CIVIL CONSTRUCTION PLANS FOR STANFIELD SOUTHERN TIRE MART at PILOT FLYING J

2115 S HIGHWAY 395, STANFIELD UMATILLA COUNTY, OR 97875

PROJECT DESIGN TEAM

TRAVEL CENTER REALTY, LLC **CONTACT: ANDREW GRAY**

PILOT TRAVEL CENTERS LLC KNOXVILLE, TN 37909 **CONTACT: BRAD ALSUF**

KIMLEY-HORN AND ASSOCIATES, INC.

1 SW COLUMBIA ST. STE 650 PROJECT MANAGER: CAMERON COOPER ENGINEER OF RECORD: REBECCA VINTER, P.E. PHONE: (503) 388 - 6327

PB2 ARCHITECTURE + ENGINEERING 2809 AJAX AVENUE. SUITE 100 CONTACT: KELLY GUITTAR, AIA

H2 SURVEY 7600 N. MINERAL DR., STE 900 COEUR D' ALENE, ID 83815

PHONE: (208) 772 - 6619

PERMITTING / UTILITY CONTACTS

CITY OF STANFIELD 160 SOUTH MAIN STREET STANFIELD OR, 97895 **CONTACT: SCOTT MORRIS** PUBLIC WORKS DIRECTOR PHONE: (503) 449-3831

PACIFIC POWER PENDELTON, OR 97801 PHONE: (888) 221-7070

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LOCAL MUNICIPALITY CITY OF STANFIELD 160 SOUTH MAIN ST STANFIELD, OR 97875 CONTACT: MAYOR SUSAN WHELAN PHONE: (541) 449 - 3831

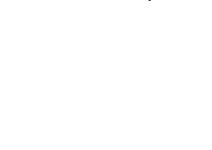
<u>TELEPHONE</u> **CENTURY LINK** 999 E. ELM AVENUE HERMISTON, OR 97838 PHONE: (541) 567-9701

> FIRE DEPARTMENT UMATILLA COUNTY FIRE DISTRICT #1 280 W. COE AVE STANFIELD, OR 97875 CONTACT: JIMMY DAVIS - DEPUTY CHIEF OF OPERATIONS PHONE: (541) 667 - 5130

FIBER OPTIC WINDWAVE COMMUNICATIONS 162 N. MAIN STREET/P.O. BOX 815 HEPPNER, OR 97836 PHONE: (541) 676-9663



VICINITY MAP



DEVELOPMENT SUMMARY:

SITE SUMMARY:

±1.17 ACRES

BUILDING SETBACK:

GI - D/TC

N/A

PROPOSED PARKING

2 EMPLOYEE SPACES

SITE NOTES:

1. THIS SHEET IS INTENDED TO PROVIDE A GENERAL

SHEETS FOR ADDITIONAL INFORMATION.

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	
C0.00	CIVIL COVER SHEET	
C0.10	SURVEY SHEET	
C1.00	DEMOLITION PLAN	
C2.00	OVERALL SITE PLAN	
C2.10	DETAILED SITE PLAN	
C3.00	GRADING AND DRAINAGE PLAN	
C4.00	ESC PH1 - ESC PHASE 1	

ESC PH2 - ESC PHASE 2

UTILITY PLAN

DETAIL SHEETS

NOTES:

C4.10

C5.00

C6.00

- 1. ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION FROM KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITION, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATIONS UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS
- THE WORK SHOWN ON THESE PLANS HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT BEING PROVIDED TO KIMLEY-HORN AND ASSOCIATES. DUE TO THE ABSENCE OF THIS INFORMATION, KIMLEY-HORN IS UNABLE TO IDENTIFY POTENTIAL EASEMENTS AND/OR OTHER RESTRICTIONS AND ENCUMBRANCES WITH THE POTENTIAL TO CONFLICT WITH THE PLANNED IMPROVEMENTS.





THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A STATE REGISTERED LAND SURVEYOR, AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION

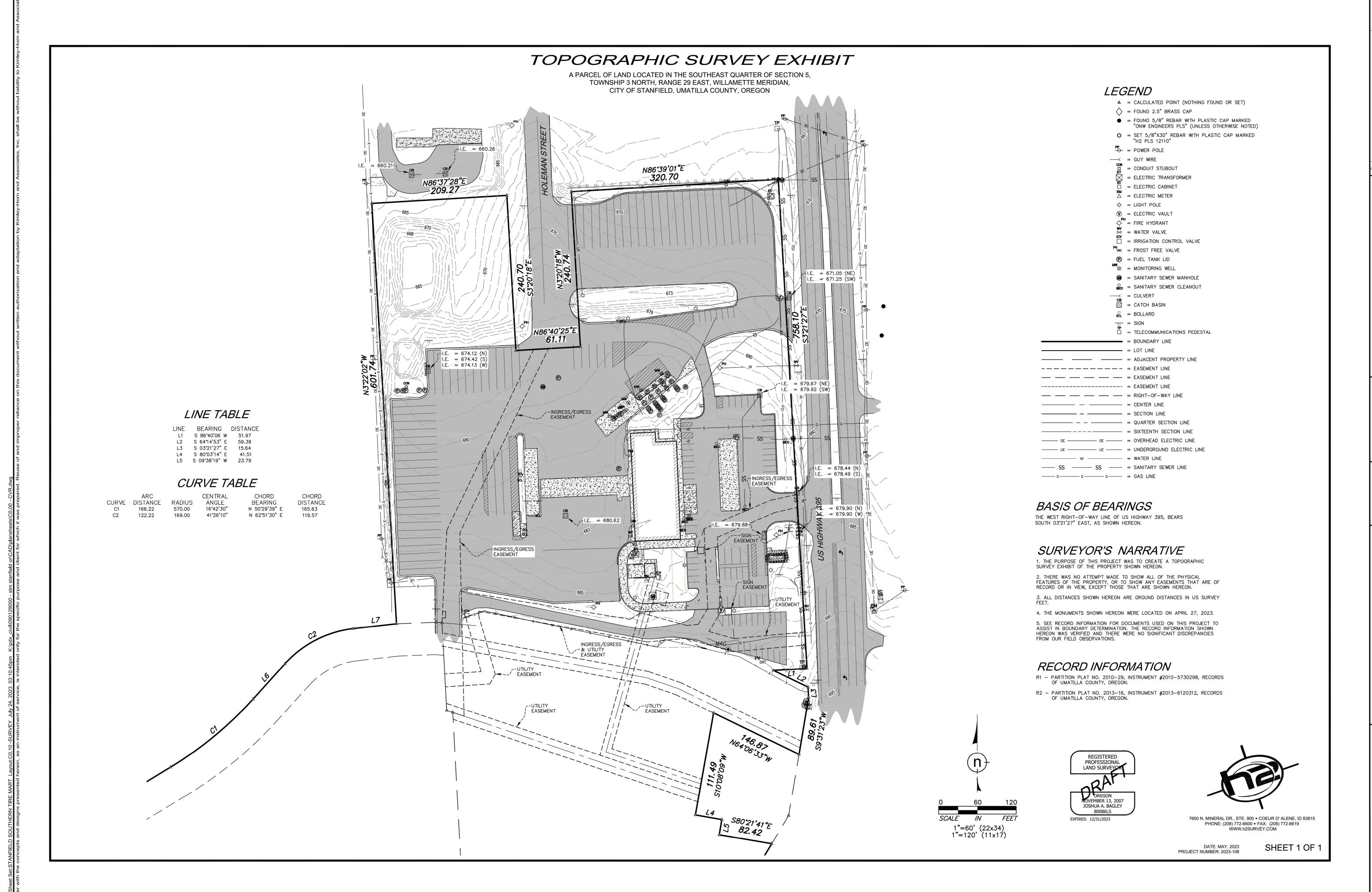
PROJECT DATUM: NAD83

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SHEET NUMBER C0.00



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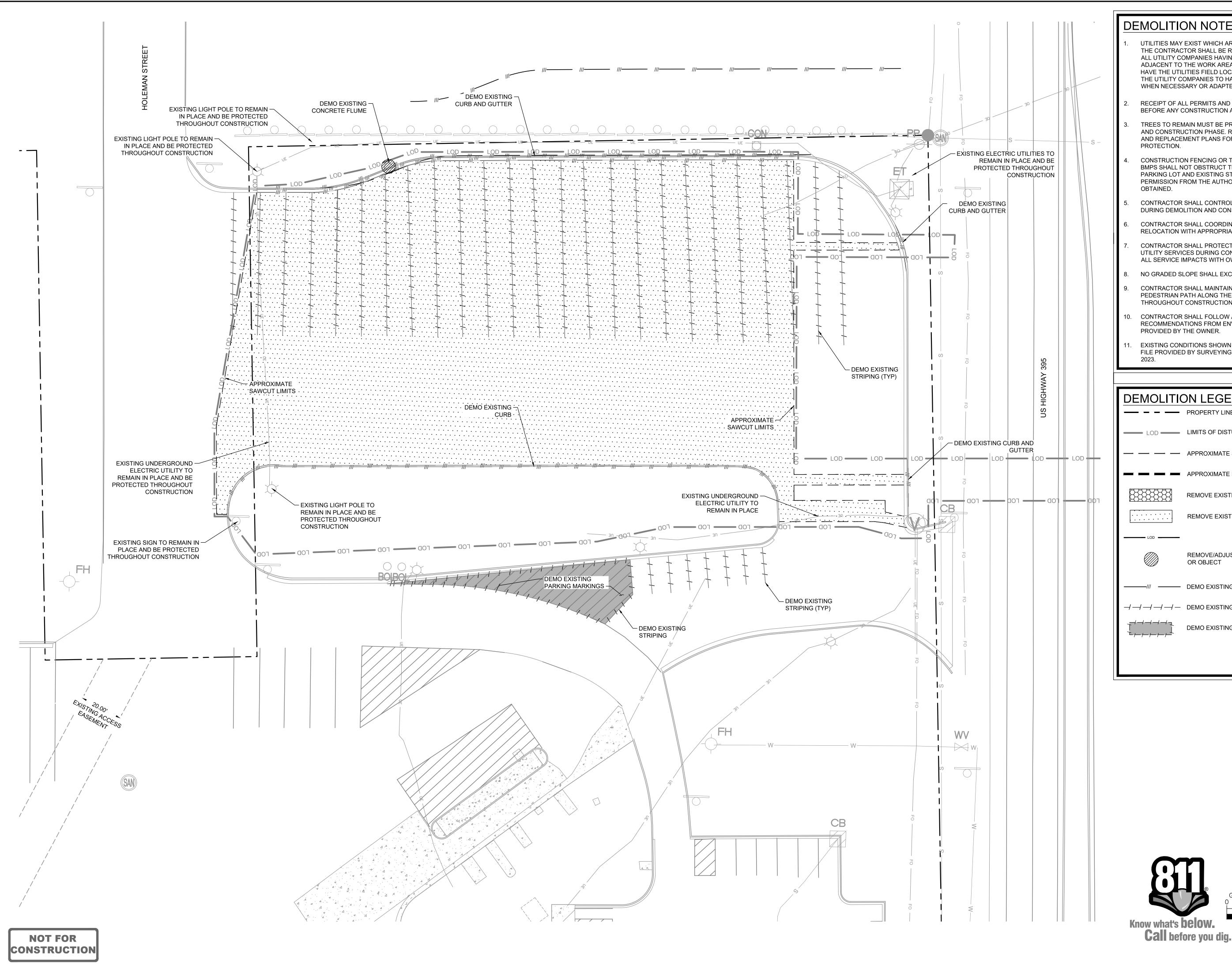
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7/12/2023
SCALE AS SHOWN
DESIGNED BY GRG

EXISTING

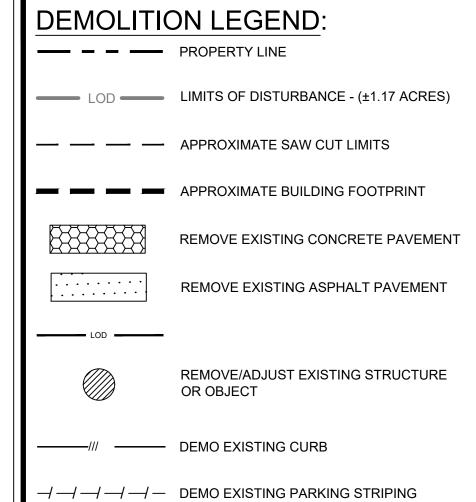
ART @ PILOT FLYING J
FOR FOR REALTY, LLC

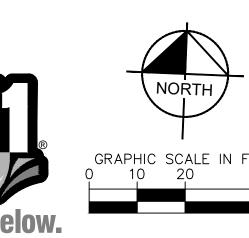
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DEMOLITION NOTES:

- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
- CONSTRUCTION FENCING OR TEMPORARY STORM WATER BMPS SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING PARKING LOT AND EXISTING STREETS UNLESS WRITTEN PERMISSION FROM THE AUTHORITY HAVING JURISDICTION IS
- CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 3H:1V.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY SURVEYING AND MAPPING ON MAY 12,





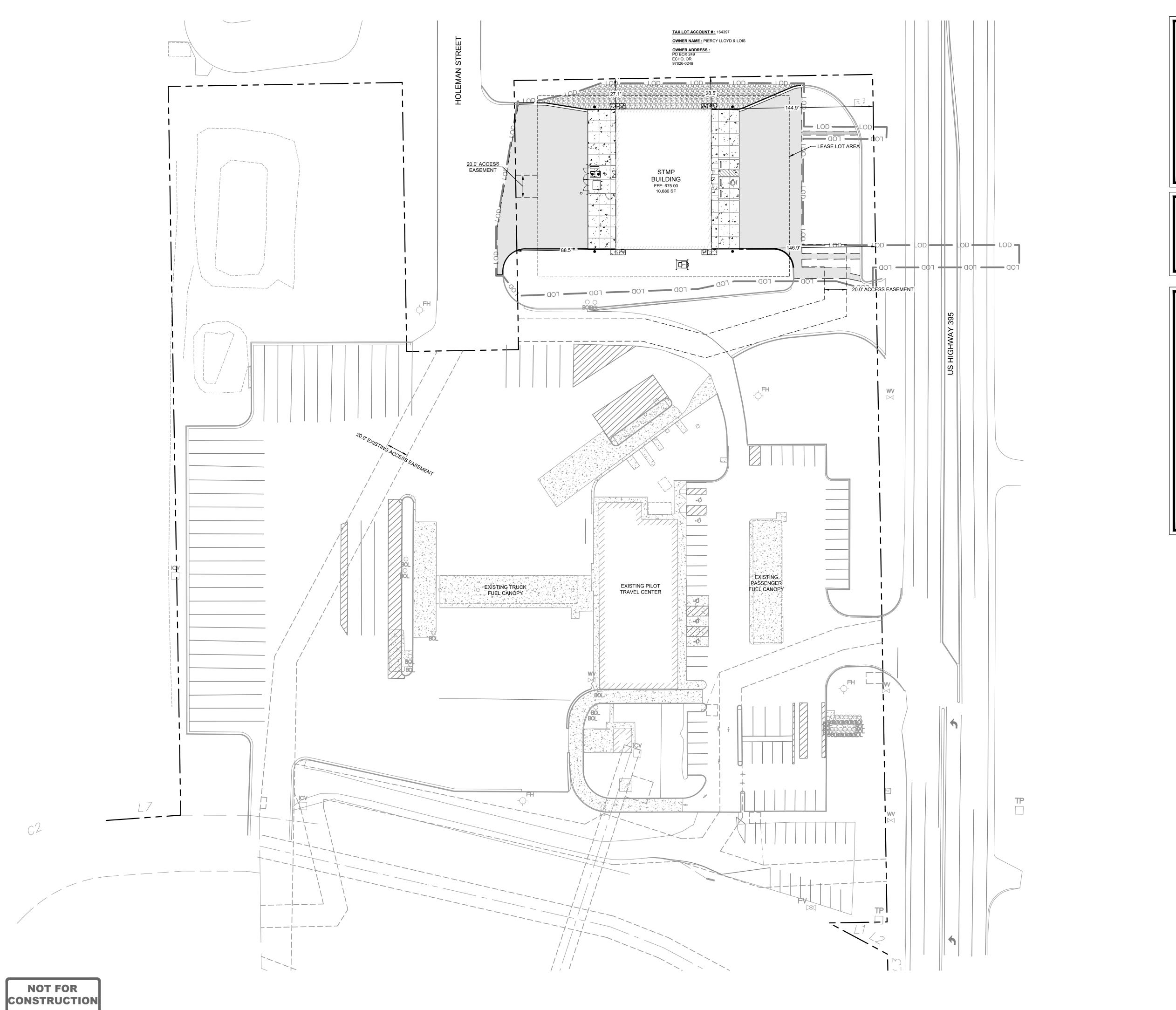
DEMO EXISTING PARKING MARKINGS

SHEET NUMBER C1.00

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DEVELOPMENT SUMMARY:

SITE SUMMARY:

ZONING:

TOTAL DISTURBED AREA: ±1.17 ACRES

BUILDING SETBACK:

FRONT: SIDE:

REAR:

PARKING SUMMARY:
(IN IMMEDIATE VICINITY OF PROPOSED IMPROVEMENTS)

PROPOSED PARKING:

1 ADA SPACES 2 EMPLOYEE SPACES

GI - D/TC

N/A

N/A

SITE NOTES:

- 1. THIS SHEET IS INTENDED TO PROVIDE A GENERAL OVERVIEW OF THE PROJECT. REFER TO DETAIL PLAN SHEETS FOR ADDITIONAL INFORMATION.
- BUILDING TIES SHOWN FROM THE CORNER OF THE BUILDING TO A POINT PERPENDICULAR TO THE PROPERTY LINE.



PROPERTY LINE

----- LEASE LOT BOUNDARY

---- ACCESS EASEMENT

— — — SAWCUT LIMITS

LOD LIMITS OF DISTRUBANCE

HEAVY DUTY ASPHALT PAVEMENT

CONCRETE SIDEWALK

HEAVY DUTY CONCRETE PAVEMENT

PROPOSED LANDSCAPE GRAVEL

OVERALL SITE F

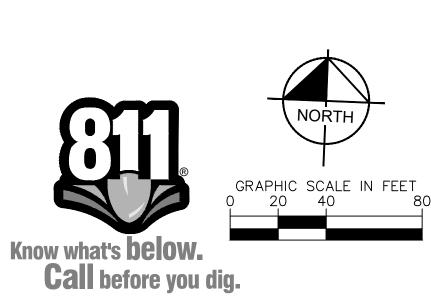
(a) (a) (4) (b) (c) (-

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STANFIELD SOUTHERN TIRE
MART @ PILOT FLYING J
FOR FOR TEALTY, LLC
CITY OF STANFIELD, UMATILLA COUNTY, OREGON

SHEET NUMBER C2.00



CONSTRUCTION

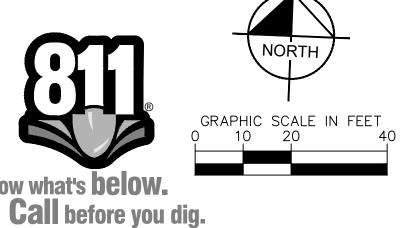
SITE KEYNOTE LEGEND:

- (A) PROPOSED CONCRETE CURB AND GUTTER
- (B) PARKING LOT STRIPING, 4" SOLID WHITE STRIPE
- (C) PROPOSED 4" SOLID WHITE STRIPING, 2'-0" O.C. @ 45° PROPOSED ACCESSIBLE ADA PARKING STALL WITH
- ACCESSIBLE PARKING SYMBOL AND SIGN
- (E) PROPOSED CONCRETE WHEEL STOP
- (F) PROPOSED 8' FENCE
- (G) PROPOSED 6" PIPE BOLLARDS
- (H) PROPOSED ROCK MULCH
- (I) PROPOSED OIL-WATER SEPARATOR
- (J) PROPOSED TRANSFORMER AND ENCLOSURE
- (K) PROPOSED DUMPSTER
- (L) PROPOSED 24" CONCRETE BOLLARD
- (M) PROPOSED 2' CURB CUT

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION FROM KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITION, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATIONS UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION
- OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL
- BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED
- TO MEET ALL FEDERAL, STATE, AND LOCAL CODES. CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR FORTY-EIGHT (48) HOURS BEFORE BEGINNING EACH PHASE
- OF CONSTRUCTION. THE CONTRACTOR SHALL CAREFULLY PRESERVE
- BENCHMARKS, REFERENCE POINTS, AND STAKES. 10. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING
- 11. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKERS AND PUBLIC SHALL BE PROTECTED FORM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 12. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- 13. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 14. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- 15. STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- 6. ALL PARKING STALLS SHALL BE 4" SOLID WHITE PAVEMENT MARKINGS EXCEPT ACCESSIBLE PARKING STALLS, WHICH SHALL BE 4" BLUE PAVEMENT MARKINGS.
- 17. ALL PARKING STALLS ARE 9' WIDE UNLESS OTHERWISE NOTED.
- 18. ALL DIMENSIONS AND COORDINATES PROVIDED ARE CONSIDERED THE MINIMUM NECESSARY TO CONSTRUCT THE PROPOSED SITE IMPROVEMENTS. AN ELECTRONIC CAD FILE WILL BE PROVIDED TO THE CONTRACTOR TO ASSIST WITH CONSTRUCTION LAYOUT UPON RECEIPT OF A SIGNED CAD RELEASE FORM.
- 19. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS CONSIDERED A PUBLIC IMPROVEMENT.

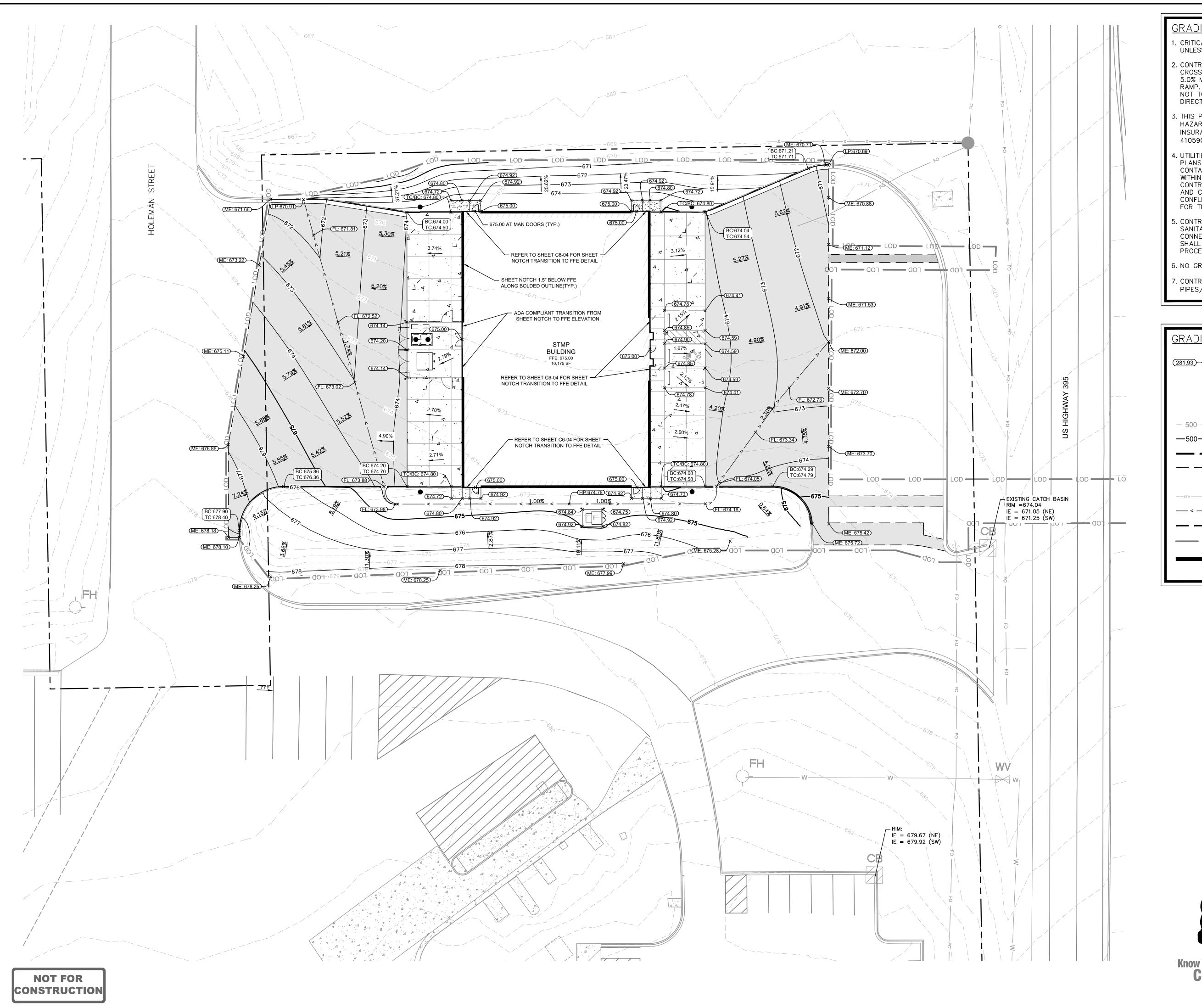




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SHEET NUMBER C2.10



GRADING AND DRAINAGE NOTES:

1. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.

2. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.

3. THIS PROJECT <u>DOES NOT</u> LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NUMBER 41059C0614G, DATED 09/03/2010.

4. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.

5. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

6. NO GRADED SLOPE SHALL EXCEED 3H:1V

7. CONTRACTOR SHALL MAINTAIN 18" CLEARANCE BETWEEN PIPES/CONDUITS OF DIFFERENT UTILITIES

GRADING PLAN LEGEND: SPOT ELEVATION 281.93 HP HIGH POINT LP LOW POINT TC TOP OF CURB BC BOTTOM OF CURB / GUTTER LINE TP TOP OF PAVEMENT RIM TOP OF GRATE / COVER ME MATCH EXISTING FL FLOW LINE 500 - EXISTING CONTOUR —500— PROPOSED CONTOUR PROPERTY LINE EXISTING CATCH BASIN EXISTING STORM PIPE — < — PROPOSED FLOW LINE — — — PROPOSED RIDGE LOD — LIMITS OF DISTURBANCE MAINTAIN ELEVATION 1.5" BELOW FFE PER BUILDING SHEET NOTCH



SHEET NUMBER C3.00

TRAVEL CENTER REALTY CITY OF STANFIELD, UMATILLA COUNTY, ORE

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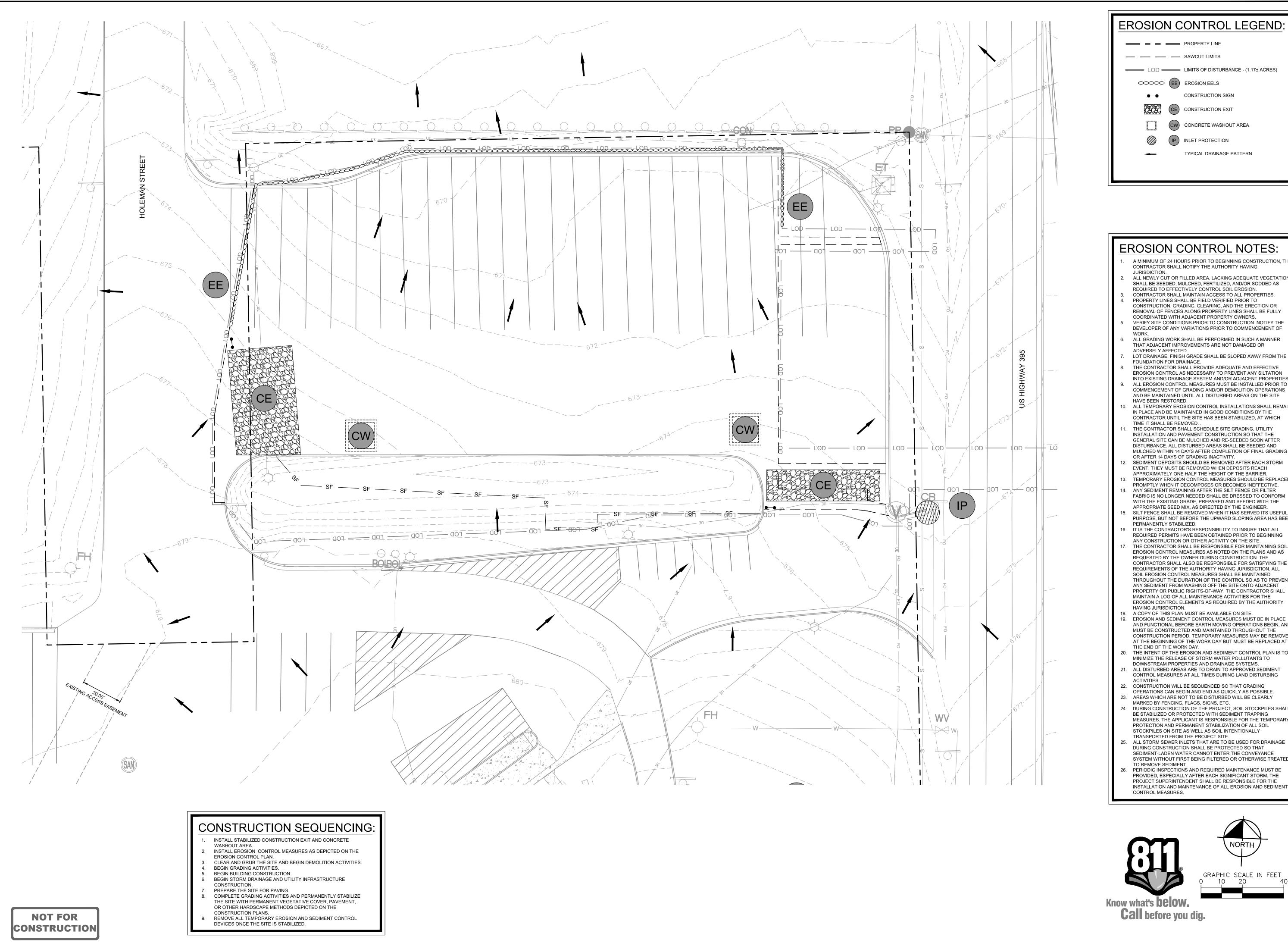
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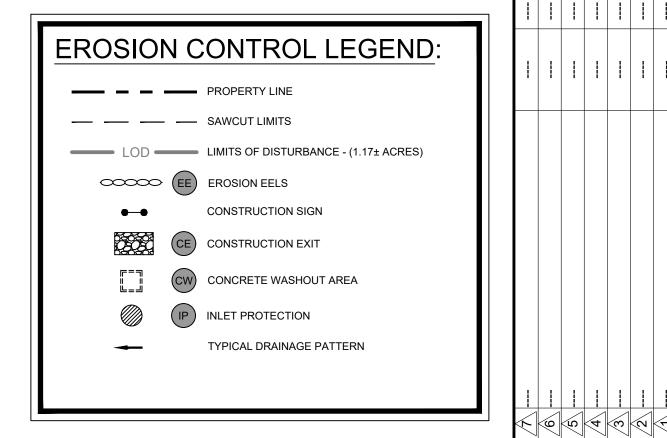
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EROSION CONTROL NOTES:

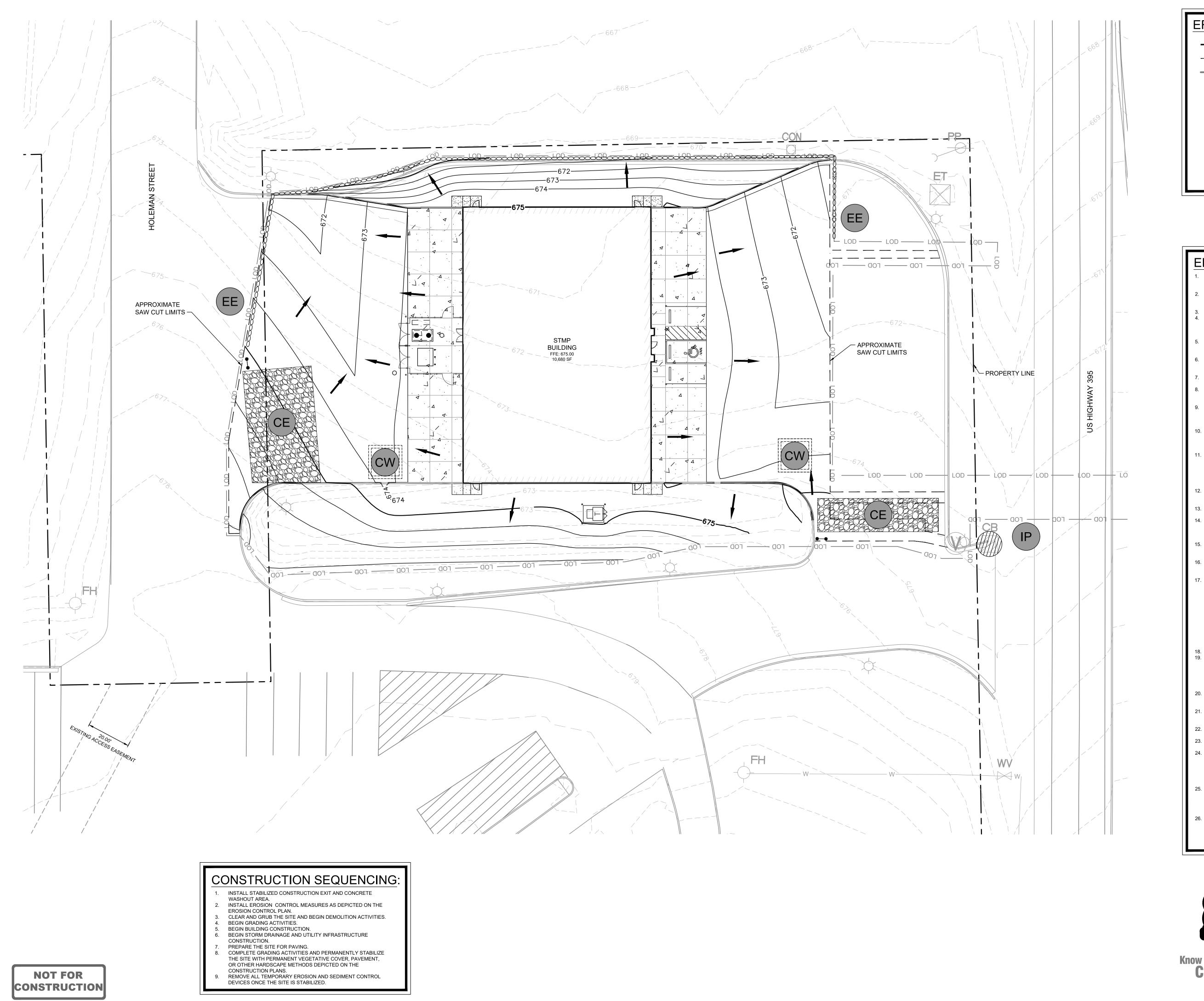
- 1. A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION.
- ALL NEWLY CUT OR FILLED AREA, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE
- DEVELOPER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT IMPROVEMENTS ARE NOT DAMAGED OR ADVERSELY AFFECTED.
- FOUNDATION FOR DRAINAGE. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND EFFECTIVE EROSION CONTROL AS NECESSARY TO PREVENT ANY SILTATION INTO EXISTING DRAINAGE SYSTEM AND/OR ADJACENT PROPERTIES. ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING AND/OR DEMOLITION OPERATIONS AND BE MAINTAINED UNTIL ALL DISTURBED AREAS ON THE SITE
- ALL TEMPORARY EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITIONS BY THE CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED, AT WHICH TIME IT SHALL BE REMOVED.
- THE CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND PAVEMENT CONSTRUCTION SO THAT THE GENERAL SITE CAN BE MULCHED AND RE-SEEDED SOON AFTER DISTURBANCE. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OR AFTER 14 DAYS OF GRADING INACTIVITY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- TEMPORARY EROSION CONTROL MEASURES SHOULD BE REPLACED PROMPTLY WHEN IT DECOMPOSES OR BECOMES INEFFECTIVE. ANY SEDIMENT REMAINING AFTER THE SILT FENCE OR FILTER FABRIC IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM
- WITH THE EXISTING GRADE, PREPARED AND SEEDED WITH THE APPROPRIATE SEED MIX, AS DIRECTED BY THE ENGINEER. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFUL PURPOSE, BUT NOT BEFORE THE UPWARD SLOPING AREA HAS BEEN
- PERMANENTLY STABILIZED. 16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION OR OTHER ACTIVITY ON THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS REQUESTED BY THE OWNER DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTROL SO AS TO PREVENT ANY SEDIMENT FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL ELEMENTS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 18. A COPY OF THIS PLAN MUST BE AVAILABLE ON SITE. 19. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
- 20. THE INTENT OF THE EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE RELEASE OF STORM WATER POLLUTANTS TO DOWNSTREAM PROPERTIES AND DRAINAGE SYSTEMS. 21. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING
- ACTIVITIES. 22. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE. 23. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY
- MARKED BY FENCING, FLAGS, SIGNS, ETC. 24. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY
- TRANSPORTED FROM THE PROJECT SITE. 25. ALL STORM SEWER INLETS THAT ARE TO BE USED FOR DRAINAGE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- 26. PERIODIC INSPECTIONS AND REQUIRED MAINTENANCE MUST BE PROVIDED, ESPECIALLY AFTER EACH SIGNIFICANT STORM. THE PROJECT SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

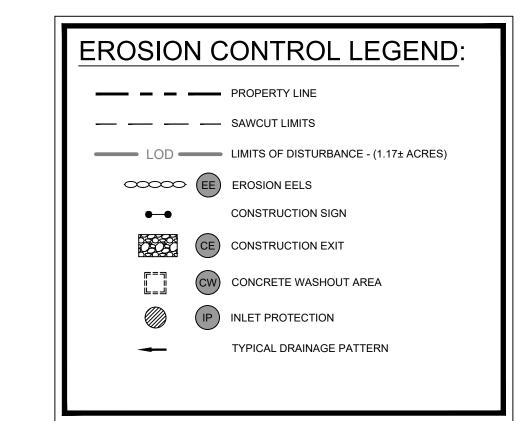


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EROSION CONTROL NOTES:

- A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION.
- ALL NEWLY CUT OR FILLED AREA, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
 CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- 4. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.

 5. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE
- DEVELOPER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.

 6. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT IMPROVEMENTS ARE NOT DAMAGED OR
- ADVERSELY AFFECTED.

 7. LOT DRAINAGE: FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
- 8. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND EFFECTIVE EROSION CONTROL AS NECESSARY TO PREVENT ANY SILTATION INTO EXISTING DRAINAGE SYSTEM AND/OR ADJACENT PROPERTIES.

 9. ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING AND/OR DEMOLITION OPERATIONS AND BE MAINTAINED UNTIL ALL DISTURBED AREAS ON THE SITE HAVE BEEN RESTORED.
- O. ALL TEMPORARY EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITIONS BY THE CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED, AT WHICH TIME IT SHALL BE REMOVED. .
- THE CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND PAVEMENT CONSTRUCTION SO THAT THE GENERAL SITE CAN BE MULCHED AND RE-SEEDED SOON AFTER DISTURBANCE. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OR AFTER 14 DAYS OF GRADING INACTIVITY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.

 13. TEMPORARY EROSION CONTROL MEASURES SHOULD BE REPLACED PROMPTLY WHEN IT DECOMPOSES OR BECOMES INEFFECTIVE.

 14. ANY SEDIMENT REMAINING AFTER THE SILT FENCE OR FILTER FABRIC IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM
- WITH THE EXISTING GRADE, PREPARED AND SEEDED WITH THE
 APPROPRIATE SEED MIX, AS DIRECTED BY THE ENGINEER.

 SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFUL
 PURPOSE, BUT NOT BEFORE THE UPWARD SLOPING AREA HAS BEEN
- 15. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFUL PURPOSE, BUT NOT BEFORE THE UPWARD SLOPING AREA HAS BEEN PERMANENTLY STABILIZED.
 16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING
- ANY CONSTRUCTION OR OTHER ACTIVITY ON THE SITE.

 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS REQUESTED BY THE OWNER DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTROL SO AS TO PREVENT ANY SEDIMENT FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL ELEMENTS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 18. A COPY OF THIS PLAN MUST BE AVAILABLE ON SITE.
 19. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
 20. THE INTENT OF THE EROSION AND SEDIMENT CONTROL PLAN IS TO
- MINIMIZE THE RELEASE OF STORM WATER POLLUTANTS TO DOWNSTREAM PROPERTIES AND DRAINAGE SYSTEMS.
 ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING
- ACTIVITIES.

 22. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.

 23. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FENCING, FLAGS, SIGNS, ETC.

 24. DURING CONSTRUCTION OF THE PROJECT. SOIL STOCKPILES S.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 ALL STORM SEWER INLETS THAT ARE TO BE USED FOR DRAINAGE
- DURING CONSTRUCTION SHALL BE PROTECTED SO THAT
 SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE
 SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED
 TO REMOVE SEDIMENT.

 26. PERIODIC INSPECTIONS AND REQUIRED MAINTENANCE MUST BE
- PERIODIC INSPECTIONS AND REQUIRED MAINTENANCE MUST BE PROVIDED, ESPECIALLY AFTER EACH SIGNIFICANT STORM. THE PROJECT SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.



NORTH

GRAPHIC SCALE IN FEET

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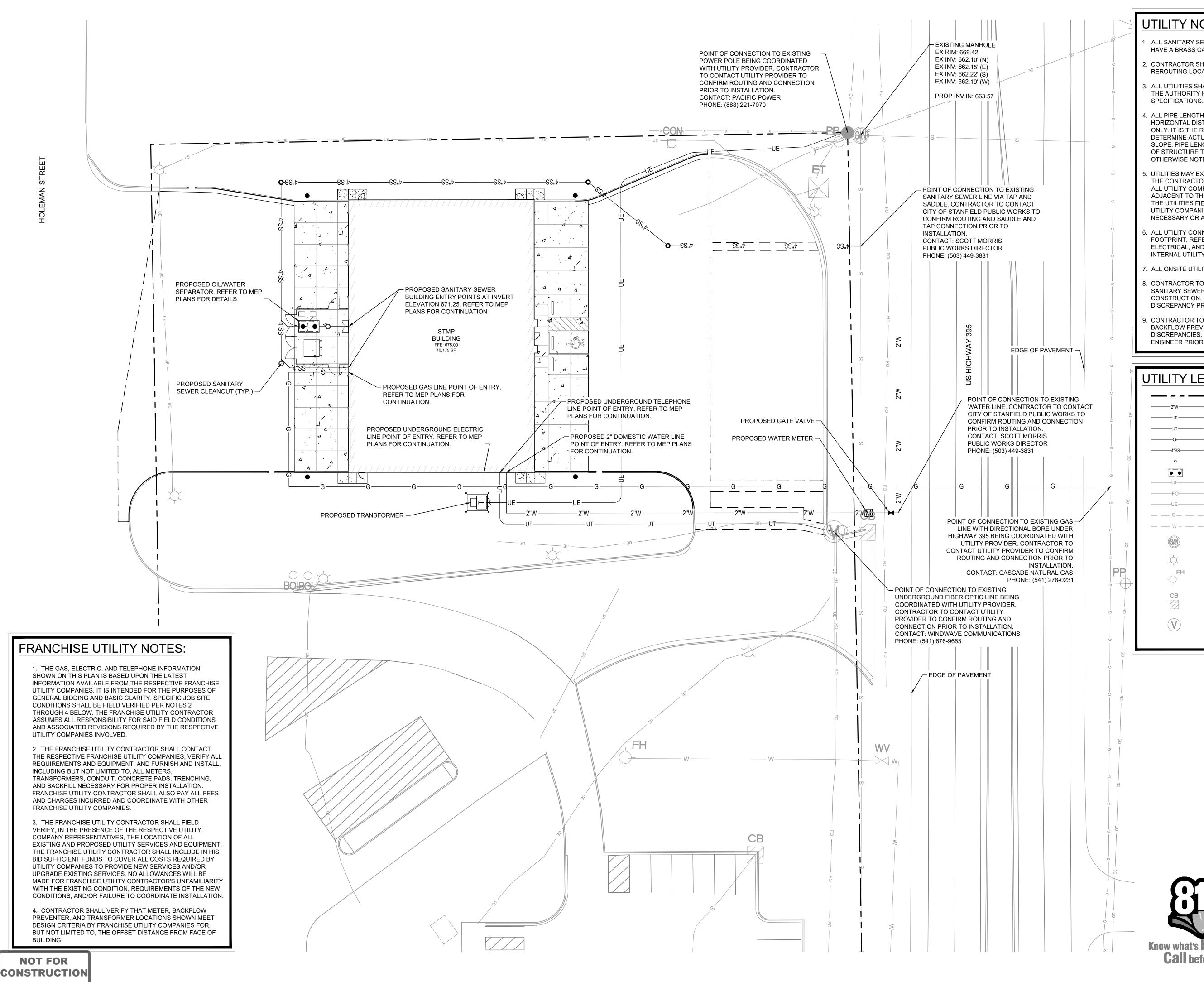
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UTILITY NOTES:

ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.

2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.

3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION DETAILS AND

. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.

6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.

7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.

8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

9. CONTRACTOR TO COORDINATE WITH THE AHJ TO CONFIRM BACKFLOW PREVENTER REQUIREMENTS. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION.

UTILITY LEGEND:

PROPERTY LINE PROPOSED 2" DOMESTIC WATER LINE PROPOSED ELECTRIC LINE ——

UT——— PROPOSED TELEPHONE LINE —G——— PROPOSED NATURAL GAS LINE 4"SS——— PROPOSED 4" SANITARY SEWER PIPE PROPOSED SANITARY SEWER CLEANOUT PROPOSED SANITARY OIL/WATER SEPARATOR EXISTING OVERHEAD ELECTRIC LINE EXISTING FIBER OPTIC LINE EXISTING UNDERGROUND ELECTRIC LINE --- $^{\circ}----$ Existing sanitary sewer Pipe — W − — — EXISTING WATER LINE **EXISTING SANITARY SEWER MANHOLE** EXISTING LIGHT POLE EXISTING FIRE HYDRANT EXISTING CATCH BASIN EXISTING ELECTRIC VAULT

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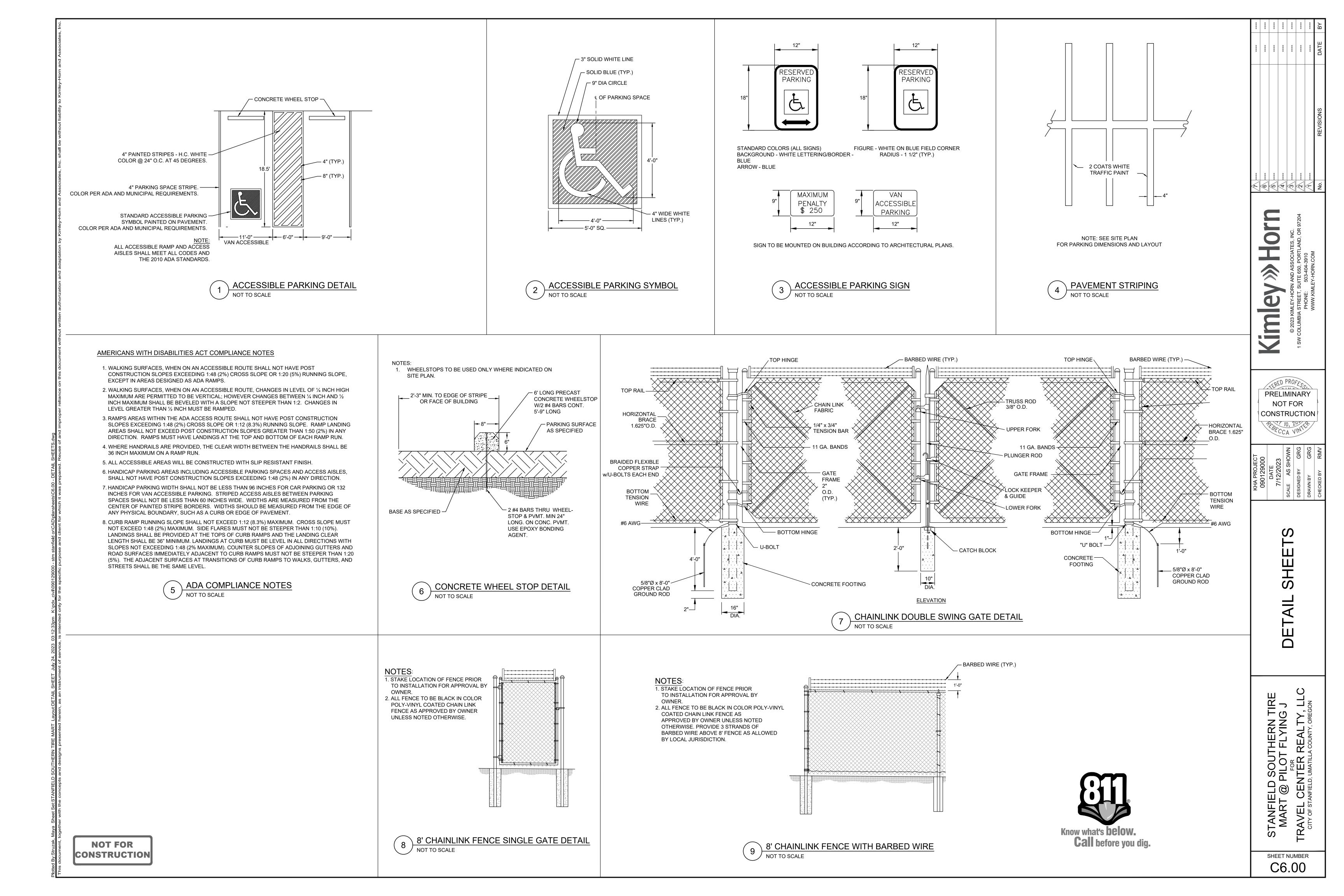
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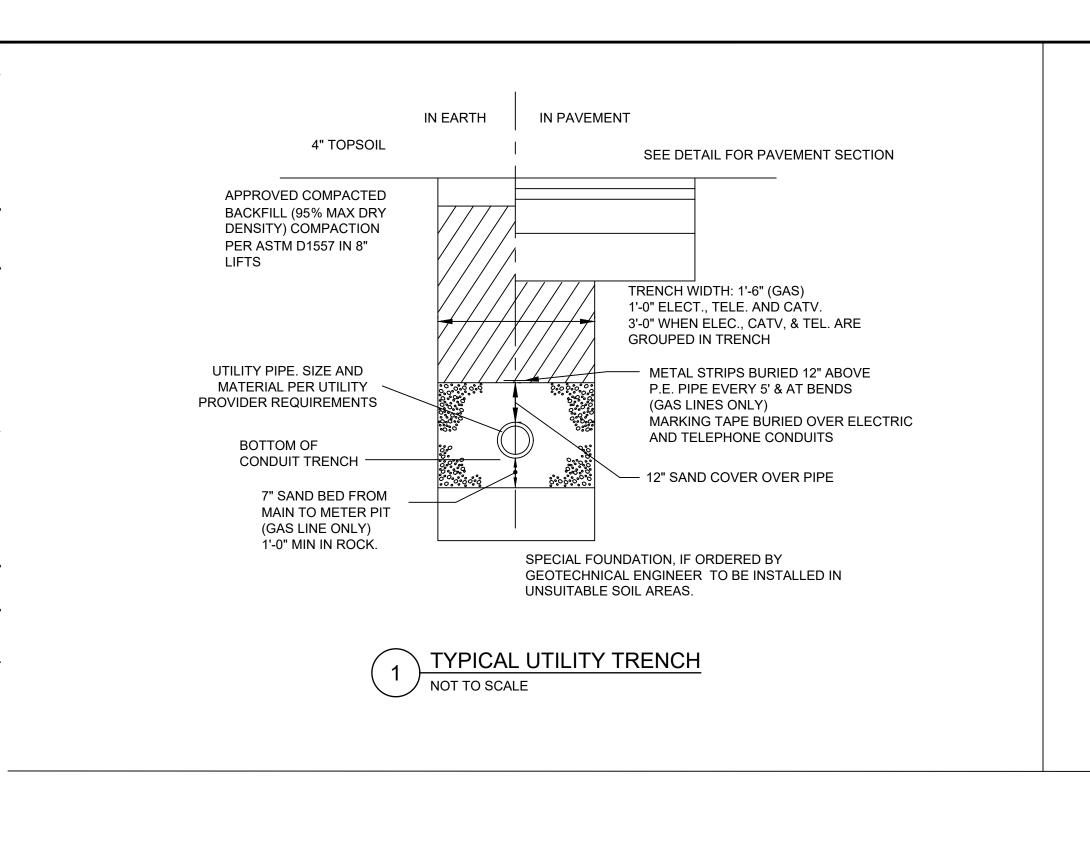
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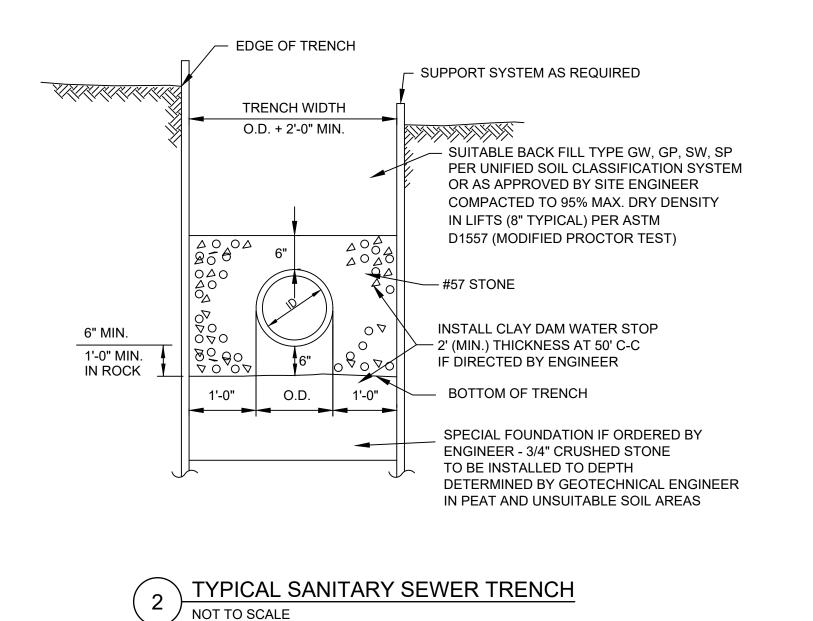
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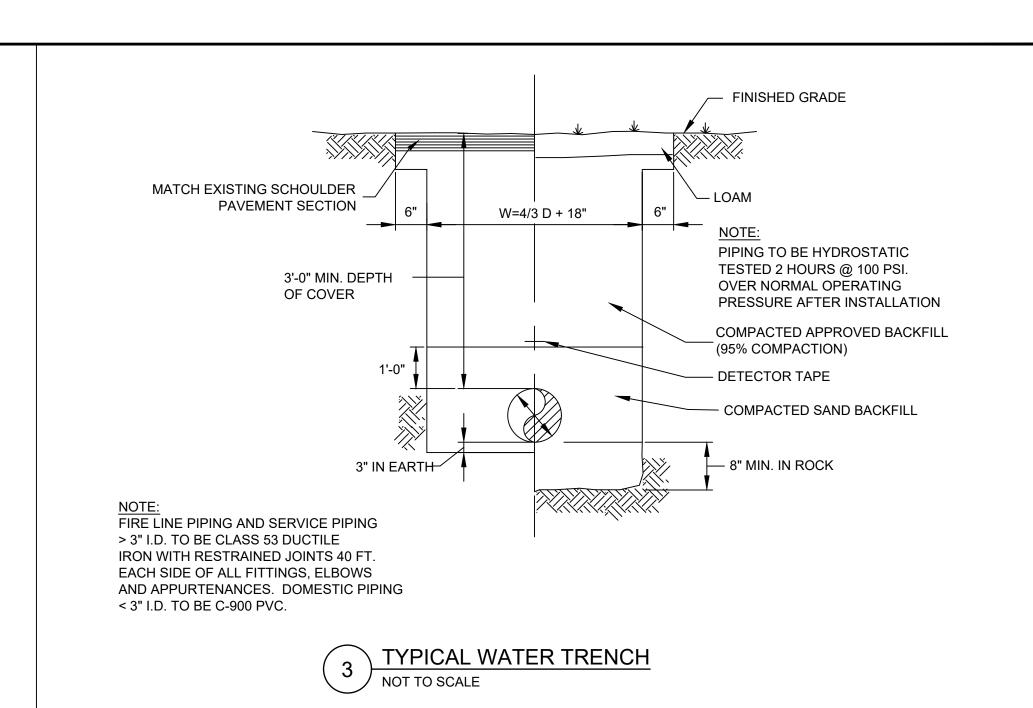
18"x18" PAD 28 DAY 4000 PSI CONCRETE

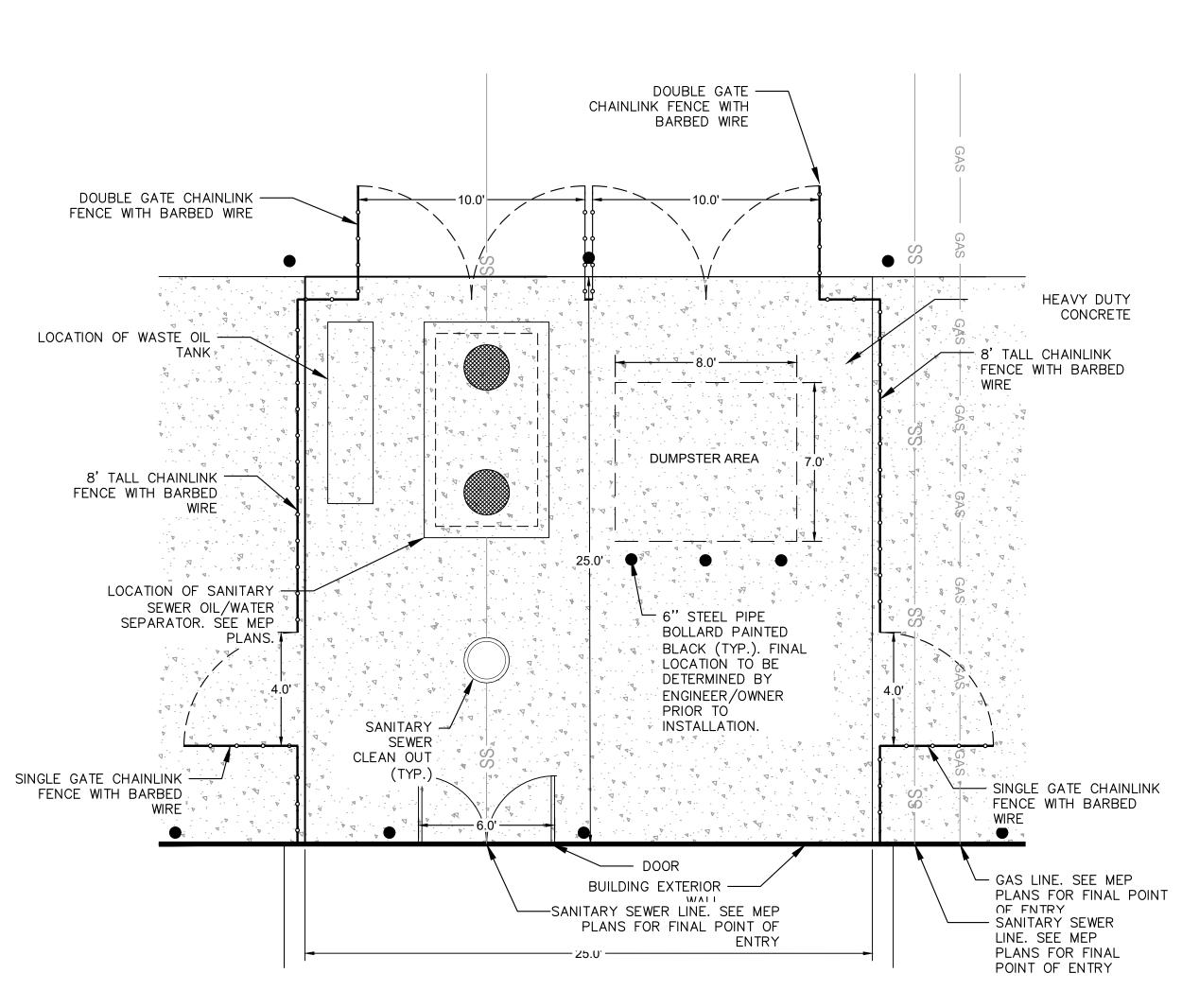
CLEAN-OUT BOX IS INDEPENDENT

FREE TO MOVE WITH THE SETTLE

OF PIPE AND THEREFORE IS

MENT OF THE GUIDE

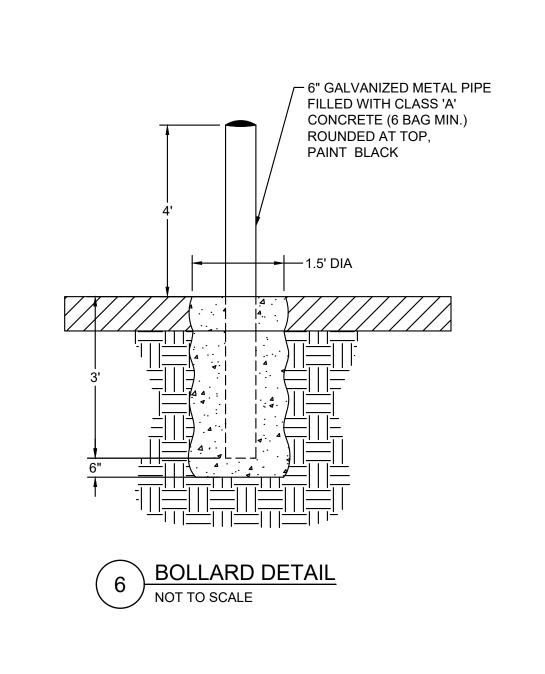




DUMPSTER AREA ENLARGEMENT

NOT TO SCALE

NOT FOR CONSTRUCTION



CAST IRON COVER READS "SANITARY"

— CLEAN-OUT PLUG

UNDERGROUND

BUILDING PIPING

CLEANOUT IN PAVED AREA

CAST IRON CLEAN-OUT BOX

- 6" DIA. END CAP

- 6"-45° ELBOW

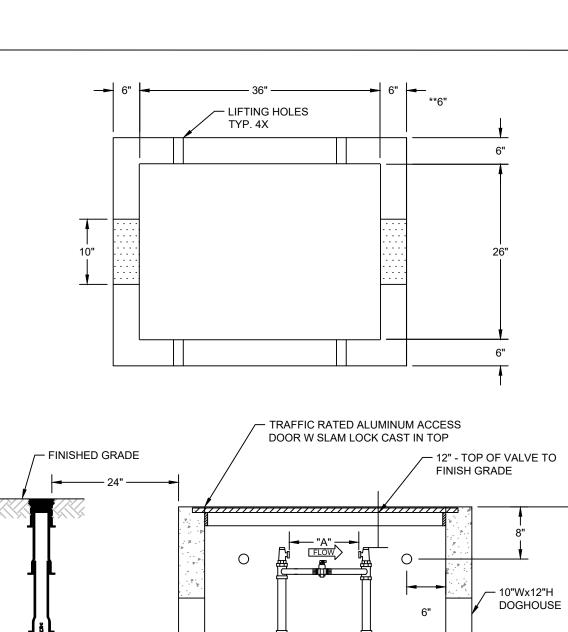
CLEANOUT IN LANDSCAPE AREA

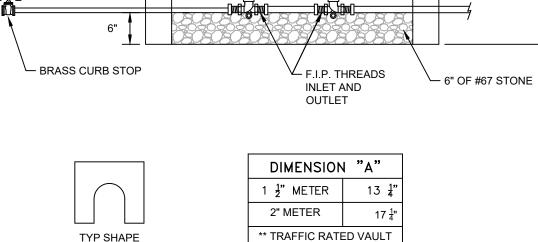
PIPE SIZE PER PLAN

-- 18"x 18" x 5" CONCRETE PAD

END CAP -

NOT TO SCALE





NOTE: DETAIL IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY METER REQUIREMENTS WITH THE AHJ PRIOR TO CONSTRUCTION.

<u>NOTES</u>	

- 1. METER AS MANUFACTURED BY SENSUS OR NEPTUNE.
- 2. BACKFILL TAMPED IN 6" LIFTS.

DOGHOUSE

- 3. REINFORCEMENT: #4 @ 6" OCEW.
- 4. CONCRETE: 4,000 PSI @ 28 DAYS.
- 5. ALL RPZ BACKFLOW PREVENTION DEVICES MUST BE INSTALLED PRIOR TO METER BEING SET.

WALL THICKNESS

6) ALL COPPER SETTERS ARE TO HAVE A BALL TYPE SHUT OFF VALVE ON BOTH SIDES OF COPPER SETTER WITH HIGH RISE BYPASS THAT IS MANUFACTURED BY FORD, MUELLER, OR AY McDONALD. (NO EXCEPTIONS).





STANFIELD SOUTHERN TIP MART @ PILOT FLYING J

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TO BE DETERMINED AFTER COMPLETION OF GEOTECHNICAL REPORT

TO BE DETERMINED AFTER COMPLETION OF GEOTECHNICAL REPORT

**SLOPE 3/16 " PER FT. OR

SAME SLOPE AS PAVEMENT.

NOTES:

1. PRE-CUT EXP. JOINT MATERIAL SHALL BE USED IN ALL EXP. JOINTS.

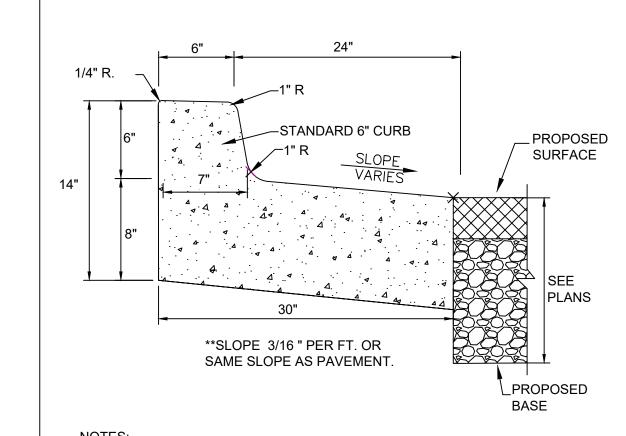
2. DUMMY JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS, MAXIMUM.

3. EXP. JOINTS SHALL BE INSTALLED AT 40 FT. MAXIMUM.

4. EXP. JOINTS SHALL BE INSTALLED AT ENDS OF RADIUS.

5. EXP. JOINTS SHALL BE LOCATED A MINIMUM OF 5 FT. FROM INLET STRUCTURES.

3 6-30 CURB AND GUTTER
NOT TO SCALE



1. PRE-CUT EXP. JOINT MATERIAL SHALL BE USED IN ALL EXP. JOINTS.
2. DUMMY JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS, MAXIMUM.
3. EXP. JOINTS SHALL BE INSTALLED AT 40 FT. MAXIMUM.
4. EXP. JOINTS SHALL BE INSTALLED AT ENDS OF RADIUS.

4 6-30 "SPILL" CURB AND GUTTER
NOT TO SCALE

5. EXP. JOINTS SHALL BE LOCATED A MINIMUM OF 5 FT. FROM INLET STRUCTURES.

1 TYPICAL HEAVY DUTY CONCRETE PAVEMENT SECTION

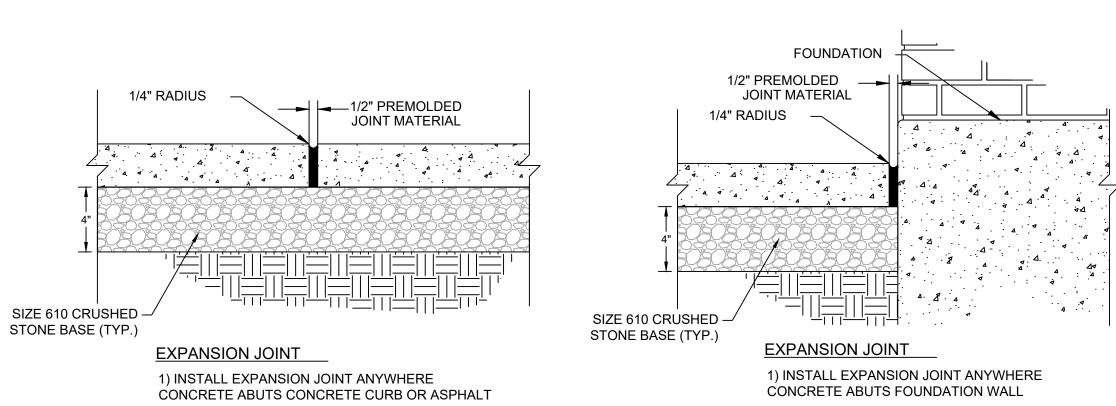
2 TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION

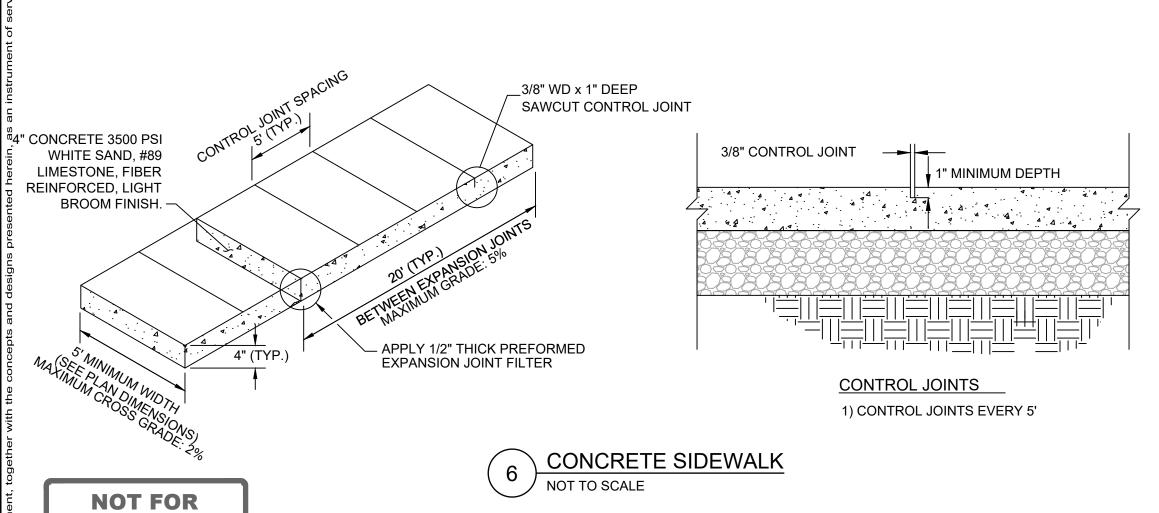
ASPHALT/CONCRETE INTERFACE REQUIRES TACK COAT APPLICATION

ASPHALT/CONCRETE INTERFACE REQUIRES TACK COAT APPLICATION

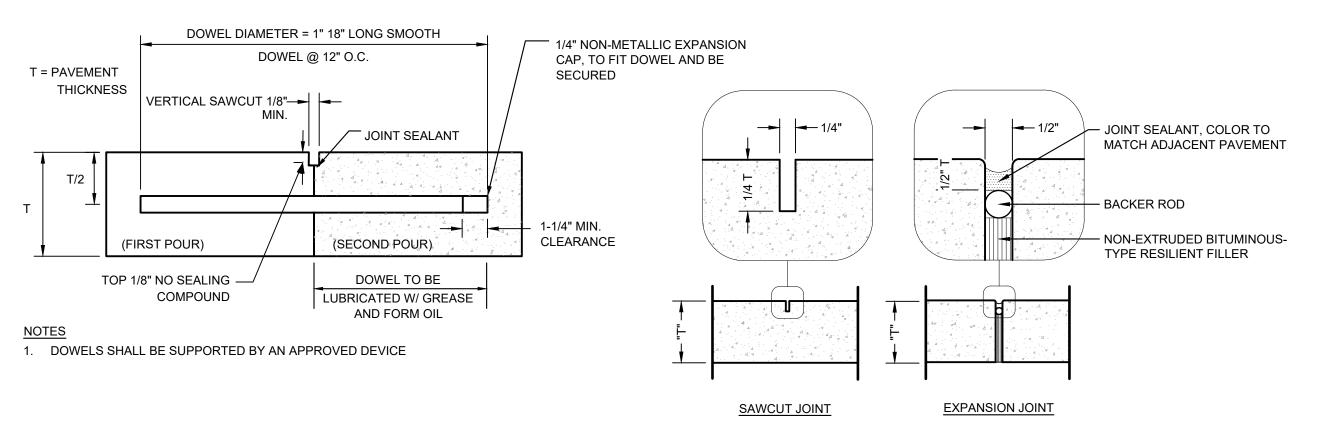
ASPHALT/CONCRETE INTERFACE

NOT TO SCALE



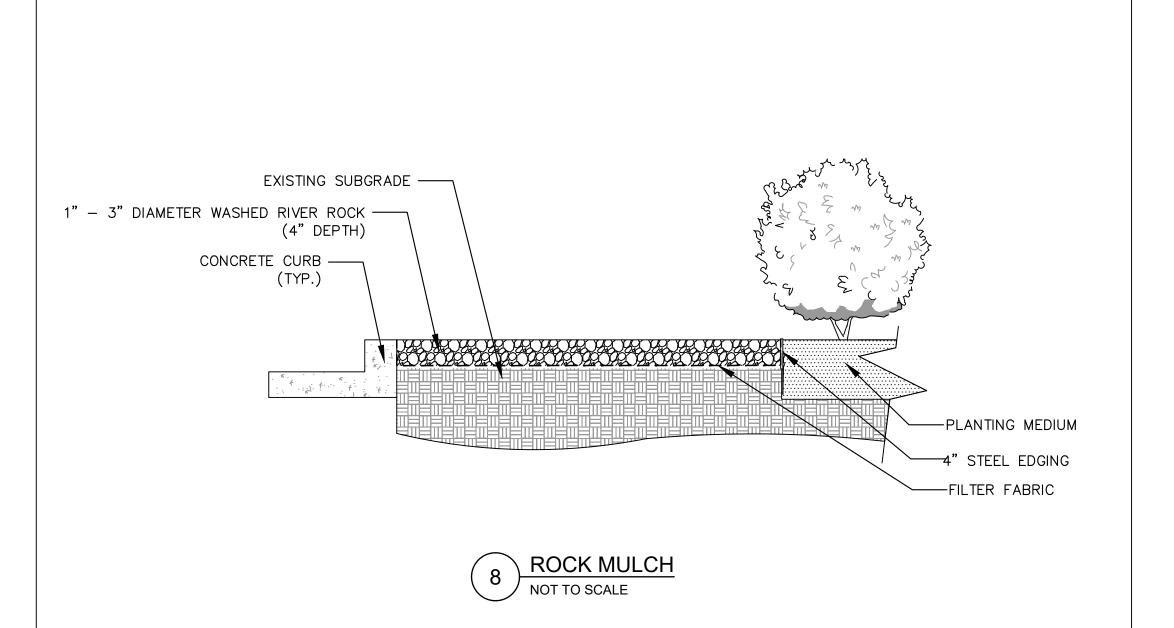


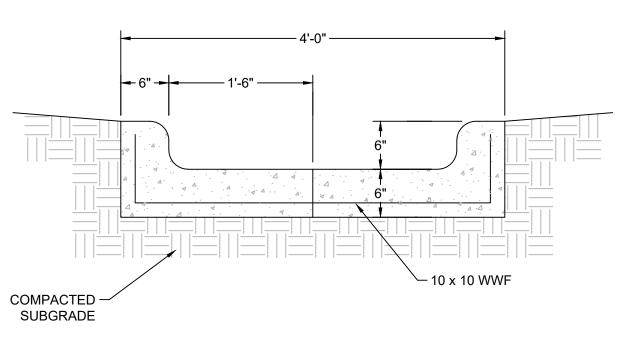
CONSTRUCTION



7 CONCRETE JOINTS

NOT TO SCALE





9 5' CONCRETE FLUME NOT TO SCALE



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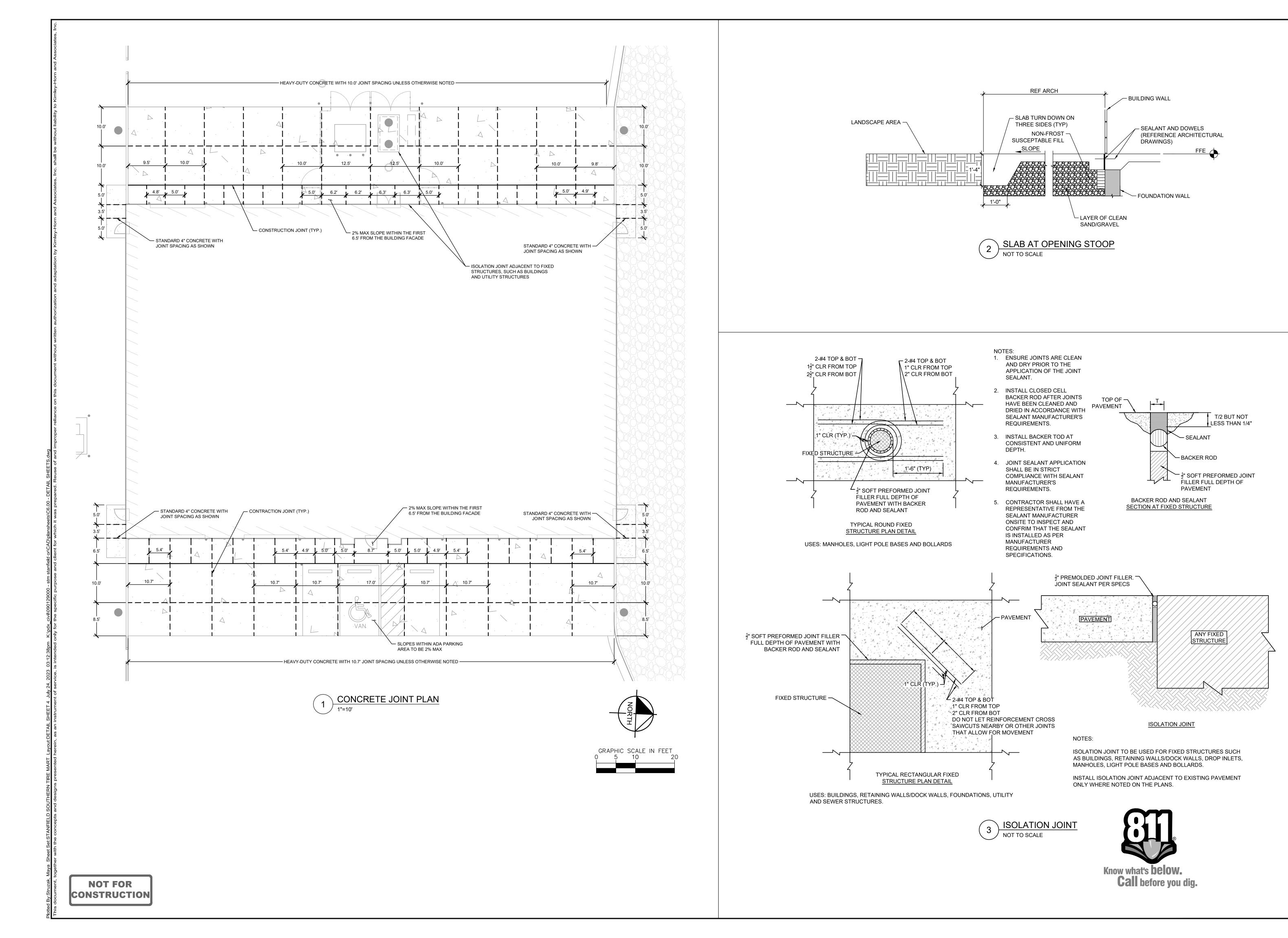
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CONSTRUCTION

DATE
7/12/2023
SCALE AS SHOWN
DESIGNED BY GRG
DRAWN BY GRG
CHECKED BY RMV

ETAIL SHEET

STANFIELD SOUTHERN TIRE
MART @ PILOT FLYING J
FOR
TRAVEL CENTER REALTY, LLC
CITY OF STANFIELD, UMATILLA COUNTY, OREGON

SHEET NUMBER C6.20



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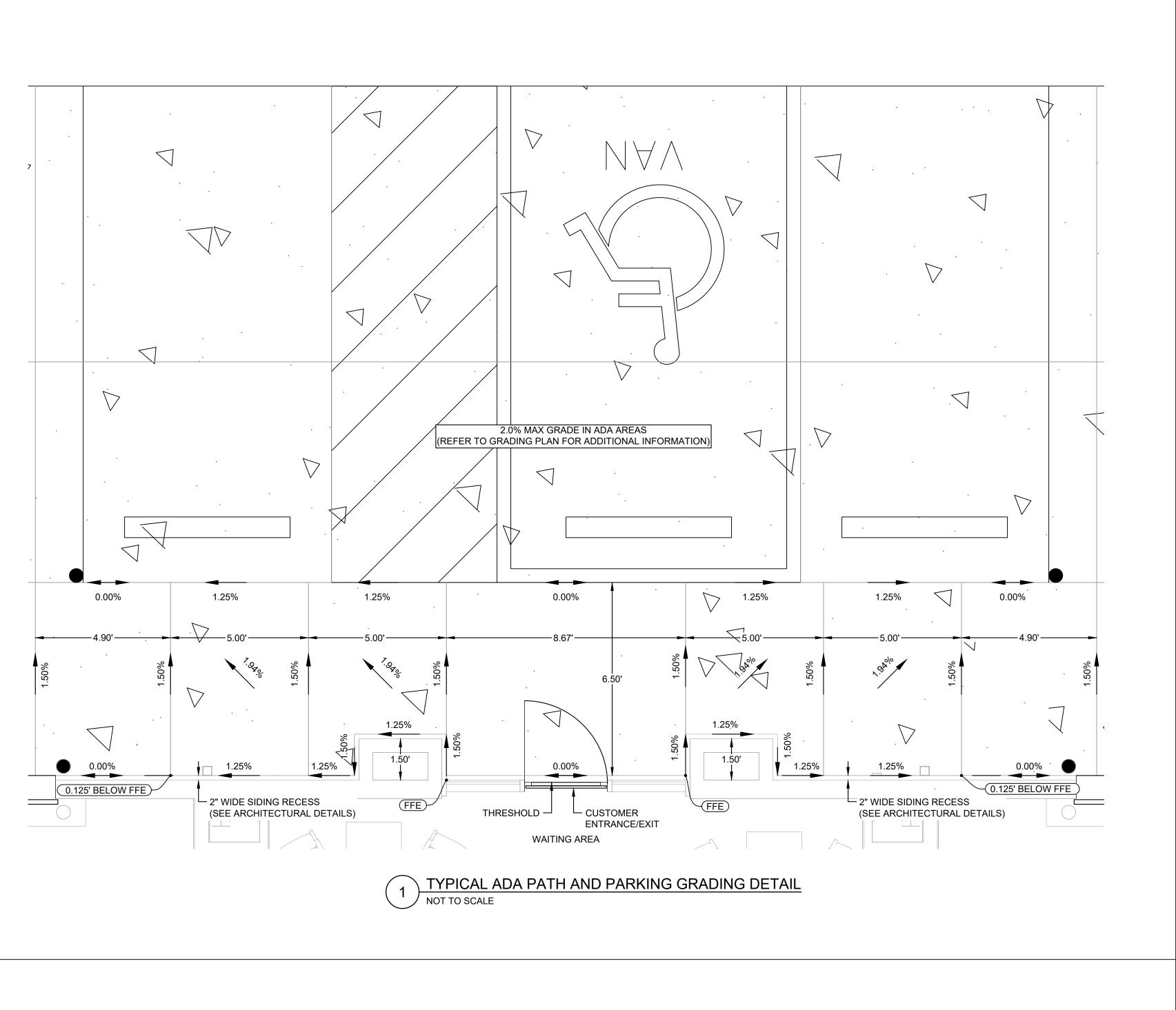
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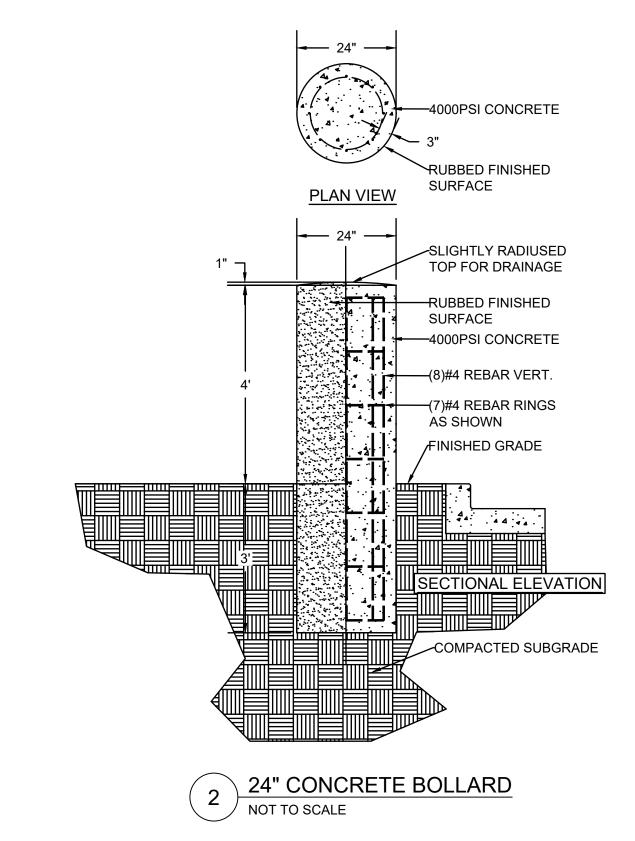
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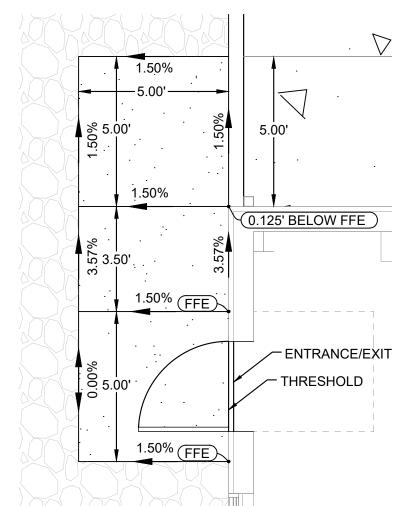
J DETAIL

STANFIELD SOUTHERN TIRE
MART @ PILOT FLYING J
FOR
TRAVEL CENTER REALTY, LLC
CITY OF STANFIELD, UMATILLA COUNTY, OREGON

SHEET NUMBER
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3 TYPICAL PEDESTRIAN ENTRY GRADING DETAIL
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