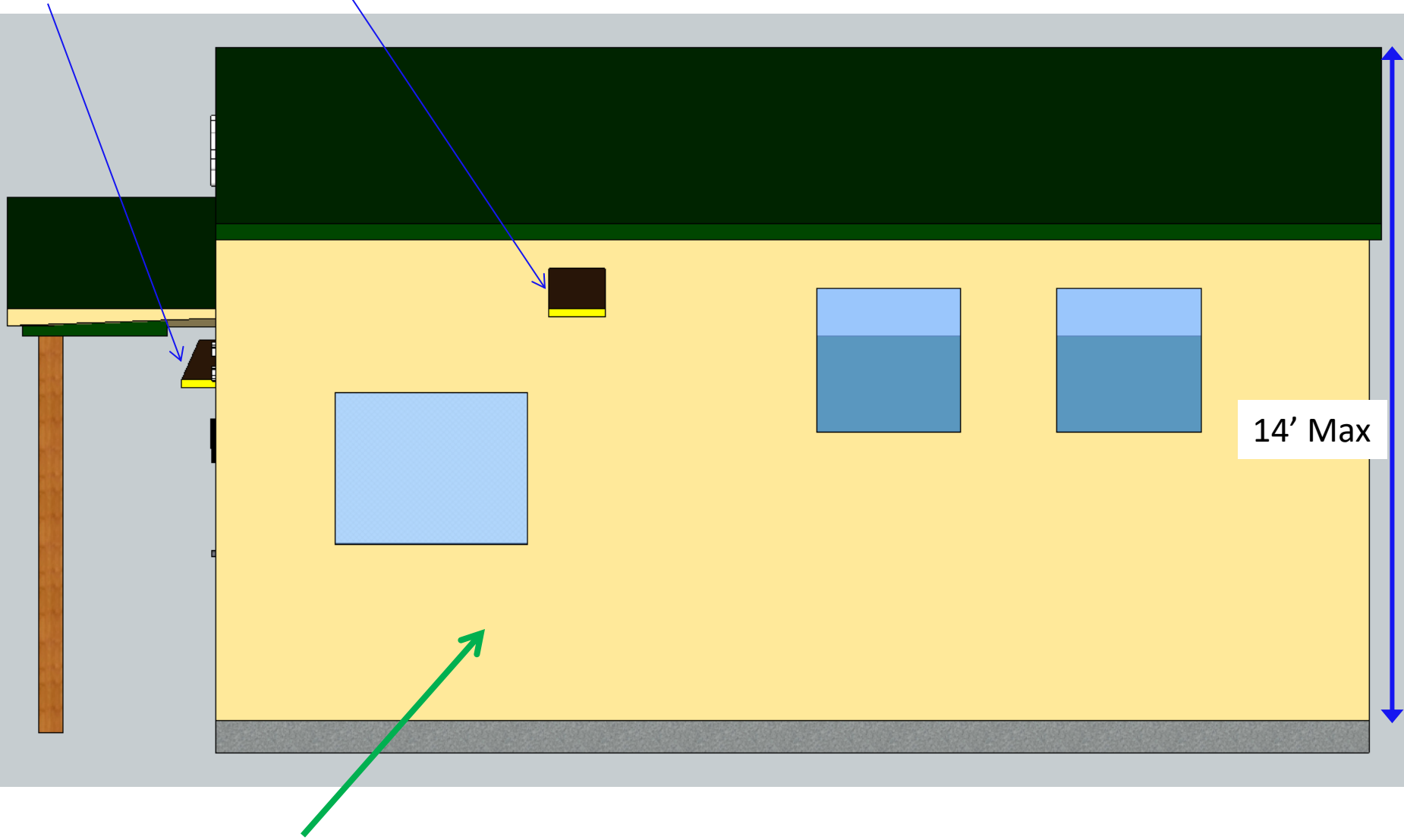


Wood Frame Construction

Stucco Exterior

Office Elevations

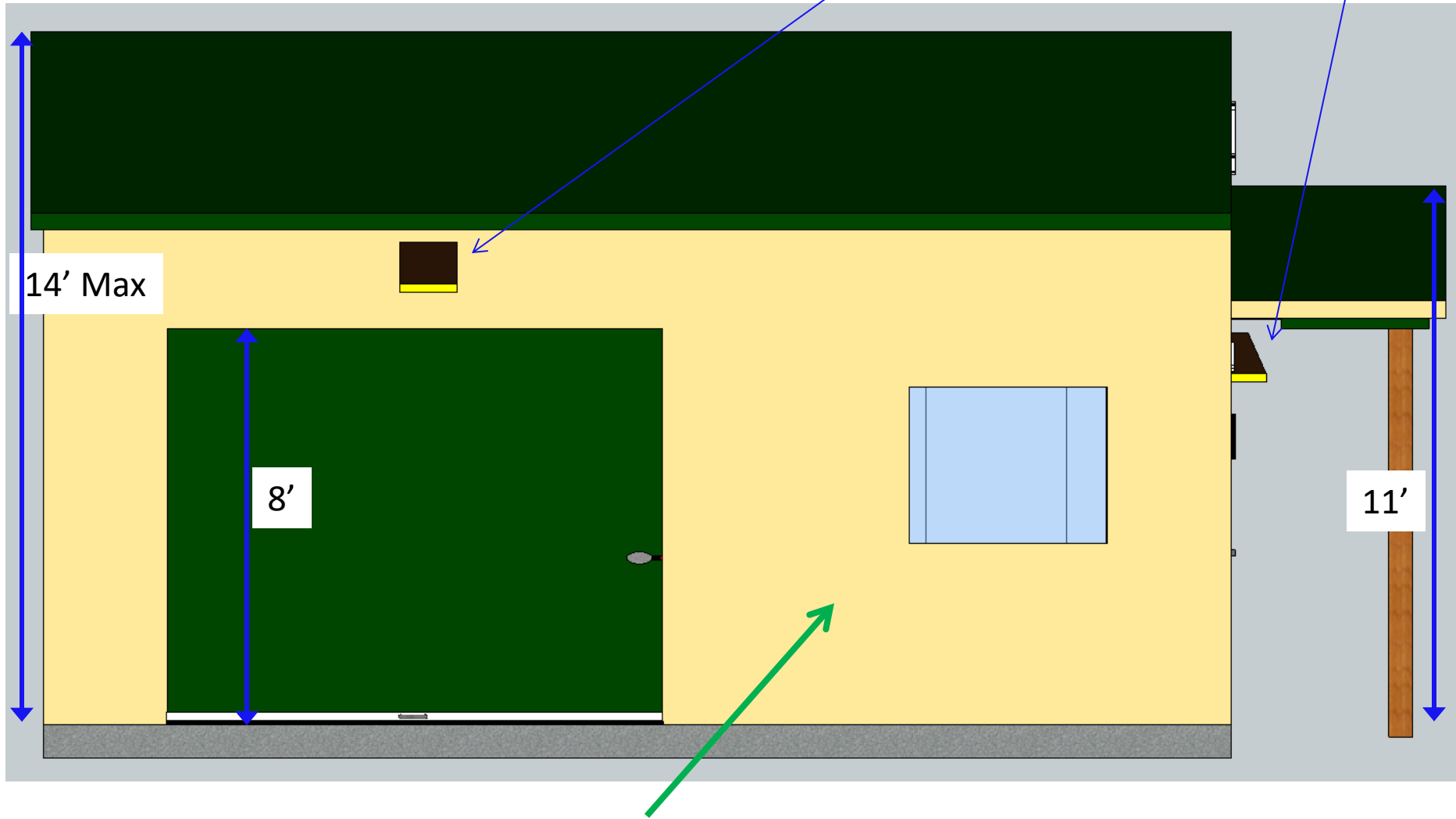
2689 Lumens LED wall
mounted fixture or equivalent



Stucco Exterior

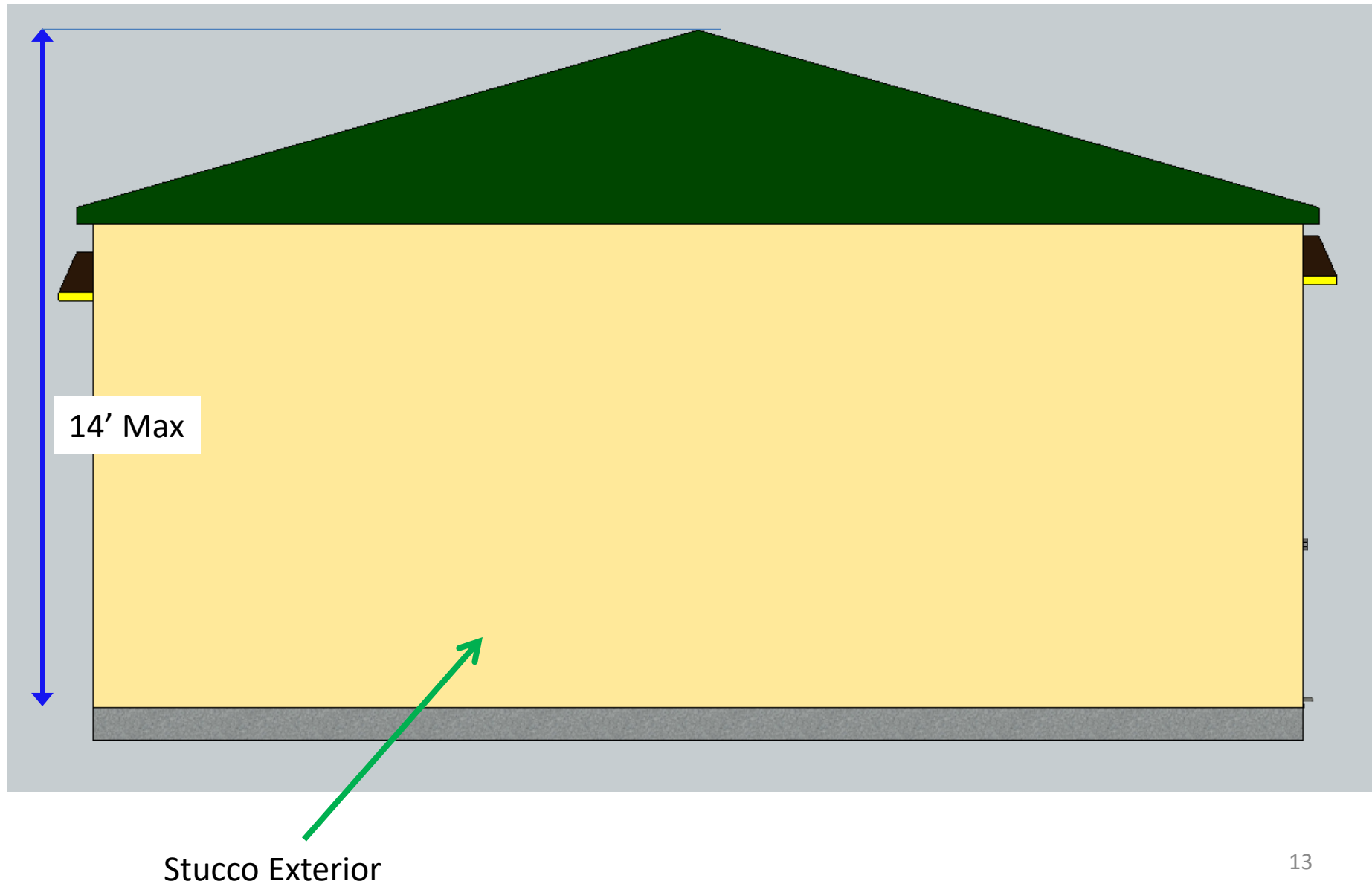
Office Elevations

2689 Lumens LED wall
mounted fixture or equivalent

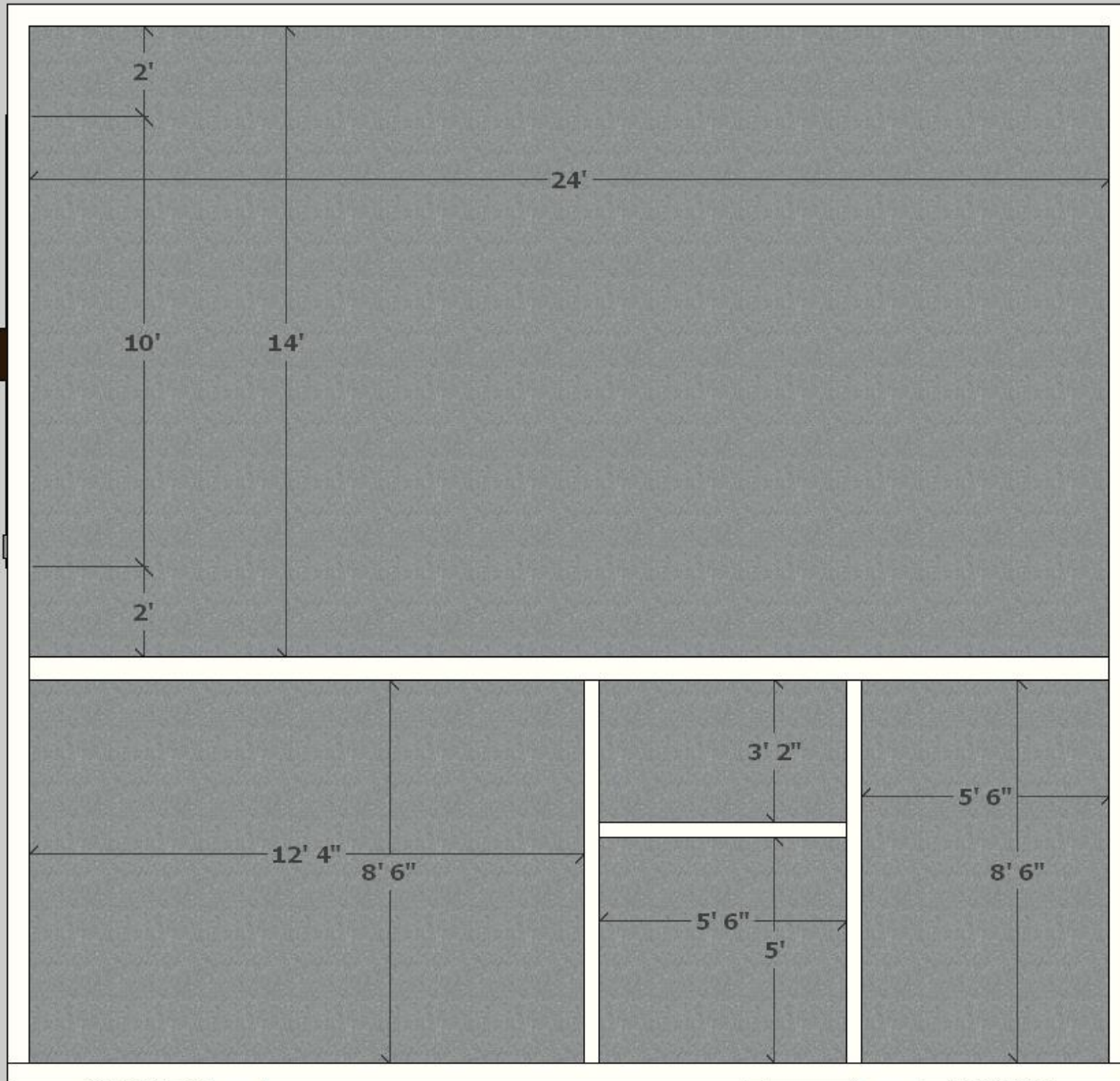


Stucco Exterior

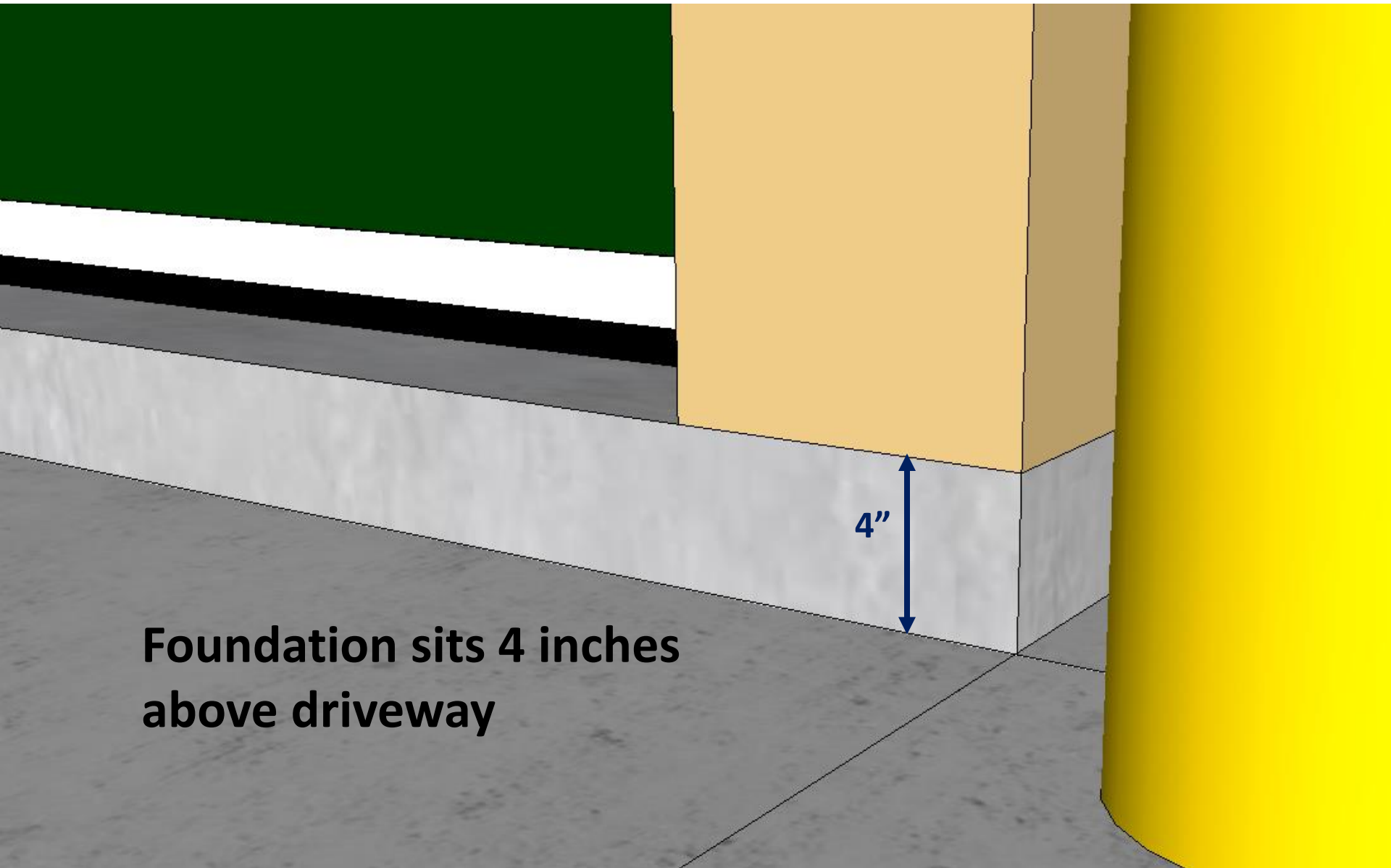
Office Elevations



Office Floor Plan

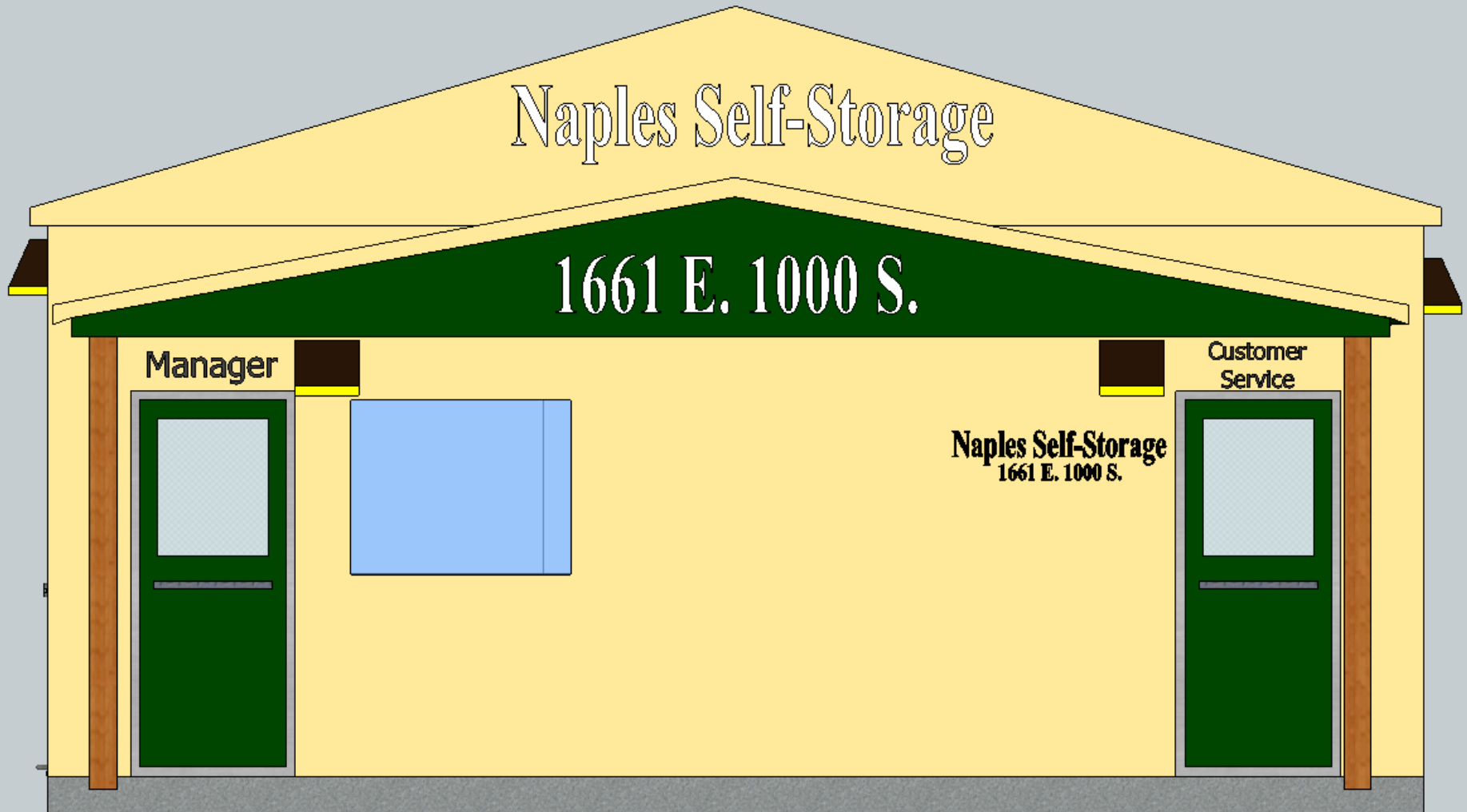


Raised Foundation



Signage Plan

Lighted facility name and address on building roof and porch.
Smaller black lettering on building front.





Item No: **3**

MEMO TO: Planning Commission FROM: Staff Date: April 21, 2022	Subject: The Farm Subdivision Extension Request
Staff Recommendation: 	
Background: Ray Nash is requesting a one-year extension for The Farm Subdivision 2014 Phase 4. Current extension expires June 18, 2022 Previously granted extension requests: -The Farm 2014 Phase 4- June 18, 2021 -The Farm 2014 Phase 2- December 8, 2017 -The Farm 2014 Phase 2- December 8, 2016	
Options: ____ Bring back for further discussion ____ Approve extension request ____ Reject extension request	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

Naples City

Energy * Recreation * Family

Request for Extension

Note: All information requested on this application must be completed in full before any action will be taken.

Name:	Nash Family LLC	Parcel #(s):	Next phase will be 2014-5
Address:	13721 E Marina Dr Unit B	Date:	April 15,2022
Fax Number:		Email:	rlnash@mac.com
Property Address:	2050 E 1900 S Naples, Utah	Phone Number:	303-755-8096 720-666-0009 cell
Development/Subdivision Name:	The Farm Subdivision		

Date permit expires	June 22, 2022	Current Phase/plan:	The Farm Subdivision 2014 Phase 4
Date extension to start:	June 27, 2022	Extension end date**:	June 27, 2023
		**not to exceed 1 year	

State reason for extension:

Current building and economic conditions make it difficult to predict availability of materials, services and contractors. Therefore, timing of completion and budgeting for costs would be too risky to take right now. We plan to focus our efforts on sales of the remaining developed lots from earlier phases.

I, as an applicant to the Planning and Zoning Commission of Naples City, Utah, do hereby certify that all information listed on this application is true and do hereby acknowledge that any misrepresentation will result in the revocation of and approval granted.

	April 15, 2022.
Signature of applicant	Date

_____ Planning & Zoning Chairman	_____ Date
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Item No: 4

MEMO TO: Planning Commission FROM: Staff Date: April 21, 2022	Subject: Industrial Zone 02-26
Staff Recommendation: Bring back for further discussion	
Background: While researching in the Industrial Zone Chapter for a project, it has been found that previous proposed changes to the Industrial Zone chapter were not adopted. It is being proposed that a complete review of this chapter be completed for clarification, quantification, and organization.	
Options: ☐ Table to bring back at a future date ☐ Bring back for further discussion ☐ Bring back for public hearing	

Note: All proposed ordinance changes included in this document are NOT considered legal until legislative action has occurred and are accepted by Naples City Council in a public meeting by ordinance.

CHAPTER 02-28 INDUSTRIAL ZONE

Zone I-1 Light Industry

~~Zone I-2 Heavy Industry~~

Section 02-28-001 Objectives and Characteristics of Zones

Section 02-28-002 I-1 Zone, Purpose and Intent

[Section 02-28-003 Definitions](#)

Section 02-28-004 I-1 Zone, Permitted Uses

Section 02-28-005 I-1 Zone, Conditional Uses

Section 02-28-006 Special Provisions

~~Section 02-28-007 I-2 Zone, Purpose and Intent~~

~~Section 02-28-008 I-2 Zone, Permitted Uses~~

~~Section 02-28-009 I-2 Zone, Conditional Uses~~

Section 02-28-010 Area, Frontage, Location and Height Requirements

~~Section 02-28-011 Landscaping Requirements~~

Section 02-28-012 Project Area Description and Design Theme

~~Section 02-28-013 Definitions~~

~~Section 02-28-014 Commercial Guidelines~~

Section 02-28-015 Design Goals

Section 02-28-016 Design Framework

Section 02-28-017 General Provisions

Section 02-28-018 Circulation Guidelines

Section 02-28-019 Site Planning Guidelines

Section 02-28-020 Site Grading and Drainage Guidelines

Section 02-28-021 [Landscaping Requirements](#)

[Section 02-28-022 Architecture Guidelines](#)

Section 02-28-023 Exterior Lighting Design Guidelines

Section 02-28-024 Sign Design Guidelines

~~Section 02-28-025 Typical Landscaping, Road Class, and Buffering Examples~~

Commented [HL1]: Moved where it fit better with the surrounding sections

Commented [HL2]: Moved to the top

02-28-001 OBJECTIVES AND CHARACTERISTICS OF ZONES

The I-1 light industrial zone covers that portion of the city which is suited for light and medium intensity industrial development. In an effort to give some protection to nearby residential and commercial zones, certain types of industrial uses are not permitted in the I-1 zone, such as industries which are hazardous or are offensive, due to excessive odors, noise, vibration, dust, or other emissions.

~~The I-2 heavy industrial zone is that area of the city better suited for heavy industrial use. Heavy industrial uses are of more intense nature than those uses permitted in the I-1 zone, and often are accompanied by noise, odors, and other factors, which make the uses objectionable near residential and commercial zones.~~

Commented [NC3]: Do we want Heavy Industrial within our small city? As conditional uses?

02-28-002 I-1 ZONE, PURPOSE AND INTENT

Commented [NC4]: Combine with objectives & characteristics?

The objective in establishing the I-1 Industrial Zone is for the purpose of providing space for light manufacturing and fabrication of goods in a controlled and aesthetically desirable environment. To provide areas for the promotion of new industry for the city is to accommodate basic industries which tend to increase the employment and economic base and which market their products on a wholesale basis, primarily outside of the local economy. The zone is characterized by attractively designed buildings, landscaping, and off-street parking. Developments in these areas shall have a park-like appearance which blends the buildings and manufacturing areas into the landscaped areas.

~~02-28-003 (Add Definition Section)~~ 02-28-003 DEFINITIONS¹

Commented [NC5]: Keep definitions in definitions section for consistency

[See Chapter 02-02 Definitions](#)

02-28-004³ I-1 ZONE, PERMITTED USES

A The following buildings and uses of land shall be permitted in the I-1 zone, upon compliance with the requirements of this ordinance:

1. Agriculture, livestock, and buildings and structures related to agriculture and the raising of livestock, except livestock feed yards containing more than one hundred head, and hog farms containing more than thirty hogs;
2. Agricultural farms smaller than 20 acres;
3. Automobile repair shop;
4. Caretaker dwelling, incidental to the use of the land for industrial purposes;
5. Carpenter, electrical, plumbing or heating shops;
6. Concrete mixing and batching plants;
7. Cesspool cleaning equipment and storage;
8. Dry Cleaning plant;
9. Farm and construction equipment sales, rental and service establishments;

¹ Amended 08/24/2017

10. Fertilizer and soil conditioner manufacture and processing and sales of animal products;
11. Feed, cereal and flour mill;
12. Food processing, wholesale, excluding fish, meat, vinegar, yeast and fat;
13. Foundry, light weight casting, nonferrous without causing odors or fumes;
14. Furniture upholstery shop;
- [15.](#) Honey extraction and processing;
- ~~15.~~[16.](#) [Hotels and Motels](#)
- ~~16.~~[17.](#) Ice manufacture and storage;
- ~~17.~~[18.](#) Insulation sales and services;
- ~~18.~~[19.](#) Knitting mill;
- ~~19.~~[20.](#) Lumber yard;
- ~~20.~~[21.](#) Manufacturing establishments;
- ~~21.~~[22.](#) Machine shop, general;
- ~~22.~~[23.](#) Mining services;
- ~~23.~~[24.](#) Oilfield services;
- ~~24.~~[25.](#) Oilfield gas and oil extraction;
- ~~25.~~[26.](#) Pest control and extermination;
- ~~26.~~[27.](#) Plumbing shop;
- ~~27.~~[28.](#) Printing;
- ~~28.~~[29.](#) Publishing or lithography shops;
- ~~29.~~[30.](#) Rubber welding;
- ~~30.~~[31.](#) Sand blasting;

~~31.32.~~ Seed and feed store retail;

~~32.33.~~ Sheet metal shop and retaining, provided all operations are conducted within a completely enclosed building;

~~33.34.~~ Sign manufacture or sign painting;

~~34.35.~~ Storage of merchandise, materials, equipment, either inside or outside of buildings;

~~35.36.~~ Storage rental units;

~~36.37.~~ Transportation;

~~37.38.~~ Wholesale sales.

B The following uses shall NOT be permitted in the I-1 zone:

1. All industrial, manufacturing, and processing establishments of the following:
Animal byproducts, manufacture of explosives, acetylene, acid, alcohol, ~~or ammonia~~ or petroleum by products;

~~2. Residential (except caretaker dwellings); and Churches; Day-Care Nurseries; Schools;~~

~~2.3. Refineries~~

02-28-00~~54~~ I-1 ZONE, CONDITIONAL USES

The following uses may be permitted, with restrictions noted, when a conditional use permit has been ~~granted, in accordance with Chapter 8 of this ordinance;~~ issued by the Land Use Administrator.

The Land Use Administrator may call upon the City Review Committee to review a Conditional Use Application and site plan, to assist in verification of requirements listed in the land use ordinance.

The Land Use Administrator, at their discretion, may require a conditional use application to be reviewed by the Planning Commission.

~~1. Livestock feed yards in excess of 100 head, and hog farms in excess of 30 hogs.~~

~~2. Asphalt mixing plants, coal yards.~~

~~—Automobile wrecking and salvage yards with the following conditions:~~
1.

Commented [HL6]: From previous wrecking yard conditional use permits

- a. ~~when s~~Surrounded Shall be screened around the entire circumference of the storage yard by an eight-foot tall solid wall or sight obscuring fence so that the material stored in the enclosure cannot be seen from any public street adjacent to the yard. Fences may be a solid block or chain link with fitted slats, or other materials approved by the Land Use Administrator or Planning Commission.
- b. Wrecking and salvage yards may not border against any residential zone, commercial zone, or any single-family dwelling.
- c. Exterior lighting must be directed away from neighboring properties
- d. Must not use the public right-of-way for parking equipment, storage bin storage, unloading and loading scrap material, employee parking and/or doing business.
- e. Driveway from the city road shall be asphalt or concrete, or when approved by the city an alternate hard surface may be used to prevent tracking mud from business property to the city street.
~~—A minimum of 10" road base to be used for the driveway.~~
~~—Must not track mud from the business property on the City street.~~
- a. ~~Provide thirty parking spaces to be used by customers and employees.~~
- f. Establish an A minimum 15 ft. deep landscaping strip measured from back of sidewalk, along the frontage, excluding access driveways.
~~—20 foot deep landscaping strip.~~
- g. Maintain an approved stormwater retention plan to keep 100% of storm water retention on the property. :
- b. ~~h.~~ No Burning of any waste materials is prohibited.

~~3. Temporary dwellings for on-site employees of no more than two structures. Each structure may house no more than six persons. The temporary dwellings may exist for a period of time not to exceed one year. These dwellings must follow the requirements found in Chapter 02-30.~~

Commented [NC7]: Remove

~~4. Hotels and motels.~~

Commented [NC8]: Move to permitted uses

~~5. Bulk sales and storage of oil, fuel, and gas services chemicals products. Which do not produce a hazardous condition.~~

2.

3. Food Trucks, with the following conditions: —

- a. Shall be approved by the Tri-County Health Department
- b. Shall be inspected and approved by the Uintah Fire District
- ~~6.c. Shall obtain a Naples City Business License~~
- a. ~~Must obtain a Naples City Business License or provide a valid copy of a current Utah business license, a current health department food truck permit, a current approval from a fire and safety inspection and any other licenses or permits required by state or local authorities.~~
- a. Shall not operate on public streets where the speed limit exceeds thirty-five (35) miles per hour.
- b. Must operate in parking lots or parking areas. Shall not operate from roadside.
- b. ~~Shall obey all parking and traffic regulations in Naples City.~~
- c. ~~The outdoor dining area shall not impede traffic, pedestrian, or emergency access circulation.~~
- d. ~~Shall not interfere with or limit pedestrian users' free and unobstructed passage.~~
- ~~e.a. Shall not operate on public streets where the speed limit exceeds thirty-five (35) miles per hour.~~
- f.e. ~~Shall not sell to any person standing in the roadway.~~
- g.f. ~~Trash containers shall be provided for the use of the business patrons.~~
- h. ~~All signs must be physically attached to the vehicle.~~

Commented [NC9]: List out requirements

4. Sexually oriented business.

- a. May not be located within 1000 feet of a school, church, or daycare.
- b. May not be located within 1000 feet of another sexually oriented business.
- c. May not be located within 1000 feet of an A1, P1, R1, R2, R3, RA-1, RA-2, or RS zone.

5. Storage Units

- a. A minimum six-foot high sight obscuring wall or fence shall be built around the storage area and be completed with the first phase of construction. The back of masonry storage buildings may act as a wall if adjacent to a commercial or industrial zone, provided that drainage does not flow onto adjacent parcels.
- b. No business may be conducted from any storage units, other than the business of leasing the storage units themselves.
- c. No water services may be provided to the individual storage units.
- d. Driveways and parking areas are to be paved with either asphalt or concrete, or when approved by the Planning Commission, an alternative hard surface may be used.

- e. A minimum 40 foot deep driveway is provided between the property line and the access of the facility.
 - f. A minimum 15 ft. deep landscaping strip measured from back of sidewalk, along the frontage, excluding access driveways.
 - g. Landscape shall be completed prior to the issuance of a Certificate of Occupancy.
 - h. Site lighting shall be provided, which does not spill over onto adjoining parcels.
- Exception

When adjacent to a residential zone or adjacent to a single-family dwelling, other landscaping conditions may be imposed to protect the aesthetics of the residential neighborhood.

6. Medical Cannabis² Pharmacy³

- a. Hours of operation shall be restricted to between 7:00 a.m. and 10:00 p.m.
- b. CCTV cameras must be installed and maintained to record the store and sales floor, storage rooms, and all angles of the building exterior; recordings shall be kept for a minimum of 72 hours.
- c. Meet state guidelines.

02-28-006 I-1 Industrial Zone Development Standards

All uses in the I-1 industrial zone shall comply with the following minimum requirements:

- 1. Setback measurements shall be taken from the building foundation wall to the lot line, exclusion of any property line which is located within the road right-of-way.
- 2. Building height allowed
 - a. minimum height 10 feet, maximum height 40 feet.
 - b. Alternate height may be recommended by the Planning Commission and approved by the City Council.
- 3. No storage is allowed within the front or roadside of a development.

02-28-012 DESIGN GOALS

The goals for development in Naples City are:

- to ensure that future urban form and development patterns are sustainable,

² Added 11-12-2020

³ Added 5-27-2021

that the architectural form of buildings relates to both pedestrians and automobiles, and that new development is in physical and visual harmony with the natural environment.

- Develop corridors to connect people to commercial areas; these may be streets, pathways, or recreational corridors.
- Develop mixed use, commercial and business zones that have distinct and identifiable characters.
- Preserve and create open space that respects existing topography and minimizes the impact of development on the natural environment.
- Design urban space and buildings that create or contribute to a sense of community.
- Build lasting infrastructure, architecture and landscape architecture.

02-28-013 DESIGN **FRAMEWORK**

Commented [NC10]: Move to help better flow

A Preface

This section defines design themes for Naples City that uphold the preservation of the natural environment and the heritage of rural and small city in Uintah County, and establishes design principles that support innovative architecture, landscape architecture, and site planning.

B Design Vision: The Natural Environment Theme

The aesthetic tenor for Naples City is rooted in the heritage of rural Eastern Utah. Drawing from the area's historic agricultural Land base, the design reveals the traditional uses of the region reinterpreted for today. The site was long used for agricultural farming and still displays agrarian oriented patterns on the land. Accordingly, drainage channels, horse and cattle pastures, orchards, and irrigation channels are defining forms for the new community.

The following forms are central to the vision for Naples City:

1. Regional historical planting patterns such as horse and cattle pastures, orchards, and alleys shall be promoted as landscape elements
2. Southwestern architecture shall be promoted within Naples City. The southwestern theme is comprised of a combination of earthen tones, exposed wood/lumber, columns, and stucco or rock finishes. Flatter roof lines copy the surrounding mountains and arched windows and doors are set apart with strong framing and supports.

3. The existing topography shall direct design; land use patterns shall respect and complement the land forms. The character of the natural site must be incorporated into the design such that the geometric forms of the built environment and the natural forms of the land form a complementary relationship.

4. Environmentally sensitive areas shall be protected from encroachment or inappropriate use.

02-28-00765 SPECIAL PROVISIONS—

1. Fencing

a. Where any industrial use adjoins any lot in a residential ~~zone~~ use, the owner of the industrial property shall provide and maintain along such property line a minimum six foot ~~high~~ ~~aseetically~~ aesthetically pleasing, vision obscuring, privacy fence or wall of a neutral color.

b. Minimum six-foot high sight obscuring wall or fence is built around storage areas and is to be completed with the first phase of construction. The back of masonry storage buildings may act as a wall if adjacent to a commercial or industrial zone, providing that drainage does not flow onto adjacent parcels.

c. Fence shall provide ~~with~~ a minimum 90% fill to afford privacy for the residential dwelling.

d. For any fencing, a combination of elements should be used including solid decorative masonry walls, berms, landscaping, vinyl, wood, or chain-link fence with full fitted slats.

e. The fence shall be installed so as not to create a safety hazard for vehicular and pedestrian traffic.

f. Where the Planning Commission makes a finding that such a fence is not necessary, or in the best interest of the public, the Planning Commission may alter or waive the fence requirement. If a party disputes the findings of the Planning Commission, they may appeal the decision to the Naples ~~City Council~~ City Appeals and Variances Hearing Officer.

Commented [HL11]: Do you want to change it to "residential use"?

2. All outside parking area shall be lighted during the evening business hours. All lights shall be directed away from adjacent residential areas.

3. Any use listed as a permitted use in the C or C-1 commercial zones, shall be a permitted use in the I-1 industrial zone, except for churches and schools, which are not permitted. ~~Hotels and motels are only permitted conditionally (see 02-28-004 #5).~~

4. Curb, Gutter, and Sidewalk

It is the intent of Naples City that all developed property have curb, gutter, sidewalk, and street paving along the public road frontage.

- a. The design for curb and gutter in Industrial zones shall be high-back. Modified high-back shall only be allowed where there is no sidewalk.
- b. Sidewalk shall be minimum 5 feet wide, 4 inches thick. Driveways shall be a minimum 6 inches thick.
5. All buildings having an exterior wall or façade fronting a public street shall have a minimum of 5% architectural treatment of brick, glass, wood, stucco, stone, or any combination thereof.

~~02-28-0076 — I 2 ZONE, PURPOSE AND INTENT~~

~~The I-2 Heavy Industrial Zone is that area of the city better suited for heavy industrial use. Heavy industrial uses are of a more intense nature than those permitted in the I-1 zone and are often accompanied by noise, odors, and other factors which make the uses objectionable near residential and commercial zones. The I-2 zone shall not be designated if adjacent to any residential or park zone.~~

Commented [NC12]: Are these uses we actually want in our small city?

~~02-28-0087 — I 2 ZONE, PERMITTED USES~~

~~The following uses shall be permitted in the I-2, Heavy Industrial Zone:~~

- ~~1. Any use listed as permitted in the I-1 zone;~~
- ~~2. Petroleum refining and petroleum crude oil storage;~~
- ~~3. Rock crushing;~~
- ~~4. Agricultural farms of 20 acres or more.~~

~~02-28-0098 — I 2 ZONE, CONDITIONAL USES~~

~~The following uses may be permitted, in accordance with Chapter 8 of this ordinance:~~

- ~~1. Manufacture of explosives, and other chemicals and products of an objectionable or dangerous nature, including insecticides;~~

~~2. Ore smelting and refining;~~

~~3. Sewage treatment facilities and lagoons;~~

~~4. Other uses which create a substantial amount of odor and noise, in excess of those levels customary to most industrial operations;~~

~~5.1 Sexually oriented business.~~

02-28-00109 AREA, FRONTAGE, SETBACKS, LOCATION, AND HEIGHT REQUIREMENTS

There shall be no area or height requirements in the ~~I-1 and I-2~~ Industrial zones, except that an area sufficient to accommodate setbacks, off-street parking, loading and unloading, and vehicular access shall be provided.

Minimum lot width: 80 feet, Measured 30 feet back

Front Setback: 30 feet minimum

Side Setback: 10 feet minimum

Rear Setback: 10 feet minimum

Corner Lot Side Setback: 30 feet minimum

Lots shall have a minimum of 80 feet of frontage along the road on which they are located.

~~Location Requirements~~

~~All buildings and structures shall be set back at least thirty (30) feet from the right-of-way line of public streets, and from all residential zone boundaries.~~

Commented [HL13]: Moved to pg 27 where the setback requirements are.

02-28-0100 LANDSCAPING REQUIREMENTS

The Developer shall provide a plat design of the meaningful landscape and its maintenance. The components, layout, arrangement, and size shall be approved by the Planning Commission.

Meaningful landscaping is grass, trees, shrubs, xeriscape, etc., in an appealing layout and size arrangement approved by the ~~Planning Commission~~ City Review Committee. Landscaping shall be maintained by the property owner. The minimum area requirements for landscaping are as follows:

1. A minimum ~~1520 foot deep strip of~~ landscaping strip ~~e~~ measured from back of sidewalk, along the frontage, ~~excluding access driveways.~~;

OR

2. A minimum of 5% of the total lot area landscaped near the frontage. In no case shall the development required to exceed 5% landscape of the parcel. This does not prevent the developer, at their discretion, from proposing a larger landscaped area.

Exception: When adjacent to a residential zone or adjacent to a single-family dwelling, other landscaping conditions may be imposed to protect the aesthetics of the residential neighborhood.

At intersections of streets, driveways, sidewalks, etc., landscaping shall be limited to a height of not more than 4 feet above street level within the area required for minimum sight distance.

Driveway from the city road shall be asphalt or concrete, or when approved by the city an alternate hard surface may be used to prevent tracking mud from business property to the city street.

The design for curb and gutter in Industrial zones shall be high-back. Modified high-back shall only be allowed where there is no sidewalk.

A bond or other financial guarantee shall be required, guaranteeing landscaping and other improvements, at the ~~Planning Commission's option~~ Land Use Administration discretion.

~~The design for curb and gutter in Industrial zones shall be either high back, or modified high back, but m~~Modified high back shall only be allowed where there is no sidewalk.

A Purpose and Intent

The landscape guidelines are intended to establish criteria necessary for the development, preservation and enhancement of open space in Naples. A well designed and maintained landscape will enrich buildings and create a unified and visually pleasing character for the entire community.

B Concept

The landscape concept for Naples City derives its character from the rural Utah landscape. This landscape possesses a rustic quality that blends with the

agricultural tradition. Reflecting these two aspects, the cultivated landscape at Naples City is divided into two distinct categories: the native landscape and the agrarian landscape.

C The Native Landscape

The native landscape consists of native plant materials currently present in the area and those used for re-vegetation after development construction. The native landscape will occur in designated open space areas within Naples City. No water other than natural rainfall and snow runoff will be applied to these landscapes. Efforts shall be made to minimize disturbance of these areas from adjacent roadways and development parcels. Native plants shall be used in groupings similar to those seen in nature to facilitate visual integration of the community with the surrounding terrain.

D The Agrarian Landscape

An orchard-like landscape will be created in ~~areas that~~ the Highway 40 Corridor, because of ~~their~~ its visual prominence or intense use, are important elements in the community. ~~These areas include village cores, the business park, formal parks, squares, commons, recreation facilities, entry gateways, and edges of major public roads.~~ Alleys will be used in conjunction with the orchard-style planting. ~~Trees to be used in these areas include crab apple, pear, cherry, or other ornamentals orchard trees.~~ Poplar varieties will be used to create windrows defining the orchard edges.

E Conserving Resources

In addition to utilizing agricultural elements, the landscape concept incorporates several ideas that are essential to its long term viability. First, landscape development will be efficient: resources will be concentrated to areas receiving the most intense human use such as parks and recreation facilities. Second, the landscape will be designed with the objective of reducing water requirements. Third, the landscape will be designed to minimize maintenance requirements. This will be achieved by limiting areas of irrigated turf and restricting use of high maintenance elements such as clipped hedges, etc.

~~**F Design Professionals**~~

~~Design and documentation of all site layout and landscape architecture shall be by a licensed landscape architect professional.~~

G General Requirements

Design and documentation of all site layout and landscape architecture shall be by a licensed landscape professional.

1. Landscaping in accordance with the approved plan shall be installed prior to obtaining a certificate of occupancy for the building except where seasonal limitations exist, in which case, the landscaping must be installed within 60 days from the time planting operations can be undertaken. Erosion control must be undertaken when seasonal conditions do not permit immediate planting.

2. All planting shall be per the ~~plant material list~~ [Planning Commission's approval](#).

3. The street concept has been designed to provide continuity throughout the development. Each developer is required to provide ~~street trees~~ and ground plane landscaping as per the ~~streetscape plan~~.

Commented [NC14]: Require street trees or quantify/clarify how many?

Commented [NC15]: Clarification for what the streetscape plan is

4. All areas not paved or built upon must be landscaped and, where necessary, irrigated. Large areas of gravel or mulch are prohibited. Use of water conserving trees, shrubs, and ground covers is required.

5. Areas to be developed in a further phase need not be landscaped or irrigated. They do, however, require a minimum application of a drought tolerant seed mix that must be established and properly maintained to prevent erosion. Weed control and periodic mowing of these areas is required.

6. All public rights-of-way must be landscaped and irrigated within one year of the ~~purchase of property~~ [final plat approval](#), whether or not development has begun.

7. The irrigation system must be below ground and fully automatic. Use a drip irrigation for trees and shrubs is encouraged. All back flow devices must be either underground or screened from view. Over spray onto hard capped areas should be minimized.

8. Each owner shall regularly maintain all segments of their property, keeping them in a neat and orderly condition, including the replacements of dead and unhealthy plant materials.

9. All landscape design must be approved by the ~~City~~ [Planning Commission](#).

10. All landscaping will be bonded or cash hold in escrow until completed.

H Landscape Criteria for Development Edges

Three -edge zones have been identified at Naples City: buffers between land uses and at development edges; and Naples City and US 40. A graduated transition between non-irrigated and irrigated landscapes is necessary for these areas.

1. Landscape Buffers Between Land Uses and at Development Edges

Perimeter buffers consisting of berms and plant groupings shall be used to provide a soft edge between different uses. A minimum 25 feet landscape buffer shall be provided around the perimeter of development enclave. This transition should be smooth and continuous. Retaining walls shall only be used in buffer situations if the grade is too steep for any other solution.

2. US 40

The parkway plants should reflect the native hillsides. Gentle earth mounding and native plant materials should be incorporated for transitioning and screening. Native Junipers or Pine or ~~listed~~ approved trees shall be planted in loose groves to preserve views. ~~(Clusters of formal orchard plants shall occur at all intersections.)~~

~~I~~ **Commercial Areas**

~~The four types of commercial zone will have complementary landscape treatments, yet each design shall be modified to reflect the scale and use intensity particular to the different areas.~~

~~1.~~ **Industrial Core**

~~The landscape character of the industrial cores shall be agrarian in form. Orchard style tree grids, windrows, special paving and lighting, and more water conserving plants are some of the elements to be used in these urban areas with a focus on trees and large shrubs.~~

Landscape Elements

~~1.~~ **Courts and Plazas**

~~Landscape development in the court and plaza areas shall include ornamental trees and shrubs, annuals and perennials, and public art. Special paving is recommended in pedestrian traffic areas.~~

2. Key Intersections

Treatment at key intersections and entry points shall include accent paving, bollards, signage, low walls, and ornamental/accent planting. Accent paving is also recommended to highlight pedestrian crossings across the road.

3. Landscape Transitions

Planting materials, grading, land forms, and landscape features shall be used to provide smooth transitions between landscape types. These transitions should be used to reinforce the soft edge of property lines. Site design of grading, land forms, walks, walls, fences, paths, roads and irrigation systems should establish and maintain these transitions.

~~4. Streetscape Landscaping~~

~~The planting of street trees is required for each property. A streetscape tree design has been provided to ensure continuity throughout the development.~~

~~5~~4. Service and Utility Areas

The use of low walls, berms, and hedges is suggested to aid in screening loading docks and service areas. See Site Planning section for further details.

~~6~~5. Plant Materials Standards

Planting materials used shall meet the minimum standards established by the American Association of Nurserymen, as published in the “American Standards for Nursery Stock”.

~~7. Site Furnishings~~

~~A wide variety of site furnishings may be utilized on any particular site. Selection of these furnishings shall require approval by the Planning Commission. The terms “site furnishings” is intended to cover at least the following items: shelters, fences, walls, water features, benches, trash receptacles, bicycle racks, telephones, flagpoles, lighting, and security fencing.~~

02-28-011 PROJECT AREA DESCRIPTION AND DESIGN THEME “~~SOUTH~~ WESTERN EUROPEAN DESIGN”

Located in the dramatic Uintah Basin, Naples City is a mix of residential, commercial, and industrial adapted to the native landscape of Ashley Valley. The aesthetic tenor for the development is rooted in the heritage of the Basin. Drawing from the area’s historic agricultural land base, the design reveals the traditional uses of the region, reinterpreted for today. Elements such as orchards, horse pastures, drainage channels, and irrigation channels have become defining forms for the community. The mingling of the native context with modern

Commented [NC16]: Is this section useful? Still in our vision? Necessary? Does it limit growth?

vernacular construction allows for contemporary living in a city and country style. The intertwining of environmental needs with developer constraints results in compact development preserving agricultural lands, and open areas.

The interpretation of the historic landscape surrounding Naples City blends the ideas of new urbanism with the natural western landscape. The linear and gridded forms of the landscape elements are recreated in each commercial area. Using a modified grid to structure the community allows for preservation of natural drainage channels while maintaining clear orientation and circulation. Short blocks, pedestrian ways, narrow streets with detached walks, regularly planted street trees, defined setbacks, and parks define the human scale for the community.

The elements of development shall emphasize greening the City by increasing buffering and landscaping requirements. The developments shall be walk-able and transit-oriented. We should not allow a strip mall with a sea of asphalt out front. Instead provide small wooded areas as buffer zones and locate parking areas behind or to the side of retail establishments with sidewalks and attractive streetscapes in front.

The street design reduces vehicle travel speeds and encourages pedestrian activity. The planning process involved city officials and community leaders in negotiating narrower street standards than those found in nearby communities. The design structure of each development promotes commercial, and retail to encourage a retail environment through variable commercial types and land uses.

~~02-28-00312 DEFINITIONS⁴~~

~~See Chapter 02-02 Definitions~~

~~02-28-013 COMMERCIAL GUIDELINES~~

~~These commercial guidelines address those physical elements of urban development that contribute to overall character, including built form, architectural style, streetscape, landscape architecture, parkland and open space, parking, service areas, signs, lighting and grading. The guidelines provide prospective developers with a clear statement of the design goals and objectives and development requirements for the Commercial/Retail Development. This framework will be used to create cohesive commercial zones through high quality design and construction. The guidelines are a tool for the development of site and building plans that will be submitted to the Planning and Land Use Commission.~~

~~The commercial areas are divided into four types: 1) mixed-use village cores, 2) commercial village cores, 3) business park, and 4) satellite commercial. The~~

Commented [NC17]: Move toward beginning

⁴.Amended 08/24/2017

design will maintain visual continuity and ease of movement between residential, village cores, commercial parcels, and business parks.

02-28-0124 DESIGN GOALS

The goals for development in Naples City are:

- to ensure that future urban form and development patterns are sustainable, that the architectural form of buildings relates to both pedestrians and automobiles, and that new development is in physical and visual harmony with the natural environment.
- Develop corridors to connect people to commercial areas; these may be streets, pathways, or recreational corridors.
- Develop mixed-use, commercial and business zones that have distinct and identifiable characters.
- Preserve and create open space that respects existing topography and minimizes the impact of development on the natural environment.
- Design urban space and buildings that create or contribute to a sense of community.
- Build lasting infrastructure, architecture and landscape architecture.

02-28-0135 DESIGN FRAMEWORK

A Preface

This section defines design themes for Naples City that uphold the preservation of the natural environment and the heritage of rural and small city in Uintah County, and establishes design principles that support innovative architecture, landscape architecture, and site planning.

B Design Vision: The Natural Environment Theme

The aesthetic tenor for Naples City is rooted in the heritage of rural Eastern Utah. Drawing from the area's historic agricultural Land base, the design reveals the traditional uses of the region reinterpreted for today. The site was long used for agricultural farming and still displays agrarian-oriented patterns on the land. Accordingly, drainage channels, horse and cattle pastures, orchards, and irrigation channels are defining forms for the new community.

The following forms are central to the vision for Naples City:

1. Regional historical planting patterns such as horse and cattle pastures, orchards, and alleys shall be promoted as landscape elements

2. Southwestern architecture shall be promoted within Naples City. The southwestern theme is comprised of a combination of earthen tones, exposed wood/lumber, columns, and stucco or rock finishes. Flatter roof lines copy the surrounding mountains and arched windows and doors are set apart with strong framing and supports.

3. The existing topography shall direct design; land-use patterns shall respect and complement the land forms. The character of the natural site must be incorporated into the design such that the geometric forms of the built environment and the natural forms of the land form a complementary relationship.

4. Environmentally sensitive areas shall be protected from encroachment or inappropriate use.

C Commercial Development of Naples City

There are two types of commercial zones within Naples City: C, which is associated with downtown, and C-1 which is non-downtown commercial. There is also an Industrial Zone (I-1). Each will provide a set of uses and facilities to serve the residents of Naples and the larger region. The following tenets will guide commercial and industrial development:

1. Create commercial corridors (commercial village cores) that maximize regional marketing potential afforded by high visibility yet maintain cohesion with adjacent properties and village centers.

2. Create a business park that will attract heightened technology, research and development firms.

3. Create and support the industrial areas that allow storage, manufacturing, and business operations.

D Urban Design

Within all three commercial zones, buildings should relate to one another through scale, form and material, and should be appropriately scaled for pedestrian activity. Creating a relationship between the street, open space, and public amenities is critical to the overall character of Naples City. To this end, the following design precepts shall guide the development of the commercial zones:

1. Within the mixed use village cores, locate buildings adjacent to the street. The bulk or mass of buildings should establish a consistent streetscape that defines a recognizable street edge.
2. Building masses should be scaled to integrate with neighboring properties, particularly where dissimilar land uses abut.
3. Provide open space to accommodate active public life. These include city squares, village greens, pocket parks, and urban plazas.
4. Maintain a well-designed transition between open spaces and developed area. —
5. Where appropriate, use formal street scape treatments such as parkway strips between street and sidewalk, regularly spaced canopy trees, and special paving to denote pedestrian zones.
6. Establish gateway features at key intersections of the various commercial areas. These elements may include entrance plazas, fountains, tree bisques, special pavement treatments, monumentation, or public art.
7. Establish a series of vehicular and pedestrian nodes designed to enhance points of convergence and concentration of activities.
8. Provide direct vehicular access to specialty retail storefronts through on street diagonal and parallel parking.
9. Break up parking areas into smaller units in order to reduce the walking distance to storefronts and other commercial activities.
10. Require reciprocal cross access between parcels in order to minimize multiple entrances and curb cuts.
11. Promote a mixture of daytime and evening uses in order to concentrate shared parking arrangements and to increase opportunity for 24hour activity in the commercial zones.
12. Establish an off street open space/greenbelt link between commercial zones and adjacent neighborhoods and public facilities.
13. Use detached sidewalks whenever possible throughout the City.
14. All commercial development is encouraged to dedicate 1% of building cost for public artwork: fountains, bell tower, plaza w/colonnades and benches” to be located at or near the building or within public areas.

CE Industrial Cores Highway 40 Corridor

Preface

The ~~industrial cores are~~ Highway 40 Corridor is in high demand along the US 40 corridor and the airport area. These areas are used for business administration, material and equipment storage, and industrial manufacturing. Prominent components of the design include prominent entries, strong frontal roof lines, upgraded fronts such as: stucco, cut stone, arches, that create a strong building character, and front and side lot landscaping. Evergreen and deciduous trees and large shrubs combined with other water conserving plants create the landscaping presence of the site.

The Highway 40 Corridor shall be defined as any building facing Highway 40

Commented [NC18]: Did we want to include the 500' that has been mentioned in previous meetings?

Permitted Uses:

Light Industrial
Temporary storage
Equipment and vehicular services
Food/dining

Metal building regulations

All buildings constructed of metal, having any exterior wall or façade fronting a public street shall have the exterior wall or façade of such building of such construction as to have a minimum of architectural treatment of brick, glass, wood stucco, stone or Masard after the South Western European Design. The exterior wall or façade of any metal building fronting upon any public street shall not have the appearance of a metal building.

Additional Permitted Uses in the Highway 40 Corridor:

Retail commercial
Office and related uses
Personal services
Food/dining
Health
Arts/cultural
Automotive certain auto uses
Childcare
Hotel/Motel
Grocery
Big box retail
Multifamily residential
Schools

Commented [NC19]: If we don't want industrial items in the industrial zone, should they be permitted in the first place?

F Special Permit Uses

The Planning Commission shall approve special uses within the Highway 40 Corridor. The prospective purchaser must submit plans and a detailed description of the proposed use. Approval or disapproval shall be based in part on the effect of the proposed use on adjacent properties. Special uses must be approved in writing by the Planning Commission.

02-28-0146 ~~GENERAL PROVISIONS~~ SUBMITTAL PROCESS

~~A~~ Conflict with Other Regulations

~~All development within Naples City planning area shall comply with Laws of the State of Utah and the United States Federal Government and be compatible with the intent of the codes and regulations of the City of Naples to the extent that in Naples City Commercial and Industrial Design Guidelines conflict with Design Guidelines that may be required by Naples City then the Commercial and Industrial Design Guidelines shall prevail.~~

~~B~~ Waivers

~~The Developer shall have the right to waive, at its sole discretion, any provisions of Naples City Design Guidelines as may be applied to any specific development plan, except for any provision that is mandated. The City and the Developer will need to mutually agree to waive a mandated guideline/provision. No such waiver shall be construed or held to be a waiver of any other provisions of Naples City Design Guidelines, or of the same provisions as to any other party.~~

~~C~~ Amendments and Supplements

~~Naples City, may from time to time with written notice to all owners of real property of Naples City, amend or supplement the Design Guidelines, at its sole discretion. Any such amendments shall be applicable to all development plans which are subsequently mutually approved by The Developer and the City.~~

~~DA~~ Approvals

~~Unless otherwise explicitly provided herein to the contrary, all approvals required under Naples City Design Guidelines Land Use Ordinance shall be in writing and may be granted or withheld at the sole discretion of the City Council. Any approval pursuant to these design guidelines does not constitute a warranty, assurance or representation by the Planning Commission and the approving party should have no responsibility by virtue of such approval.~~

~~BE~~ Design Review Committee Requirements

Design Review Committee

~~The Design Review Committee is established to assure current and future owners that the adopted covenants, codes and restrictions are being enforced and that the overall design theme~~

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will be adhered to by future development and the Planning Commission which has been established. The Planning Commission is responsible for reviewing plans for all development, including construction of any type, landscaping, lighting, signage, deed restrictions, reviewed by the Planning Commission to determine their compliance with the covenants and this document.

Design Review Procedure

All plans for construction must be submitted to the Planning Commission for approval. Staff review will take approximately 30 days per submittal. Action will take place no more than 60 days from the submittal of final working drawings. For a typical building project, 3 copies (one copy for owner, one copy for Planning Commission, one copy for Building Official) of the required information must be submitted. One copy shall remain on file with one copy to be returned to the applicant with Planning Commission comments.

Prior to the submittal, the applicant should arrange to obtain a copy of any available engineering, grading, utility, street and drainage plans.

C Submittal Process

There is a fourfive step submittal/approval process. These are:

1. Pre-applicationDesign Review Conference (Pre-Design review)
2. Concept Plan Review
32. Preliminary Review (Schematic Design review)
43. Final Review (90% Construction Documents)
54. Final Approval Prior to Certificate of Occupancy

The following sections describe the process for each step and the information required.

D Application Fee

An application fee must accompany the submittal; it shall be based on the following criteria:The applicant shall pay nonrefundable fees as required by the Naples City General Provision Fee Resolution for each step of the development process.

<u>Project Type</u>	<u>Fee Amount</u>
Industrial/R&D/Warehouse	\$250.00

E Pre-applicationDesign Review Conference

Prior to the formal submittal of a request for approval, an informal conference is recommended between the applicant and the Planning Commission. This conference will serve to acquaint the applicant with the overall context of Naples City as well as covenants and design guidelines. At the same time, the Planning Commission will become familiar with the applicant's development intent. Conceptual site plans and conceptual building drawings will aid in discussion at this conference, however; applicants are strongly encouraged NOT to prepare detailed schematic designs until after this conference.

Suggested material for discussion at the Pre-application conference includes;

1. General project concept
2. Specific uses proposed and intensity of use proposed (floor area/parking demand)
3. Proposed construction timing
4. Conceptual building size, massing, and site plan ideas.

F Concept Plan Submittal

~~Prior to submitting a preliminary plat, an Applicant shall submit an initial written concept plan” to the Land Use Administrator including a sketch plan of the proposed development in which the proposed development is sufficiently described to enable the Land Use Administrator to determine whether the proposed subdivision complies with the municipality’s and se ordinances, capital growth and General Plans, street plans and services. The Land Use Administrator shall advise the Applicant of possible problems with the proposed subdivision within 30 days after it has received the initial application including sketch plans. Approval of the concept plan shall not constitute approval of the “Preliminary Plan”. This section is mandatory, and an Applicant may not submit a preliminary plat plan in lieu of the concept plan. If disapproved, the Planning Commission shall express its reasons in writing to the Applicant.~~

GF Preliminary Submittal

~~This review covers conceptual site planning, architecture, and landscape architecture for the project. Review by the Planning Commission will not commence until all specified information has been submitted. The material must be submitted 21 days prior to a regularly or specially scheduled Planning Commission meeting. The material submitted should constitute schematic level design documents for architecture and landscape architecture. The required drawings are to be prepared by licensed design professionals. Based on the results of the pre-application conference, the following information shall be submitted by the applicant:~~

• Preliminary Site Plan (to include)

1. Site and context plan (immediately adjacent properties)
2. Site coverage data total property area
3. Required setbacks for buildings and parking areas
4. Building height
5. Pedestrian circulation
6. Vehicular access and circulation
7. Buildings, storage, loading and trash location areas
8. Parking areas with total spaces provided
9. Driveways, sidewalks, trash enclosures, and utility screening
10. Site lighting including fixture selection
11. Landscape plan including hardscape elements
12. Grading and drainage plan
13. Development phasing concept, if applicable
14. Geotechnical report if required by the Building Official

~~Note: the site plan(s) must show development of the entire property, including proposed future phases.~~

• **Preliminary Architectural Plans (to include)**

1. Building elevations (all sides)
2. Typical floor plans noting exterior dimension and total gross floor area
3. Notations explaining building materials, colors, and finishes
4. Special attention to screening of storage areas, mechanical equipment, loading docks and trash receptacles. —

• **Preliminary Landscape Architecture Plan**

1. Location of trees, shrubs, ground covers, berms, walls, fencing, etc.
2. Plants under consideration
3. Conceptual design of courts, plazas, terraces and other special features.
4. Delineate landscape theme areas: native, formal, naturalized, agrarian.

• **Project Data Information (to be included on the site plan)**

1. Name of Owner, Developer and/or Builder (as applicable)
2. Name of project
3. Name of Architect/Landscape Architect/Engineer
4. Proposed use
5. Development schedule
6. Total site area
7. Total building area (gross and net rentable as applicable)
8. Total landscape area
9. Identification of project phasing and phasing schedule
10. Required parking by code
11. Location and block number
12. Name, address and telephone number of person who will maintain communication with the Planning Commission. This should be a person who will have long term responsibility for the projects.
13. The zone in which the development is proposed
14. Setbacks as required by this code.
15. Landscaping.
16. A proposed building construction schedule to describe:

- Start of site preparation and building construction
- Building completion
- Landscape and site work completion
- Phasing and expansion plans
- Occupancy

Soil Controls

Provide complete information about any potential geologic problems within the development area including but not limited to expandable soils, potential slide or slough areas, high ground water, etc.

The Planning Commission shall determine from the concept plan review or the Preliminary Plat application the possible need for environmental impact analysis, which would take into account the soil, slope, vegetation, drainage and other geological characteristics of the site. If the site requires substantial cutting, clearing, grading or other earthmoving operations in construction of structures or roads in the proposed development or if geologic conditions warrant, the Planning Commission and/or City Council shall require the applicant to provide soil erosion and sedimentation control plans or stabilization plans and specifications prepared by a registered civil engineer.

H Final Application (Construction Drawings)

After preliminary approval, a final application must be submitted prior to final Planning Commission approval and/or issuance of a building permit. The material submitted should constitute 90% complete construction drawings for architecture and landscape architecture. The following information shall be submitted for the final application.

G Site Development Construction drawings (to show in addition to the Preliminary Application requirements):

1. Location and size of building/easements/utility locations
2. Curb cuts and access points for autos and service vehicles
3. Parking areas, islands, and drive aisles with number of spaces noted
4. Pedestrian circulation system
5. Loading area (location and design)
6. Trash enclosures (location and design)
7. Open space area
8. Finished contour grading/drainage plan with drainage structures and any drainage storage, storm water retention areas.
9. Storm water drainage calculations
10. Building pad elevations

Site plan shall be prepared on a topographic base map of 1 foot contour interval and 1" = 20' unless otherwise approved by the Planning Commission.

H Landscape Construction Documents to show:

1. Grading, water retention, retaining walls, rock work, and slope stabilization
2. Walkways, plazas, decks, walls, and fences (type, details, materials, and location)
3. Trees, shrubs, ground covers, grasses and mulches; indicate type, size and location.
4. Location and dimensions of berms and other grading elements
5. Location and type of hardscape materials

6. Site furniture: benches, fountains, kiosks, trash receptacles, flag poles, etc.
 7. Irrigation plan including line size, locations, valves and controllers
 8. Materials list, including type, size, quantity, and specification of all materials.
- Landscape plan shall be prepared on a topographic base map of 1 foot contour interval; Scale: 1"=20' unless otherwise approved by the Planning Commission.

•———— **I ——— Building Construction Documents to show:**

1. Architectural site plan
2. Building floor plans
3. Exterior elevations, colored to accurately indicate the colors and materials to be used.
4. Building and wall sections specific to exterior elevations.
5. Sample board displaying actual samples of all exterior building materials and actual colors, as requested by the Planning Commission.

•———— **J ——— Signage and Lighting documents to show:**

1. Location of all information and directional signs
2. Location of all lighting fixtures by type, e.g., (area, building accent, security signage)
3. Signage system design: plan and elevation drawings to show the size, graphic layout, type face, construction details, materials, color and lighting method of all signs.
4. Exterior Lighting system design: plan and elevation drawings to show the size, construction details, material, and colors of all light fixtures.
5. Photometric analysis of lighting coverage

Plan shall be 1" = 20' unless otherwise approved by the Planning Commission.

•———— **K ——— Construction Schedule**

•———— **L ——— Pertinent Details and Specifications**

•———— **M ——— Written material to include tabulation, expressed in square feet and in percent of site coverage describing (minimum, required, proposed):**

- 1. Building coverage (footprint)
- 2. Landscaped open space
- 3. Driveways, parking, and loading areas.

———— This tabulation should total 100% of the site.

•———— **NI — Final Approval/Building Permit**

The final submittal will be reviewed by the City Council and approved, conditionally approved, or disapproved. Detailed reasons for its conditional approval or disapproval will be given in writing. Final approval and infrastructure acceptance is required prior to building permit issuance.

JO Construction Compliance Verification

The (City Council) shall have the right to review construction work in progress to evaluate compliance with the construction documents as approved. ~~All design changes, which affect the exterior conditions of the project shall be approved by the Planning Commission and can will be sent to City Council for final acceptance.~~

Construction Precautions:

~~In order to minimize soil erosion by water and wind, practical combinations of the following shall be used:~~

- ~~1. Expose smallest practical area of cleared land during construction~~
- ~~2. Temporary ditches, dikes, vegetation and/or mulching shall be used to protect critical areas exposed during development or construction.~~
- ~~3. Sediment basins (debris basins, desilting basins, or silt traps) shall be installed and maintained to remove sediment from runoff waters during development.~~
- ~~4. Permanent landscaping shall be installed as soon as practical after construction activities.~~
- ~~5. Temporary mulching shall be used for imported fill and other distributed areas subject to erosion, on construction projects over 6 months in duration.~~

~~All construction storage, equipment yards and on site trailer and San-o-lets shall be fenced or segregated in a manner approved by the Planning Commission and shall be located on the site in a way to minimize their impact on adjacent properties and public streets. Construction sites shall be maintained in a neat and orderly manner. All trash shall be kept in enclosed containers and emptied frequently.~~

~~Construction access shall be coordinated with and approved by the City Building Official. Special care shall be taken to protect existing curbs and pavements from damage and removal of site soil tracked onto streets.~~

~~At the end of the construction period, by phase, the applicant shall submit to the City Building Official reproducible copies of record drawings (as-built) showing the actual locations of all underground utilities and irrigation systems.~~

KP Modifications

~~If it becomes impossible or impractical to complete construction of a structure or a multiple structure project substantially in accordance (with design consistency determinations obtained pursuant to the Design Review Process), the owner of such structure or project shall notify the Land Use administrator of such impossibility or impracticality and shall submit to the Land Use administrator an alternative design that is as close as reasonably possible to the consistent or~~

approved design. The Planning Commission shall refer such proposed alternative design to the City within 30 days. The City shall treat such referral as a new application.

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02-28-0157 CIRCULATION GUIDELINES

A Preface

The circulation concept for Naples City is based on a hierarchy of roadways and pedestrian paths that connects ~~village cores~~, commercial cores, and business parks, to neighborhoods and surrounding development. The primary system consists of Highway 40 and other local collection roads. This circulation network is organized to allow for the greatest number of possible routes from one location to another. The street design and pattern is geared toward reducing vehicle travel speeds and encouraging pedestrian activity. Streets, alleys, walks, and trails are interconnected to facilitate access and minimize congestion.

B General Parameters

1. The circulation system shall respond to topography and environmental constraints. On relatively flat terrain, grid, or modified grid street patterns should be used to reinforce traditional neighborhood design (TND).
2. There shall be a clear separation between pedestrian and vehicular traffic.
3. Pedestrian circulation layout on any development site should take into account all offsite generators of pedestrian movement, such as open spaces, schools, retail centers, bus stops, etc.
4. Surface accent strips of brick or textured paving should be used to define pedestrian walkways.
5. Long straight streets shall be avoided. Human scale, narrower and shorter run streets shall be encouraged.
6. Streets and pathways should lead directly to visual anchors and/or focal points.
7. Direct connections shall be provided to public features (e.g., village cores, golf course), thereby reducing public traffic on residential streets.

C Roadway Hierarchy

The variously sized roads within Naples City are intended to accommodate traditional and alternative forms of movement within the community.

[See the Naples City Road Classification 2016.](#)
~~Vehicular Circulation System:~~

The road system is divided into a seven-part hierarchy: 1) four to six lane arterials; 2) two lane with turn lane community collectors; 3) two lane local streets; 4) two lane private byways in commercial areas. All roads will be built to minimum paved travel width, except for special provisions for commercial streets in the village cores.

Note: all roadway dimensions are to back of curb.

1. Four lane Arterials Parkways

Parkways are designed as four lane roads expandable to six lanes (total) and maintain 45 mph speeds.

2. Two lane Community Collector Class I

Designed to collect traffic from individual neighborhoods and carry it to the arterials, the two lane collectors have two, 12 foot drive lanes turn lane 14' and two, 8' parallel parking lanes within a 60 foot easement. Right of Way, (ROW). Additional features include 6 foot park strips, 5 feet minimum (6 ft. sidewalks would require 12 ft minimum fence setback) detached sidewalks within the ROW and a 10 feet minimum fence setback outside the ROW to allow for landscaping between the sidewalk and (optional) fence. Community Collectors Class I are designed for 25 mph.

3. Two lane Community Collector Class II

Similar to the Class I except with only one, 10 feet parallel parking lane. Drive land widths are increased to 16 feet and designed to accommodate speeds of 35 mph.

4. Two lane Private Internal Commercial Street with Diagonal Parking

The two lane private internal commercial street consists of two 12 foot drive lanes with associated 20 foot diagonal parking bays on each side of the street. Internal commercial streets will be characterized by traditional 10 to 12 feet adjacent sidewalks located within a 64 to 68 feet ROW.

5. Two lane Private Internal Commercial Street with Parallel Parking

Two lane private internal commercial street consists of two, 12 foot drive lanes with parallel parking bays on each side of the street and 10 to 12 feet adjacent sidewalks all located within a 60 to 64 feet ROW.

6. Alleys

~~Alleys are characterized by a minimum 15 feet wide paved section in a 24 feet right of way and provide access to service entrances in mixed use village cores. An additional two and a half feet setback shall be provided from the edge of pavement to the service door.~~

02-28-0186 — SITE PLANNING GUIDELINES

A — Preface —

~~Site planning for Naples City's commercial areas is intended to maintain visual consistency, ensure strong connections between neighborhoods and commercial area, and to create inviting and dynamic shopping zones. To this end, the site planning guidelines seek to: 1) control building placement; 2) establish building setbacks that promote dynamic streetscape; 3) site buildings to frame formal open spaces; 4) promote pedestrian connections that link commercial activity centers; 5) provide conveniently located access points and driveways; and 6) lessen the impact of visually disruptive elements such as service areas.~~

~~Requirements for parking, service, loading, special equipment, utilities, communication devices, and fencing and screening are similar for each commercial area. Specifications are at the end of this section.~~

BA Industrial Development (No Heavy Industrial)

Much of the area around the airport and US 40 will be developed into light industrial development. Each different development will have its own unique needs. The buildings will be primarily steel box with type facades including buildings with storage and parking areas in the rear and sides. Some visitor parking will be located in the front of the building and most employee parking will be located in the rear or side of the site. There is little pedestrian demand in these locations other than connectivity through the area along streets or through open space corridors.

Metal building regulations

All buildings constructed of metal, having any exterior wall or façade fronting a public street shall have the exterior wall or façade of such building of such construction as to have a minimum of architectural treatment of brick, glass, wood stucco, stone or Masard after the South Western European Design. The exterior wall or façade of any metal building fronting upon any public street shall not have the appearance of a metal building.

Spatial Structure

Commented [NC25]: Could this be combined with another section?

Commented [NC26]: Seems assumptive. Do we know this will be the case on most projects?

Variation in types and sizes building within the Industrial development is encouraged. Open space areas should be maintained within the areas at intersection and entryways. Roadway designs and intersections should anticipate large vehicular movements and access. Entrances to sites should anticipate large turning movements also. Building frontages should face the roadway with landscaping and slight berming.

Setback Requirements

Front setbacks should reinforce the streetscape edge and allow for a suitable sidewalk, parking, landscaping and streetscape amenities. Setback requirements shall be measured from the front, side and rear parcel boundary lines to the front, side and rear setback lines. Setbacks shall be measured from the right-of-way line of public streets, and from all residential zone boundaries. Setbacks for buildings and parking lots ~~from adjacent street rights-of-way~~ are:

Front setback	55'-30' minimum
Side setback	10' minimum
Rear Setback	30' minimum

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(At corner lots, the “front” side is the direction the major entry faces, or the direction the majority of the building mass faces.)

1. No storage or outside work areas shall be allowed within the setback areas.

2. No building or architectural feature shall penetrate the setback area without special approval of the City.

Commented [HL29]: Clarify

~~3. Setbacks from major parkways shall be an additional 20'.~~

~~4.~~ 3. All setbacks shall be measured from the foundation wall or outermost architectural feature, e.g. overhand, etc.

~~5.~~ 4. Setback requirements may be varied with approval from the City Council to accommodate special site and building conditions.

C Site Planning Requirements

Commented [NC30]: Combined with Special provisions?

This section delineates requirements for parking, service, loading, special equipment, utilities, communication devices, and fencing and screening. ~~for mixed-use village cores, commercial village cores, and the business park.~~

Parking Requirements

Parking areas should provide safe, convenient, and efficient access. They should be distributed to reduce overall scale of paved surface and to shorten walking distances between cars and buildings. No more than 50 percent of the off street parking area for the lot, tract, or area of land devoted to the large retail establishment shall be located between the front facade of the building and the abutting streets.

1. The parking lot and cars should not be dominant visual elements of the site. Large expansive paved areas located between the street and the building shall be avoided in favor of smaller multiple lots separated by landscaping and buildings.
2. Divide lots with planted buffers to create a series of smaller lots (maximum 200 cars).
3. Parking areas, drive aisles and lots adjacent to and visible from public streets shall be adequately screened from view by the using rolling earth berms and landscaping. Water conserving profiles are encouraged in the design of landscape berms. Low decorative screen walls, changes in elevation, landscaping, or combinations thereof should be used wherever possible.
4. ~~The business park site should be a self-contained development capable of accommodating its own parking needs.~~ The use of public streets for parking and staging of trucks shall not be allowed.
5. For security purposes, all parking spaces should be visible from the interior of the structures, especially entrances.
6. The layout of parking lots should work with the existing site grading. The use of terraced or stepped parking platforms is encouraged to break down apparent size of parking areas.
7. Minimize walking distance from furthest parking space to a building.
8. Locate vanpool and carpool spaces close to buildings to encourage their use.
9. Standard minimum parking space dimensions shall be 10'0" by 20'0" for full size cars and 8'0" by 16'0" for compact cars.
10. Minimum drive aisle width shall be 23'0".
11. Handicap parking required per ~~Naples City Development Code~~ [ADA Standards](#).

12. Parking is not permitted in landscape areas.
13. Parking lots shall have landscaped islands provided at maximum intervals of 23 spaces at retail uses and 15 spaces at office uses and at the end of all parking rows. These islands shall be a minimum width of six feet (6'0"). A continuous poured in place concrete curb shall be provided around landscape islands.
14. The use of parking bumpers in surface lots is prohibited.
15. A continuous poured in place concrete curb and gutter shall be provided around all parking and access areas. Curb may be used as a wheel stop with a maximum 5' overhang.
16. Roadways and primary drive lanes within parking lots shall be oriented so as to create an axis which terminates in either a building element, landscape element, or view corridor whenever possible.
17. Human services facilities (day care centers, schools, libraries, etc.) that regularly have more than 20 clients onsite and are located on an arterial, major collector, or parkway shall be served by a minimum of one passenger loading area.

~~18. Minimum parking requirements by land use are defined in the Naples Development Code, Appendix A (See parking requirements)~~

Service, Loading, and Special Equipment Areas

To minimize visual and noise impacts on adjacent uses, loading areas, storage areas, HVAC units, garbage receptacles, etc., shall be screened, recessed, or enclosed. Appropriate locations for loading and outdoor storage include areas between buildings, where more than one building is located on a site and such buildings are not more than 40 feet apart, or on those sides of buildings that do not have customer entrances.

1. Service and delivery activities shall be separated from primary public access and screened from public view either by being located underground or internal to structures, or by providing walls, fences, and/or landscaping of sufficient height and density. Roofs shall be required if the area is over viewed by residential uses.
2. Service, storage, and maintenance areas shall be constructed and maintained according to the following criteria:

- a. No materials, supplies, or equipment, including trucks or other motor vehicles, shall be stored onsite except inside a closed building or behind architectural screening, to prevent visibility from neighboring properties and streets.
 - b. All storage areas shall be located on the side or rear portions of buildings.
 - c. No service, storage, maintenance, or loading area shall extend into a setback area.
3. Loading areas shall be entirely onsite. Offsite vehicle loading shall not be permitted.
4. All service and loading areas shall be positioned so service vehicles will not disrupt traffic flow to or from the site.
5. ~~Commercial and~~ industrial buildings shall have one off street freight loading area for each 10,000 square feet of gross floor and/or outdoor storage area.
6. Loading areas should not be visible from street frontages. Loading docks shall be located on the interior side or rear yards (where the rear of a building does not face a public street) and concealed from public view.
7. Refuse collection areas shall be screened with solid perimeter walls using materials and colors compatible with those of the adjacent buildings.
8. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from abutting streets.
9. No area for outdoor storage, trash collection or compaction, loading, or other such uses shall be located within 20 feet of any public street, public sidewalk, or internal pedestrian way.
10. Delivery and loading operations should not distribute adjoining neighborhoods or other uses. No delivery, loading trash removal or compaction, or other operations shall be permitted between the hours of **10 p.m. and 7 a.m.** ~~within the mixed-use village cores~~ unless the applicant submits evidence that sound barriers between all areas for such operations effectively reduce noise emissions to a level of 45 db, as measured at the lot line of any adjoining property.
11. Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash collection, trash compaction, and other service functions

shall be incorporated in to the overall design of the building and the landscape so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets.

12. Non enclosed areas for the storage and sale of seasonal inventory shall be permanently defined and screened with walls and/or fences.

13. Vehicles shall be stored in designated areas only. If vehicles are to be stored more than 48 hours, they shall be stored in an area screened from adjacent properties, parking areas, public roadways, and pedestrian areas.

D Utilities and Communication Devices

1. Utility equipment and communication devices located on the ground shall be screened so that the site will appear free of all such devices. Utility lines for water, gas, sewage, electrical, and communication shall be installed underground.

All permanent utilities shall be underground; above ground utility access points shall be screened from public view and permitted by conditional use permit.

2. Minimize visual and audio impact of utilities, transmission dishes and related services.

3. Transmission dishes and antennae are not permitted on roofs of buildings unless adequately screened. Where located on the ground, screen these devices with landscaping and screen walls constructed of the same materials as the building.

4. Overhead wiring and telephone lines are permitted during construction only.

5. Provide utility easements where required.

6. Transformers and utility meters shall be grouped where possible. Where street cuts are made for utilities, cutting, backfilling and paving shall be repaired in accordance with Naples standards and specifications.

7. Utilities shall be grouped and screened with materials consistent with the architecture of the building and at a height acceptable to the Design Review Committee.

E Fencing and Screening

1. No fence or screen of any kind shall be constructed unless specifically approved by the Planning Commission.

2. Where screening is required, a combination of elements should be used including solid decorative masonry walls, berms, ~~and~~ landscaping, vinyl, wood, and/or chain-link fencing with full fitted privacy slats. Chain-link fencing is allowed in the rear of the building.

Commented [HL31]: Added

3. ~~Chain link fencing of any type is prohibited.~~ For any fencing, a combination of elements should be used including solid decorative masonry walls, berms, landscaping, vinyl or wood.

Commented [HL32]: From the Commercial chapter

4. All materials and merchandise, except vehicles in running order, shall be stored in an enclosed building of within an enclosure surrounded by a solid sight obscuring fence or wall of not less than six (6) feet in height or more than the height of the enclosing fence or wall. Chain link fencing with privacy slats does qualify.

Commented [HL33]: From Commercial Chapter

5. Any mechanical equipment, whether on the roof, side of building, or ground, shall be screened. The method of screening shall be architecturally integrated in terms of materials, color, shape, and size.

6. Screen fences or walls shall be built at a height at least 12" higher than that of the materials or equipment being stored.

7. No fence shall be located within ~~25~~ 20 feet of the front property line or of any street right of way unless specifically approved by the Planning Commission.

Commented [HL34]: To match the Commercial zone

F Walls

1. Decorative walls shall be used to screen automobiles, loading areas, utility structures, and automobile headlights from neighboring residential areas. Decorative walls shall be kept as low as possible while performing their screening and security functions.

2. Where walls are used at property frontages, or screen walls are used to conceal storage and equipment areas, they should be designed to blend with the site's architecture. Landscaping should be used in combination with such walls wherever possible.

3. Long expanses of wall surfaces should be offset and architecturally designed to prevent monotony. Landscape pockets should be provided.

02-28-0179

SITE GRADING AND DRAINAGE GUIDELINES

Commented [NC35]: Move to be in line with requirements

A Preface

Each site within Naples City represents a specific set of conditions that should influence the grading design applied. A grading concept that would be ideal for one site might be totally inappropriate for another. Most of the design concepts are based on the creation of more natural appearing landforms.

B Guidelines

Excessive grading should not be necessary in Naples City and is not desirable. Grading should produce graceful contours, not sharp angles, and should respect the natural land forms. Contoured swales and berms will soften the impact of structures on each lot. Varying the degree of long slopes will avoid the unnatural look of broad flat surfaces. The following are general grading guidelines:

1. Grading practices shall respect the natural features of the development by avoiding prominent ridgelines and contouring in harmony with existing landforms.
2. All manufactured slopes shall be rounded to conform with the existing topography.
3. Grading shall be minimized and buildings and roadways are to conform to and “blend” with landforms.
4. Variation and undulation of slopes to retain the natural character of Naples City shall be encouraged.
5. All graded slopes shall be planted with a combination of native grasses, ground covers, shrubs, and trees to insure slope stability, reduce erosion potential and improve visual quality. Plant materials of varying form and density should be used to soften slope banks.
6. Borrow ditches should not be paved with asphalt concrete or concrete. Borrow ditches should be seeded and accented with native rocks.
7. Finished floor heights in relation to any adjacent curb in commercial areas should be limited to a 5% differential to minimize excessive handicap ramps.
8. Building and site design is encouraged to work with the natural contours of the land.
9. The following standards shall apply to all site grading:

<u>Area</u>	<u>Min Slope</u>	<u>Max Slope</u>
Planted Areas	2%	33%

Parking Lot	1%	5%
Driveways, Access Drives	1%	5%
Pedestrian Plaza	1%	2%
Sidewalks (direction of travel)	1.5%	6%
Sidewalks (horizontal tilt)	0%	2%

All slopes must also conform to ADA Standards.

10. No cut or fill slopes shall be steeper than 3:1 with smooth vertical transitions. Terracing with retaining walls of approved materials will be allowed in certain situations. Materials will be compatible with the building design and shall be approved by the Planning Commission.

11. Add site topographic features (such as landscape berms and swales)

12. Site drainage must be designed to eliminate water collection at building foundations and minimize water collection at entrances and service ramps.

13. Retention/detention areas should be designed as year round amenities with pedestrian access.

C Storm Water Retention

Commented [HL36]: From the Commercial chapter

The Applicant shall design, construct and install a storm water drainage system within the lot which shall be constructed of materials and according to the specifications of the master storm drain plan and according to generally accepted engineering standards, with an engineer's seal stamped on the plat. Naples City's onsite storage plan requires retention of 125% of a 2-hour, 100-year storm volume. The storm water retention system may consist of one or more storm water retention areas. The overflow area must be identified, and evidence shown that it will not drain onto neighboring properties or nearby structures.

If the storm water retention area and system is on the surface and not underground, the owner/developer shall set aside an area approved by the City Council within the development engineered to retain the water as required by this ordinance. The retention pond/area shall be established by a recorded plat with covenants that run with the land and that require the owner of the land to maintain the retention pond/area as designed and at its expense to make any repairs or improvements as needed over the years to effectuate the purpose of the water retention facility. The owner shall be required to hold the City harmless from any damage or expense related to repairs or maintenance or from damage caused by failure of the system, in perpetuity. The area shall also be identified on the plat and the recorded documents shall be approved by the City Attorney as to form and effect. No modification of the retention area may be done without an

[amendment to the plat. If the water retention is shared between two properties, a recorded easement is required.](#)

[02-28-018](#) (Add Landscaping Requirements)

02-28-019~~20~~ ARCHITECTURE GUIDELINES

A Preface

These guidelines address the visual image of all buildings within the commercial development. The prominence and location of commercial and institutional buildings along major roads should encourage architectural design which is highly visible and innovative, while being sympathetic to surrounding built form. Building design should address the sidewalk through elements such as entrance structures, colonnades, canopies, and awnings. Building envelopes that are well proportioned and aesthetically interesting on all visible sides are encouraged. Where substantial building setbacks are required, greater articulation of the building is required.

B Design Professionals

Design and documentation of all buildings shall be by licensed ~~architect~~ [professional](#).

C Guidelines

General Tenets

1. Modern southwest design for architecture is strongly encouraged.
2. Building massing should include variations in the building envelope. Elements such as entrances, forecourts, terracing or other building features should provide interest and detail when viewed from public streets.
3. In all areas, a strong articulation of building facades is encouraged. However, details or elements that appear as “add-ons” are discouraged.
4. Front facades should be of a high standard of design and quality of materials. Flanking facades should be upgraded to a design and materials standard equal to the front facade treatment.
5. Where appropriate, building design should provide for future expansion, and should demonstrate how expansion can be accommodated while respecting design principles.

6. Mechanical and equipment facilities located on building roofs shall be screened.

Siting and Orientation

Placement of the building in relation to the surrounding elements is as important as the design of the building. The proposed building orientation should respond to surrounding buildings, existing pedestrian paths and sidewalks, and adjacent streets. Rows of buildings which create a monotonous, “cookie cutter” design are discouraged.

1. The proposed building orientation should respect climatic conditions. ~~Buildings should maximize public comfort by providing comfortable public outdoor areas.~~ Building exposures subject to climatic intensities should utilize landscaping and architectural surface relief to offset weather impact.
2. Building siting should be sensitive to surrounding roads and public spaces in terms of height, scale, massing and blocked views.
3. Buildings should be sited to reinforce the character and quality of plazas, courtyards, greens and open spaces.
4. Buildings should be oriented so that entrances are clearly identifiable and directly accessible from a sidewalk. Buildings should be accessible for pedestrians and public transit users, not just for people driving private automobiles.

Scale

Scale relationships must be carefully considered and appropriate transitions provided where a change of scale is proposed or required. Stair stepping building height, breaking up the mass of the building and shifting building placement can mitigate the impact of differing building scales and intensities.

Building Elevations

Elevations should incorporate the use of strong vertical and/or horizontal reveals, offsets, and three dimensional detail between surface planes to create shadow lines and break up flat surface areas.

1. Rear building elevations, especially those facing adjoining residential areas, should be aesthetically enhanced with materials to match the front of the building. Side elevations along side streets should be treated with same quality of design and materials as the front elevations. There shall be no unimproved side to a structure.

2. Building siting should be sensitive to surrounding roads and public spaces in terms of height, scale, massing and blocked views.

3. Buildings should be sited to reinforce the character and quality of plazas, courtyards, greens, and open spaces.

~~4. Buildings should be oriented so that entrances are clearly identifiable and directly accessible from a sidewalk. Buildings should be accessible for pedestrians and public transit users, not just for people driving private automobiles.~~

~~5. On commercial sites, especially large retail centers, a portion of the total building area should be located near the street perimeter to reinforce the streetscape.~~

Transparency

A high degree of transparency should occur at lower levels of building facades to insure the visibility of pedestrian uses, and to provide an active, human scaled architectural pattern along the street. On front elevation or elevation facing public open space ~~of golf course~~, between 60% and 90% of the ground floor facade should be transparent glazing. Areas of the building that are functionally restricted from providing vision glass may be exempted from minimum glazing percentages provided other architectural scaling techniques are employed. A pattern of individual windows at upper floors also should be established to increase variety of scale through fenestration patterns, material variation, detail and surface relief.

Roof Forms and Materials

Rooftops should contribute to the visual unity of the project and should be considered from both the ground level as well as from adjacent buildings. Roof forms should support and reinforce overall building massing. Roof form should complement the context in terms of height, proportions, form and materials, and whether the surrounding buildings are of a similar scale.

Roofing materials should be tile or other hard surface, durable materials. The use of asphalt shingles is discouraged.

Materials and Colors

Materials and colors of the development should be selected for earth tone compatibility with the site, as well as compatibility with the neighboring area.

High quality, low maintenance materials are encouraged as well as building materials that age well.

1. The selected materials and color palette should be compatible with the valley's mountain and basin environment.
2. Building materials should convey durability and express regional character.
3. Facade materials that appear tacked on shall be avoided.
4. The use of reflective glass as a complete exterior surface is discouraged due to the great increase in reflected glare. Use of highly reflective glass should be avoided. Reflective glass should be limited to an outside reflective factor of 30% or less. Mirror glass is not allowed except in very limited applications.
5. All sides of a structure should exhibit design continuity.
6. All facades facing public streets or open space shall be constructed of high quality materials including the following:
 - Masonry, including stone, brick, terra cotta, architectural precast concrete, cast stone and prefabricated brick panels, stucco
 - Glass and glass block

The final approval of exterior materials is at the discretion of the City Council.

Maintenance

Owners or occupants shall maintain all buildings, drives, parking lots, signs, ~~or~~ other structures, and landscaping located upon the property in good and sufficient repair and shall keep such premises ~~painted, windows glazed, paving swept and otherwise maintain the~~ and property in a neat, clean ~~r~~ and orderly ~~manner~~ fashion. Any alteration made to the building or building site equaling more than 50% of the original site plan require the Planning Commission approval. ~~Building, site, material and color modifications after initial construction require City approval.~~

Commented [NC37]: Does this fit this section?

1. ~~Any structure, driveway or parking lot surface that is damaged by the elements, vehicles, fire or any other cause shall be repaired as promptly as possible.~~ Any damage to the structure, drive, parking areas, or landscaping shall be promptly repaired back to the approved site plans.

2. Grounds, landscaping and vegetation shall be maintained in accordance with the site plan approved by the City, ~~a healthy growing condition.~~

Commented [HL38]: Clarify

~~Dead or dying plants shall be removed as soon as possible and replaced during the next growing season.~~

3. Lots, yards, parking areas and grounds around buildings shall be maintained in a weed free condition. The weed-free areas shall be from the road right-of-way starting at the back of the sidewalk; if there is no sidewalk then starting from the back of the road curb to all property fence lines.~~If the owner or occupant does not achieve and maintain high quality maintenance standards, the City shall issue a notice requesting action. If the problem is not remedied within 30 days, the City shall cause the maintenance work to be performed and shall charge the owner or occupant for all costs incurred.~~

Parking Garages

Parking garages may be used in the ~~commercial~~-industrial zones and are subject to the same architectural standards as other structures.

1. Parking structures shall be designed to conceal the view of all parked cars and light sources from adjacent public right-of-way or public open space for the full height of the structure.

2. Facade openings that face any public right-of-way or open space shall be vertically and horizontally aligned and the floors fronting on such facades shall be level.

Commented [NC39]: Clarification needed

3. The sidewalk level of parking structures shall be designed to accommodate active uses, display windows, public art or other features that enhance the structure's relationship to pedestrians. Adequate ground floor dimensions are required and shall include floor to floor heights, structural, driving aisle and utility layouts within 30 feet of public right-of-way designed to accommodate occupancy by pedestrian uses.

4. Parking structures should not exceed 50% of any given block frontage.

5. Parking structures should utilize materials and architectural detailing found in the primary development being served.

6. Reduce impact on pedestrians from cars entering and exiting parking garages by locating garage access on alleys, wherever possible.

D ~~Industrial Core~~Highway 40 Corridor

General Character

1. Architecture expressed throughout all buildings should relate contextually in form and scale and be of consistent quality.
2. Buildings should be broken into smaller components, where large buildings are perceived as a cluster of smaller elements at a scale complementary to adjacent structures.
3. Consistent rhythms of similar (not identical) details and architectural elements should be used to reinforce the continuity of the street and aid in the creation of a strong community image.
4. Buildings that address a primary intersection or street terminus should employ wall projections, recessions, materials, and other details and enhance the visibility and character of these locations.
5. Entry ways and building roof lines should be constructed with focused architectural improvements.

Fenestration

1. Window fenestration should continue or establish a rhythm along the street.
2. Clear glass is preferred for glazing, but some tinting based on functional considerations, such as building orientation, is acceptable.
3. Use of reflective glass is strongly discouraged.

Height Restrictions

All roof top mechanical equipment must be set back at least 15 feet from all roof edges that are parallel to street lot lines. Other roof top mechanical equipment which cumulatively covers no more than 10 percent of the roof area may extend 10 feet above the height limit.

1. Radio and television antennas, utility power poles, and public safety facilities are exempt from the height limit, but should be placed underground whenever possible and screen and hide antenna towers so to blend in with the theme.
2. Chimneys, flag poles, satellite receiving dishes, and other similar items with a width, depth, or diameter of 5 feet or less may rise 10 feet above the height limit, or 5 feet above the highest point of the roof, whichever is greater. If they are greater than 5 feet in width, depth, or diameter, they are subject to the height limit.

02-28-021

EXTERIOR LIGHTING DESIGN GUIDELINES

A Preface

The lighting standard shall provide visual continuity for the development and minimize the impact of exterior lighting on adjacent residential areas. The spacing, location, height, source, fixture, and illumination level of all lighting is subject to review by the City [Council](#).

1. Use accent lighting at specific building features. Lighting of architectural features is to provide accent, not to exhibit or advertise buildings. All illumination sources must be located within the property boundaries and be shielded from public view. Lamp selection should be compatible with building color and texture.
2. Accent lighting of landscaping is permitted. Landscape illumination shall be low level and background in appearance.
3. Exterior paved areas and pedestrian walks shall be lighted using (low) intensity fixtures.
4. Lights shall be placed so as not to cause glare or excessive spillage onto adjacent lots.
5. Service area lighting should be contained within the service yard boundaries. No light spill-over shall occur outside the service or storage area.
6. All seasonal/temporary lighting must be reviewed by the City [Land Use Administrator](#).
7. Poles and luminaries shall be as described in schedule of exterior fixtures.
8. Pole height shall not exceed 30 feet in height, measured from the ground to the top of the pole.
9. Internally illuminated awnings are prohibited.

02-28-0212

SIGN DESIGN GUIDELINES

A Preface

All signage within Naples City is regulated for aesthetic consistency and appropriateness. [All signage must follow the Sign Regulations in the Naples City Land Use Ordinance.](#)

B General Requirements and Prohibitions

1. All signs and graphics require approval of the City [Council](#). Signs and graphics not having this approval shall not be installed. A specific signage plan and design must be submitted to the City [Council](#) for approval.
2. Signs on the interior of buildings that are not visible from the building exterior are not subject to City [Council](#) approval.
3. No unfinished, exposed, illuminated sign cans, electrical raceways, or wiring crossovers will be permitted unless in the construction or installation phase.
4. Flashing, blinking or moving signs, exposed light, iridescent colors, fluorescent materials, steamers, or searchlights are prohibited.
5. Signs using special effects, such as exposed neon or fluorescent tubing, must be approved in advance by the Planning Commission. A color layout to scale of the proposed sign must be submitted for approval.
6. Temporary signs, posters, or banners of a specific advertising or promotional nature may be displayed for short time periods if the signage, size, color, placement and their mounting devices are first submitted, in layout form to scale, for approval to the Planning Commission. If so approved, a removal date of the sign will be established at the time the temporary permit is granted.
7. Off premises billboard signs are prohibited.
8. Bench signs are prohibited.
9. Tenants and owners are responsible for the installation and maintenance of all signs. Tenants and owners must obtain all necessary permits and approvals.
10. All materials used in signage, except temporary signage, shall be durable, or permanent in nature, require minimum maintenance, and be resistant to weathering and staining.
11. No signs shall be posted, or attached to trees, public utility improvements, lighting poles or fixtures, traffic signs, or traffic control devices.
12. No sign shall be posted, placed or erected within public rights-of- way and thoroughfares.

13. The display of banners (signs made of fabric, plastic, or other similar material) is prohibited unless approved for special uses by the City.

Commented [HL40]: Clarify who

14. No sign or any portion thereof may project or extend above the parapet wall or top of the exterior wall or building facade upon which the sign is mounted.

15. Rooftop signs are prohibited.

16. Except for directional and traffic control signs, offsite signs are prohibited unless approved by the Planning Commission.

17. All unapproved signs or banners are subject to removal.

C Industrial CoreHighway 40 Corridor

1. Signs on building surfaces shall be mounted flush and shall not exceed 10% of the front facade.

2. All signage is for identification and not advertising.

D Signage Plan Submittal

1. A signage plan must be submitted to the Planning Commission for review and approval prior to installation

2. The signage plan submittal should include the following:

a. A scale site plan showing the location and type of proposed signage.

b. Scaled drawings of proposed signs including lettering and logos, materials, dimensions and colors.

02-28-014 SUBMITTAL PROCESS

A Approvals

Unless otherwise explicitly provided herein to the contrary, all approvals required under Naples City Land Use Ordinance shall be in writing and may be granted or withheld at the sole discretion of the City Council. Any approval pursuant to these design guidelines does not constitute a warranty, assurance or representation by the Planning Commission and the approving party should have no responsibility by virtue of such approval.

1. Building Official may review and approve the following:

a. Remodeling of existing buildings

Commented [HL41]: Changes from the Commercial Zone

Commented [NC42R41]: Move to end of chapter to outline process properly.

Commented [HL43]: Clarification

Prior to the submittal, the applicant should arrange to obtain a copy of any available engineering, grading, utility, street and drainage plans.

C Submittal Process

There is a five-step submittal/approval process. These are:

1. Design Review Conference
2. Concept Plan Review
3. Preliminary Review (Schematic Design review)
4. Final Review
5. Final Approval Prior to Certificate of Occupancy

The following sections describe the process for each step and the information required.

D Application Fee

The applicant shall pay nonrefundable fees as required by the Naples City General Provision Fee Resolution for each step of the development process.

E Design Review Conference

Prior to the formal submittal of a request for approval, an informal conference is recommended between the developer or applicant and the Land Use Administrator. The Land Use Administrator may invite the City Review Committee to assist in the review. This conference will serve to acquaint the developer or applicant with the overall context of developing in Naples City as well as covenants, ordinances, and design guidelines. Conceptual site plans and conceptual building drawings will aid in discussion at this Design Review Conference, however; applicants are strongly encouraged NOT to prepare detailed schematic designs until after this conference.

Suggested material for discussion at the Pre-application conference includes;

1. General project concept
2. Specific uses proposed and intensity of use proposed (floor area/parking demand)
3. Proposed construction timing
4. Conceptual building size, massing, and site plan ideas.

F Concept Plan Submittal

Prior to submitting a preliminary plat, an Applicant shall submit an initial written concept plan” to the Land Use Administrator including a sketch plan of the proposed development in which the proposed development is sufficiently described to enable the Land Use Administrator to determine whether the proposed development complies with the municipality’s land use ordinances, capital growth and General Plans, street plans and services. The Land Use

Administrator shall advise the Applicant of possible problems with the proposed subdivision within 30 days after it has received the initial application including sketch plans. Approval of the concept plan shall not constitute approval of the "Preliminary Plan". This section is mandatory, and an Applicant may not submit a preliminary plat plan in lieu of the concept plan. If disapproved, the Land Use Administrator shall express its reasons in writing to the Applicant.

G Preliminary Submittal

This review covers conceptual site planning, architecture, and landscape architecture for the project. Review by the Planning Commission will not commence until all specified information has been submitted. The material must be submitted 21 days prior to a regularly or specially scheduled Planning Commission meeting. The material submitted should constitute schematic level design documents for architecture and landscape architecture. The required drawings are to be prepared by licensed design professionals. Based on the results of the Concept Plan submittal, the following information shall be submitted by the applicant:

• Preliminary Site Plan Approval shall include:

1. Site and context plan (immediately adjacent properties)
2. Site coverage data total property area
3. Required setbacks for buildings and parking areas
4. Building dimensions
5. Pedestrian circulation
6. Vehicular ingress and egress
7. Buildings, storage, loading and trash location areas
8. Parking areas with total spaces provided
9. Driveways, sidewalks, trash enclosures, and utility screening
10. Site lighting including fixture selection
11. Landscape plan including hardscape elements
12. Grading and drainage plan, including stormwater retention
13. Development phasing concept, if applicable
14. Geotechnical report – if required by the Building Official

Note: the site plan(s) must show development of the entire property.

• Preliminary Architectural Plans shall include:

1. Building elevations (all sides)
2. Typical floor plans noting exterior dimension and total gross floor area
3. Notations explaining building materials, colors, and finishes
4. Special attention to screening of storage areas, mechanical equipment, loading docks and trash receptacles.

• **Preliminary Landscape Architecture Plan shall include:**

1. Location of trees, shrubs, ground covers, berms, walls, fencing, etc .
2. Plants under consideration
3. Conceptual design of courts, plazas, terraces and other special features.
4. Delineate landscape theme areas: native, formal, naturalized, agrarian.

• **Project Information shall be included on the site plan**

1. Name of Owner, Developer and/or Builder (as applicable)
2. Name of project
3. Name of Architect/Landscape Architect/Engineer
4. Proposed use
5. Development schedule
6. Total site area
7. Total building area (gross and net rentable as applicable)
8. Total landscape area
9. Identification of project phasing and phasing schedule
10. Required parking by code
11. Location and block number
12. Name, address and telephone number of person who will maintain communication with the Planning Commission. This should be a person who will have long term responsibility for the projects.
13. The zone in which the development is proposed
14. Setbacks as required by this code.
15. Landscaping.
16. A proposed building construction schedule to describe:
 - Start of site preparation and building construction
 - Building completion
 - Landscape and site work completion
 - Phasing and expansion plans
 - Occupancy

• **Soil Controls**

Provide complete information about any potential geologic problems within the development area including but not limited to expandable soils, potential slide of slough areas, high ground water, etc.

The Building Inspector shall determine from the concept plan review or the Preliminary Plat application the possible need for environmental impact analysis, which would take into account the soil, slope, vegetation, drainage and other geological characteristics of the site. If the site requires substantial cutting, clearing, grading or other earthmoving operations in construction of structures or roads in the proposed development or if

geologic conditions warrant, the Planning Commission and/or City Council shall require the applicant to provide soil erosion and sedimentation control plans or stabilization plans and specifications prepared by a registered civil engineer.

H Final Application (Construction Drawings)

After preliminary approval, a final application must be submitted prior to final Planning Commission approval and/or issuance of a building permit. The material submitted should constitute 90% complete construction drawings for architecture and landscape architecture. The following information shall be submitted for the final application.

- **Site Development Construction drawings (to show in addition to the Preliminary Application requirements):**

1. Location and size of building/easements/utility locations
2. Curb cuts and access points for autos and service vehicles
3. Parking areas, islands, and drive aisles with number of spaces noted
4. Pedestrian circulation system
5. Loading area (location and design)
6. Trash enclosures (location and design)
7. Open space area
8. Finished contour grading/drainage plan with drainage structures and any storm water retention areas.
9. Storm water drainage calculations
10. Building pad elevations

Site plan shall be prepared on a topographic base map of 1 foot contour interval and 1" = 20' unless otherwise approved by the Planning Commission.

- **Landscape Construction Documents to show:**

1. Grading, water retention, retaining walls, rock work, and slope stabilization
2. Walkways, plazas, decks, walls, and fences (type, details, materials, and location)
3. Trees, shrubs, ground covers, grasses and mulches; indicate type, size and location.
4. Location and dimensions of berms and other grading elements
5. Location and type of hardscape materials
6. Site furniture: benches, fountains, kiosks, trash receptacles, flag poles, etc.
7. Irrigation plan including line size, locations, valves and controllers

8. Materials list, including type, size, quantity, and specification of all materials.

Landscape plan shall be prepared on a topographic base map of 1 foot contour interval; Scale: 1"=20' unless otherwise approved by the Planning Commission.

• **Building Construction Documents to show:**

1. Architectural site plan
2. Building floor plans
3. Exterior elevations, colored to accurately indicate the colors and materials to be used.
4. Building and wall sections specific to exterior elevations.
5. Sample board displaying actual samples of all exterior building materials and actual colors, as requested by the Planning Commission.

• **J Signage and Lighting documents to show:**

1. Location of all information and directional signs
2. Location of all lighting fixtures by type, e.g., (area, building accent, security signage)
3. Signage system design: plan and elevation drawings to show the size, graphic layout, type face, construction details, materials, color and lighting method of all signs.
4. Exterior Lighting system design: plan and elevation drawings to show the size, construction details, material, and colors of all light fixtures.
5. Photometric analysis of lighting coverage

Plan shall be 1" = 20' unless otherwise approved by the Planning Commission.

• **K Construction Schedule**

• **L Pertinent Details and Specifications**

• **M Written material to include tabulation, expressed in square feet and in percent of site coverage describing (minimum, required, proposed):**

1. Building coverage (footprint)
2. Landscaped open space
3. Driveways, parking, and loading areas.

This tabulation should total 100% of the site.

I Final Approval/Building Permit

The final submittal will be reviewed by the City Council and approved, conditionally approved, or disapproved. Detailed reasons for its conditional approval or disapproval will be given in writing. Final approval and infrastructure acceptance is required prior to building permit issuance.

J Construction Compliance Verification

The (City Council) shall have the right to review construction work in progress to evaluate compliance with the construction documents as approved. All design changes, which affect the exterior conditions of the project shall be approved by the Planning Commission and will be sent to City Council for final acceptance.

Construction Precautions:

In order to minimize soil erosion by water and wind, practical combinations of the following shall be used:

1. Expose smallest practical area of cleared land during construction
2. Temporary ditches, dikes, vegetation and/or mulching shall be used to protect critical areas exposed during development or construction.
3. Sediment basins (debris basins, desilting basins, or silt traps) shall be installed and maintained to remove sediment from runoff waters during development.
4. Permanent landscaping shall be installed as soon as practical after construction activities.
5. Temporary mulching shall be used for imported fill and other distributed areas subject to erosion, on construction projects over 6 months in duration.

All construction storage, equipment yards and on site trailer and San-o-lets shall be fenced or segregated in a manner approved by the Planning Commission and shall be located on the site in a way to minimize their impact on adjacent properties and public streets. Construction sites shall be maintained in a neat and orderly manner. All trash shall be kept in enclosed containers and emptied frequently.

Construction access shall be coordinated with and approved by the City Building Official. Special care shall be taken to protect existing curbs and pavements from damage and removal of site soil tracked onto streets.

At the end of the construction period, by phase, the applicant shall submit to the City Building Official reproducible copies of record drawings (as built) showing the actual locations of all underground utilities and irrigation systems.

K Modifications

If it becomes impossible or impractical to complete construction of a structure or a multiple structure project substantially in accordance (with design consistency determinations obtained pursuant to the Design Review Process), the owner of such structure or project shall notify the Land Use administrator of such impossibility or impracticality and shall submit to the Land Use administrator an alternative design that is as close as reasonably possible to the consistent or approved design. The Planning Commission shall refer such proposed alternative design to the City within 30 days. The City shall treat such referral as a new application.

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Signage Plan Submittal

1. A signage plan must be submitted to the Planning Commission for review and approval prior to installation

2. The signage plan submittal should include the following:

a. A scale site plan showing the location and type of proposed signage.

b. Scaled drawings of proposed signs including lettering and logos, materials, dimensions and colors

02-28-023 TYPICAL LANDSCAPING, ROAD CLASSES AND BUFFERING EXAMPLES

- A** Typical Landscaping examples
- B** Typical Road Class examples
- C** Typical Buffering example